



**CHAIRMAN**  
John E. Igneri

**COMMISSIONERS**  
Kelly Bloom  
Lisa M. Cooper  
William R. Speirs  
David G. Westmoreland

**EXECUTIVE DIRECTOR**  
Brian T. Bidolli

TO: Members, Norwalk Redevelopment Agency  
FROM: John Igneri, Chairman  
DATE: February 5, 2021  
RE: Regular Meeting Notice

\*\*\*\*\*

**February 9th, 2021  
5:30 P.M.  
REGULAR MEETING  
AGENDA**

The next meeting of the Norwalk Redevelopment Agency will be held on Tuesday, February 9th, 2021 at 5:30 p.m. Due to the ongoing public health situation the regular meeting will be held as a Zoom videoconference via the link provided below. The meeting will also be broadcast on the Norwalk Redevelopment Agency YouTube channel.

[https://www.youtube.com/channel/UCHMiAZt32k6BnjaKdnUalug?view\\_as=subscriber](https://www.youtube.com/channel/UCHMiAZt32k6BnjaKdnUalug?view_as=subscriber).

**ZOOM Meeting Link:**

<https://zoom.us/j/2038547810?pwd=bVZjM3duS1QwRlR6QVMwT09yeDg3Zz09>

CALL TO ORDER

ROLL CALL

PUBLIC PARTICIPATION

**I. ADMINISTRATION**

**1. APPROVAL OF MINUTES**

- i. Approve Minutes of the December 8, 2020 Regular Meeting
- ii. Approve Minutes of the January 5, 2021 Special Meeting

2. FINANCIALS

- i. Approve Norwalk Redevelopment Agency Statement of Revenues and Expenditures for Operating Fund 100 for Year-to-Date December 31, 2020.

**II. BUSINESS**

1. URBAN CORE LANDSCAPING & MAINTENANCE SERVICES

- i. Approve contract with Meticulous Landscaping through June 30, 2021 not to exceed \$40,000.

2. MATHEWS PARK DESIGN SERVICES

- i. Approve contract with Heritage Landscapes not to exceed \$27,500 with \$10,000 of funds provided by the Norwalk Historic Commission.

3. SOUTH NORWALK TRAIN STATION TOD STUDY

- i. Approve contract with VHB for COVID-19 market response planning services not to exceed \$25,000.

4. DESIGN REVIEW

- i. 637 West Ave

**III. EXECUTIVE SESSION**

1. DISCUSSION REGARDING AGENCY LEGAL SERVICES

- i. Possible action regarding item III.1

**IV. NEW BUSINESS**

**V. OLD BUSINESS**

ADJOURNMENT

**CITY OF NORWALK**  
**NORWALK REDEVELOPMENT AGENCY**  
**DECEMBER 8, 2020**  
**VIA ZOOM**

**ATTENDANCE:** William Speirs, Vice Chair; John Igneri, David Westmoreland and Kelly Bloom

**ABSENT:** Lisa Cooper

**STAFF:** Brian Bidolli, Katie O’Leary, Eugenia Lupinski

**OTHERS:** Marc Grenier, Agency Counsel; Michael Sweeney, Esq.; and Mike Solakian

**CALL TO ORDER**

Mr. Speirs called the meeting to order at 5:43p.m.

**ROLL CALL**

A quorum was present. It was noted that the meeting was being held via Zoom and live streamed via You Tube.

**PUBLIC COMMENT**

There was no Public Comment.

**ADMINISTRATION**

**1. APPROVAL OF MINUTES**

**i.) Approve Minutes of the November 3, 2020 Special Meeting**

**\*\*MR. WESTMORELAND MADE A MOTION TO APPROVE THE MINUTES**

**\*\*MR. IGNERI SECONDED THE MOTION**

**\*\*3 IN FAVOR, 0 AGAINST, 1 ABSTENTION (Ms. Bloom)**

## 2. FINANCE

i) Approve Norwalk Redevelopment Agency Statement of Revenues and Expenditures for Operating Fund 100 for Year-to-Date October 31, 2020.

Ms. Lupinski stated that Operating Fund 100 had revenues of \$498,000 vs budgeted revenues of \$529,000, resulting in an unfavorable variance of \$31,000 which is due mainly to lower actual CDBG grant revenue of \$27,000. This revenue will be recouped over the remainder of the year.

Total actual expenses of \$536,000 versus budgeted total expenses of \$540,000 resulted in a favorable variance of \$4,000. This is primarily due to an unfavorable variance in legal expenses of \$78,000 resulting from Wall Street litigation which was offset by favorable variances in personnel expenses (\$68,000) and other administrative expenses (\$13,000).

The actual operating deficit of \$39,000 versus a budgeted operating deficit of \$11,000 resulted in an unfavorable variance of \$28,000.

**\*\*MR. IGNERI MADE A MOTION TO APPROVE**

**\*\*MR. WESTMORELAND SECONDED THE MOTION**

**\*\*3 IN FAVOR, 0 AGAINST, 1 ABSTENSION (Ms. Bloom)**

ii) Approve Norwalk Redevelopment Agency Audited Financial Statements for Fiscal Year Ended June 30, 2020

Mr. Solakian presented. The Audit was seamless and the Agency has a clean audit report. The last page 27 is the most important, no findings with federal CDBG program. The footnotes on pages 11-20 are consistent with 2019. There were no material weaknesses and no formal management letter.

**\*\*MR. IGNERI MADE A MOTION TO APPROVE THE AUDIT**

**\*\*MR. WESTMORELAND SECONDED THE MOTION**

**\*\*3 IN FAVOR, 0 AGAINST, 1 ABSTENTION (Ms. Bloom)**

## BUSINESS

### 1. CERTIFICATE OF COMPLETION – SONO COLLECTION

i) Approve issuance of Certificate of Completion for SONO Collection

Agency counsel presented an overview of the Agency's obligation under the Land Disposition Agreement, as amended, to consider and take action on Norwalk Land Development's request

for the Agency to execute a Certificate of Completion for the SoNo Collection. Attorney Grenier went over the salient portions of the LDA and the terms of the proposed Certificate of Completion, highlighted those items that were important to the Agency and City. The construction of the Improvements as set forth in the LDA were completed on October 9<sup>th</sup> and he confirmed with Brian Bidolli that the terms of the Surety bond had been satisfied. In addition he noted that Corporation Counsel Mario Coppola had reviewed the proposed Certificate of Completion and he had no concerns with it. Once signed by the Agency, the Certificate of Completion will be recorded on the Norwalk Land Records. Attorney Grenier thanked Attorney Sweeney and his team for their work on the same.

Attorney Sweeney, counsel for Norwalk Land Development, concurred with Agency Counsel and thanked the Commissioners for their time and requested that they approve the same.

**\*\*MR. IGNERI MADE THE MOTION TO ACCEPT THE CERTIFICATE OF COMPLETION**

**\*\*MR. WESTMORELAND SECONDED THE MOTION**

**\*\*3 IN FAVOR, 0 AGAINST, 1 ABSTENTION (Ms. Bloom)**

## **2. ELECTION OF OFFICERS**

**\*\*MR. WESTMORELAND MADE A MOTION TO APPOINT MR. IGNERI AS CHAIRMAN**

**\*\*MS. BLOOM SECONDED THE MOTION**

**\*\*MOTION PASSED UNANIMOUSLY**

Mr. Igneri is the new Chairman.

### **NEW BUSINESS**

There was no new business to come before the Agency.

### **OLD BUSINESS**

There was no old business to come before the Agency.

### **ADJOURNMENT**

**\*\*MR. WESTMORELAND MADE A MOTION TO ADJOURN THE MEETING**

**\*\*MR. IGNERI SECONDED THE MOTION**

**\*\*MOTION PASSED UNANIMOUSLY**

Meeting was adjourned at 6:15pm.

Respectfully submitted,  
Raeann Bromark  
Telesco Secretarial Services

**CITY OF NORWALK  
NORWALK REDEVELOPMENT AGENCY  
SPECIAL MEETING  
JANUARY 5, 2021  
VIA ZOOM**

**ATTENDANCE:** John Igeneri, Chairman; William Spiers, David Westmoreland, Kelly Bloom, Lisa Cooper

**STAFF:** Brian Bidolli, Executive Director Redevelopment Agency; Katie O’Leary

**OTHER:** Eric Rains, David Sands, Harold Cobin, Jason Milligan, Bill, Marc Grenier, John McClutchy, William Hennessey, Vincent Hynes, Todd D McClutchy, Michael Weissbrod, Bill Warwick, Deborah, Bob Grzywacz

**CALL TO ORDER**

Mr. Igeneri called the meeting to order at 5:31 P.M.

**ROLL CALL**

A quorum was present.

**PUBLIC PARTICIPATION**

Mr. Milligan came forwards to speak. He stated that, as the largest property owner in the Wall Street area he had good opinions of the ongoing POKO 2.0 projects and desired to see them finished. He stated that he did not like it when connected/favored people had different rules.

He stated that he was upset that special exceptions had been made and rules bent for the project. He stated that the special exceptions would forever cement the project’s legacy as being the largest building in the area. He pointed out the project is looking to be approved for six stories tall. He claimed that the building that was there was compromised and will almost definitely be removed so the project will be starting from scratch from the concrete decking. He said there is nothing to grandfather and this doesn’t follow the grandfather clause section of the regulations. He pointed out that the current zoning regulations for the area call for a maximum height of four stories. He said it still does meet with the design keeping and design standards. He said his concern with the project is deeper than design standards. He said he thought the third-party architect had a lot of good things to say, the overall aesthetic is okay, it’s the height he has an issue with in combination with the fact that it is over the top of an easement and they don’t have enough parking. He said the redevelopment plan that this was developed under expired and or was replaced. He believed that, due to ongoing litigation, that the project won’t be moving forward and there were no tax credits to be obtained currently.

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Norwalk Redevelopment Agency  
Special Meeting  
January 5, 2021

## **I. ADMINISTRATION**

### **1. APPROVAL OF MINUTES**

#### **APPROVE MINUTES OF THE DECEMBER 8TH, 2020 REGULAR MEETING**

Chairman Igneri suggested that the minutes be tabled until the next meeting to accommodate various corrections.

**\*\* COMMISSIONER IGNERI MOTIONED TO TABLE THE MINUTES OF DECEMBER 8<sup>TH</sup>, 2020 UNTIL THE NEXT MEETING OF THE REDEVELOPMENT AGENCY.**

**\*\* COMMISSIONER BLOOM SECONDED THE MOTION.**

**\*\* THE MOTION PASSED UNANIMOUSLY.**

The minutes of December 8<sup>th</sup>, 2020 will be tabled till the next meeting.

## **II. BUSINESS**

### **1. DISCUSSION REGARDING CDBG LOAN TO MARITIME CENTER**

Mr. Bidolli presented on the loan. He said this is the next step in the process that was discussed at the last meeting regarding a CDBG loan to The Maritime Center. He stated that the application for the loan will be for a \$500,000 assistance package. The total amount is \$500,000 of assistance and the way it is split is \$200,000 is a grant from the CDBG Coronavirus funds provided by the federal government. The other \$300,000 will come in the form of a loan and is what is being discussed at this meeting. He indicated this loan has already been considered and approved by the Planning Committee and the Common Council in terms of the overall assistance package. The loan would be a 3-year loan with 0% interest funded by repurposed Walk Bridge Mitigation funds. The funds would be expended under a 3 year loan agreement with 1 year forbearance period so they can get caught up as a result of the pandemic. Mr. Bidolli said the Maritime Center would be required to pay \$150,000 within 24 months and another \$150,000 in the third year.

Mr. Bidolli introduced Marc Grenier to add more about how the loan details.

Mr. Grenier shared that after discussions with Brian and his team they came up with the possibility of giving the loan as a line of credit as opposed to giving an up-front sum of \$300,000. They would go through an approval process internally with Brian and his team in accordance with CDBG guidelines. With a line of credit facility there is the ability to put in a request and then advance the funds subject to the request being supported with documentation. Assuming they would draw the total amount down, Mr. Grenier said the repayment terms would be at the 24 month level 50% or whatever the outstanding principal City of Norwalk

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balance was at that time which, if they drew the whole \$300,000, would be \$150,000 and then the entire balance due 36 months after closing. He said he has already started drafting up the agreement, and tonight the Board was there to approve the business terms for The Maritime Center subject to agency council review.

Chairman Igneri first gave the Board members a chance to ask questions and then asked that, if they went with the line of credit and drew the money down, would they need the approval of the commissioners to advance the money. Mr. Grenier said they would not, and that in the loan document it would state that as part of the process they would have to submit to the Agency all their requests and supporting documents. He said Brian and or staff will review what is submitted and if everything is okay then it moves along.

Mr. Bidolli added they would be adhering to the terms of the CDBG program and we would be following a similar procedure in terms of allowable expenditures. He said they wanted to be sure it was a reimbursable process so they had some oversight.

Mr. Westmoreland asked what would happen if the Maritime Center was unable to meet the repayment dates, and if the Board have the right to renegotiate the terms. Mr. Grenier said that according to the loan documents it would be a default. He said he would expect them to reach out to Brian and the issue would be brought to the Board which would then discuss a forbearance and or loan modification regarding loan repayment. Mr. Westmoreland then asked if Board had the right to do this considering it involves CDBG funds and Mr. Grenier said the five Commissioners can make these decisions.

### **POSSIBLE ACTION REGARDING ITEM II.1**

**\*\* COMMISSIONER WESTMORELAND MOTIONED TO APPROVE THE BUSINESS TERMS AND AGREEMENT FOR THE MARITIME CENTER SUBJECT TO AGENCY COUNCIL REVIEW AS DISCUSSED.**

**\*\* COMMISSIONER SPEIRS SECONDED THE MOTION.**

**\*\* THE MOTION PASSED UNANIMOUSLY.**

## **2. DESIGN REVIEW**

### **I. 61 WALL / 17 ISAACS STREET – WALL STREET PLACE**

**(REPORT AVAILABLE AT:**

**[HTTPS://WWW.NORWALKCT.ORG/DOCUMENTCENTER/VIEW/20509/WALL-STREET PLACE-FINAL-210105](https://www.norwalkct.org/documentcenter/view/20509/wall-street-place-final-210105))**

William Hennessey came forward to speak. He provided a quick review of the project history for the agency. He said after July 15<sup>th</sup> they filed their zoning application and then made a small text change and that was filed on August 13<sup>th</sup>. Then they filed the balance of their zoning applications on August 27<sup>th</sup>. He said before they filed site plans, JHM hosted a Zoom meeting

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with neighbors and obtained input from them. He said they met with the Planning Commission and Zoning Commission in September. He said they opened hearing with Zoning in late October and continued until the end of December. He said they only changes since July 2020 are the articulation of the building and design enhancements.

Michael Weissbrod came forward to speak. He stated that he was with Crosskey Architects from Hartford. Mr. Weissbrod provided images and blueprints of the site for the agency. He reviewed the design and changes proposed for the project. .

Robert Grzywacz came forward to speak. Mr. Grzywacz, the architect who wrote the peer review for the City. He presented design choices for the agency to decide on and made a recommendation to remove a few parking spaces at the entryway.

Chairman Igneri stated he was happy with the design changes and work that had been accomplished, and preferred the applicant's transparency option. He stated that the plan was much improved over what had been presented prior. Mr. Westmoreland questioned if there were five habitable stories in the front of the building and six in the rear. This was confirmed after a pictorial review of the sightlines. Further discussion on the various details and improvement of the designs in the project followed.

#### **POSSIBLE ACTION REGARDING ITEM II.2.1**

**\*\* COMMISSIONER IGNERI MOTIONED TO APPROVE THE DeCARLO AND DOLL PEER REVIEW REPORT FOR WALL STREET PLACE DATED 1/5/2021 AS THE PROPOSED PROJECT MEETS THE WALL STREET/WEST AVENUE DESIGN GUIDELINES.**

**\*\* COMMISSIONER SPEIRS SECONDED THE MOTION.**

**\*\* THE MOTION PASSED UNANIMOUSLY.**

#### **II. 467 WEST AVENUE – THE PINNACLE**

Mr. Craig Flaherty from Redniss & Mead was present to speak. He provided pictures and blueprints for the agency. He introduced his associates David Sans, Bill Warwick, and Eric Rains for the development of the site. He provided a review of the site layout for the agency, which is the fourth iteration of the plans, and discussed the following details:

- 1) Changes to the primary entryway.
- 2) Raised the base element of the entryway.
- 3) Added commercial space.
- 4) The addition of a pedestrian walkway between the buildings which will include landscaping and specialty lighting.
- 5) Type of street lighting suggested by the third-party design reviewer.

Bill Warwick from Barton Partners then spoke. He presented design elements including suggestions made by Bob. He mentioned their collaboration with Eric on landscaping. He talked about two items opened in Bob's review.

- 1) An embellished and highlighted primary entryway to the building.
- 2) Increasing the transparency by narrowing the piers around the retail space windows.

Mr. Westmoreland asked about street lighting and Craig said they would be happy to work with the manufacture to reduce the light noise.

**POSSIBLE ACTION REGARDING ITEM II.2.II**

**\*\* COMMISSIONER WESTMORELAND MOTIONED TO APPROVE DeCARLO AND DOLL DRAFT PEER REVIEW REPORT FOR THE PINNACLE DATED JANUARY 5, 2021 SUBJECT TO THE CONDITIONS ADDRESSED AT THIS MEETING AND FURTHER SUBJECT TO THE EXECUTIVE DIRECTORS APPROVAL OF THE FINAL DEVELOPER DRAWINGS TO BE CONSISTANT WITH THE CONDITIONS DISCUSSED IN THIS MEETING.**

**\*\* COMMISSIONER IGNERI SECONDED THE MOTION.**

**\*\* THE MOTION PASSED UNANIMOUSLY.**

**ADJOURNMENT**

*The meeting was adjourned at 6:40 P.M.*

Respectfully Submitted,  
Telesco Secretarial Services

**Norwalk Redevelopment Agency**  
**Explanation of Statements of Revenues & Expenditures and**  
**Balance Sheets for All Norwalk Redevelopment Agency Funds**  
**Year-To-Date December 31, 2020**

- Operating Fund 100 has revenues of \$786,357 versus budgeted revenues of \$793,995 with an unfavorable variance of \$7,638.
- Total operating expenditures are \$784,602 versus a budget of \$810,381 which results in a \$25,778 favorable operating variance. This is primarily due to an unfavorable variance in legal expenses of \$79,393 resulting from the Wall Street litigation which was offset by a favorable variance in personnel costs of \$85,914 and other administrative expense of \$19,257.
- There is an actual operating surplus of \$1,754 versus a budgeted deficit of \$16,385 which results in a favorable operating variance of \$18,140.
- Operating Fund 100 Balance Sheet has \$5,512,543 in cash, accounts receivable, due to other funds and property, and \$1,013,412 in net loans receivable and other assets. There are \$1,454,129 in Deferred Revenues which will be earned when expended and \$3,510,201 in Net Assets.
- The Brookfield Properties Operating Fund 115 has revenues of \$10,493 and expenditures of \$10,493 resulting in a breakeven. The Balance Sheet has \$478,958 in cash and \$478,958 in liabilities and net assets.
- CDBG Revolving Loan Fund 200 has revenues of \$11,592 which consists of interest income from notes receivable and expenditures of \$5,737 resulting in an operating surplus of \$5,855. The CDBG Revolving Loan Fund Balance Sheet has \$878,448 in cash and due from other funds, and \$123,760 in net loans receivable. This fund has \$503,948 in liabilities and \$498,260 in net assets.
- CDBG Non-Revolving Loan Fund 300 has revenues of \$1,817 and program expenditures of \$382,684 which results in an operating deficit of \$380,866 which has been drawn down and reimbursed from CDBG. The Balance Sheet for CDBG Non-Revolving Loan Fund has \$144,943 in cash and due from other funds, \$80,636 in net loans receivable, and \$225,579 in liabilities and net assets.
- Norwalk Redevelopment Agency Project and Program Fund 500 Statement of Revenues and Expenditures includes Capital Budget Grants from the City of Norwalk, State of Connecticut DECD Grants, and Choice Neighborhoods Federal Grants. This fund has \$317,599 in revenues and \$345,819 in program expenditures resulting in a \$28,220 operating deficit which will be breakeven after grant billing. The NRA Project and Program Fund balance sheet has \$590,368 in cash and due to other funds and \$590,368 in liabilities and net assets.

**Norwalk Redevelopment Agency Inc.**  
Statement of Revenues and Expenditures - Board 2021 Rev&Exp Comparison-YTD,Budget,Prior YTD  
100 - NRA Operating - Fund 100  
From 7/1/2020 Through 12/31/2020  
(In Whole Numbers)

	YTD Actual	YTD Budget	YTD Variance	Prior YTD Actual	Annual Budget	Annual Budget \$ Remaining
<b>REVENUES</b>						
<b>Grant Revenues</b>						
Grants - City Positions	71,277	71,277	0	72,150	142,553	71,276
Grants - NRA Project Funds	439,483	439,483	0	411,661	878,966	439,483
Grants - CDBG City Neighborhoods	109,361	116,795	(7,434)	89,987	233,590	124,229
Grants - CDBG Program Admin	98,207	99,273	(1,067)	88,309	198,547	100,340
Grants - CDBG CV Admin	38,322	29,169	9,153	0	58,337	20,015
Grants - Other	0	26,482	(26,482)	3,280	52,964	52,964
Total Grant Revenues	756,649	782,479	(25,829)	665,388	1,564,957	808,308
<b>Other Revenues</b>						
Interest Income from Notes	25,249	5,517	19,732	5,867	11,033	(14,216)
Interest Income - Other	467	6,000	(5,533)	15,615	12,000	11,533
Miscellaneous Revenues	3,991	0	3,991	459	0	(3,991)
Rental Income	0	0	0	18,492	0	0
Total Other Revenues	29,707	11,517	18,191	40,432	23,033	(6,674)
Total REVENUES	786,357	793,995	(7,638)	705,820	1,587,990	801,633
<b>EXPENDITURES</b>						
<b>Personnel</b>						
Salaries	391,050	442,406	51,356	372,959	852,041	460,991
Taxes & Benefits	144,387	178,944	34,558	146,723	357,889	213,502
Total Personnel	535,436	621,350	85,914	519,681	1,209,930	674,494
<b>Administrative Expenses</b>						
Professional Fees - Legal	141,893	62,500	(79,393)	171,072	125,000	(16,893)
Professional Fees - Other	6,750	7,500	750	6,250	15,000	8,250
Consultants/Contracted Svcs	11,970	17,500	5,530	5,000	35,000	23,030
Occupancy	54,772	56,634	1,862	54,570	113,267	58,495
Office Expenses	6,186	14,268	8,082	10,743	28,536	22,350
Insurance	0	6,632	6,632	340	13,264	13,264
I.T. Expense	6,271	5,814	(458)	5,041	11,627	5,356
Training	2,772	5,893	3,121	3,246	11,786	9,014
Agency Marketing	17,493	9,790	(7,703)	5,655	19,580	2,087
Miscellaneous	1,059	2,500	1,441	132	5,000	3,941
Total Administrative Expenses	249,166	189,030	(60,136)	262,050	378,060	128,894
Total EXPENDITURES	784,602	810,381	25,778	781,731	1,587,990	803,388
NET OPERATING SURPLUS/(DEFICIT)	1,754	(16,385)	18,140	(75,911)	0	(1,754)

**Norwalk Redevelopment Agency Inc.**  
**Statement of Revenues and Expenditures**  
100 - NRA Operating - Fund 100  
From 12/1/2020 Through 12/31/2020  
(In Whole Numbers)

	Month Actual	Month Budget	Month Variance	Prior Year Month
<b>REVENUES</b>				
Grant Revenues				
Grants - City Positions	11,879	11,879	0	12,025
Grants - NRA Project Funds	73,247	73,247	0	68,609
Grants - CDBG City Neighborhoods	48,691	19,466	29,225	14,340
Grants - CDBG Program Admin	19,928	16,546	3,383	12,500
Grants - CDBG CV Admin	5,896	4,861	1,034	0
Grants - Other	0	4,414	(4,414)	0
<b>Total Grant Revenues</b>	<b>159,641</b>	<b>130,413</b>	<b>29,228</b>	<b>107,475</b>
Other Revenues				
Interest Income from Notes	4,187	919	3,267	857
Interest Income - Other	(140)	1,000	(1,140)	1,786
Miscellaneous Revenues	100	0	100	0
Rental Income	0	0	0	3,638
<b>Total Other Revenues</b>	<b>4,146</b>	<b>1,919</b>	<b>2,227</b>	<b>6,281</b>
<b>Total REVENUES</b>	<b>163,788</b>	<b>132,333</b>	<b>31,455</b>	<b>113,755</b>
<b>EXPENDITURES</b>				
Personnel				
Salaries	82,147	81,927	(220)	66,411
Taxes & Benefits	26,834	29,824	2,990	26,166
<b>Total Personnel</b>	<b>108,982</b>	<b>111,751</b>	<b>2,770</b>	<b>92,577</b>
Administrative Expenses				
Professional Fees - Legal	13,452	10,417	(3,035)	45,863
Professional Fees - Other	1,125	1,250	125	1,042
Consultants/Contracted Svcs	(3,865)	2,917	6,782	0
Occupancy	9,434	9,439	5	13,884
Office Expenses	468	2,378	1,910	3,289
Insurance	0	1,105	1,105	0
I.T. Expense	318	969	651	300
Training	0	982	982	34
Agency Marketing	4,300	1,632	(2,668)	3,000
Miscellaneous	132	417	285	0
<b>Total Administrative Expenses</b>	<b>25,363</b>	<b>31,505</b>	<b>6,142</b>	<b>67,412</b>
<b>Total EXPENDITURES</b>	<b>134,345</b>	<b>143,256</b>	<b>8,912</b>	<b>159,989</b>
<b>NET OPERATING SURPLUS/(DEFICIT)</b>	<b>29,443</b>	<b>(10,924)</b>	<b>40,367</b>	<b>(46,233)</b>

**Norwalk Redevelopment Agency Inc.**  
Statement of Revenues and Expenditures - Board Qtrly - 2nd Quarter YTD Comparative  
100 - NRA Operating - Fund 100  
From 7/1/2020 Through 12/31/2020  
(In Whole Numbers)

	<u>Year-To-Date Actual</u>	<u>Prior Year-To-Date Actual</u>
<b>REVENUES</b>		
Grant Revenues		
Grants - City Positions	71,277	72,150
Grants - NRA Project Funds	439,483	411,661
Grants - CDBG City Neighborhoods	109,361	89,987
Grants - CDBG Program Admin	98,207	88,309
Grants - CDBG CV Admin	38,322	0
Grants - Other	0	3,280
Total Grant Revenues	<u>756,649</u>	<u>665,388</u>
Other Revenues		
Interest Income from Notes	25,249	5,867
Interest Income - Other	467	15,615
Miscellaneous Revenues	3,991	459
Rental Income	0	18,492
Total Other Revenues	<u>29,707</u>	<u>40,432</u>
Total REVENUES	<u>786,357</u>	<u>705,820</u>
<b>EXPENDITURES</b>		
Personnel		
Salaries	391,050	372,959
Taxes & Benefits	144,387	146,723
Total Personnel	<u>535,436</u>	<u>519,681</u>
Administrative Expenses		
Professional Fees - Legal	141,893	171,072
Professional Fees - Other	6,750	6,250
Consultants/Contracted Svcs	11,970	5,000
Occupancy	54,772	54,570
Office Expenses	6,186	10,743
Insurance	0	340
I.T. Expense	6,271	5,041
Training	2,772	3,246
Agency Marketing	17,493	5,655
Miscellaneous	1,059	132
Total Administrative Expenses	<u>249,166</u>	<u>262,050</u>
Total EXPENDITURES	<u>784,602</u>	<u>781,731</u>
<b>NET OPERATING SURPLUS/(DEFICIT)</b>	<u>1,754</u>	<u>(75,911)</u>

**Norwalk Redevelopment Agency Inc.**  
Balance Sheet - Board Qtrly - 2nd Quarter YTD Comparative  
100 - NRA Operating - Fund 100  
As of 12/31/2020  
(In Whole Numbers)

	<u>Current Year</u>	<u>Prior Year</u>
<b>ASSETS</b>		
Current Assets		
Cash	324,639	398,754
Investments	4,754,595	5,339,546
Accounts Receivable	<u>385,206</u>	<u>211,478</u>
Total Current Assets	5,464,440	5,949,778
Other Assets		
Due from (to) Other Funds	(3,345)	531,498
Property & Equipment	51,448	27,194
Loans Receivable	1,289,391	495,522
Less: Bad Debt Reserve	(282,729)	(282,729)
Other Assets	<u>6,750</u>	<u>6,250</u>
Total Other Assets	<u>1,061,515</u>	<u>777,735</u>
Total ASSETS	<u><u>6,525,955</u></u>	<u><u>6,727,513</u></u>
<b>LIABILITIES AND NET ASSETS</b>		
Liabilities		
Accounts Payable	100,517	91,842
Payroll & Benefits Payable	189,541	341,255
Other Liabilities	255,757	152,424
Notes Payable	1,015,811	206,870
Deferred Revenues	<u>1,454,129</u>	<u>2,349,256</u>
Total Liabilities	3,015,754	3,141,647
Net Assets		
Beginning Fund Balances	3,508,446	3,661,777
YTD Activities	<u>1,754</u>	<u>(75,911)</u>
Total Net Assets	<u>3,510,201</u>	<u>3,585,866</u>
Total LIABILITIES AND NET ASSETS	<u><u>6,525,955</u></u>	<u><u>6,727,513</u></u>

**Norwalk Redevelopment Agency Inc.**  
Statement of Revenues and Expenditures - Board Qtrly - 2nd Quarter YTD Comparative  
115 - Brookfield Operating Fund 115  
From 7/1/2020 Through 12/31/2020  
(In Whole Numbers)

	Year-To-Date Actual	Prior Year-To-Date Actual
<b>REVENUES</b>		
Other Revenues		
Contributions - Developer	10,493	86,350
Total Other Revenues	10,493	86,350
Total REVENUES	10,493	86,350
<b>EXPENDITURES</b>		
Administrative Expenses		
Professional Fees - Legal	1,000	7,150
Consultants/Contracted Svcs	8,712	0
Office Expenses	263	0
Total Administrative Expenses	9,975	7,150
Project Expenses		
Other Project Expenses	518	70,010
Project Expenses	0	9,190
Total Project Expenses	518	79,200
Total EXPENDITURES	10,493	86,350
<b>NET OPERATING SURPLUS/(DEFICIT)</b>	<b>0</b>	<b>0</b>

**Norwalk Redevelopment Agency Inc.**  
 Balance Sheet - Board Qtrly - 2nd Quarter YTD Comparative  
 115 - Brookfield Operating Fund 115  
 As of 12/31/2020  
 (In Whole Numbers)

	Current Year	Prior Year
<b>ASSETS</b>		
Current Assets		
Cash	44,327	7,381
Investments	434,631	512,638
Total Current Assets	478,958	520,019
<b>Total ASSETS</b>	<b>478,958</b>	<b>520,019</b>
<b>LIABILITIES AND NET ASSETS</b>		
Liabilities		
Accounts Payable	559	0
Other Liabilities	478,399	520,019
Total Liabilities	478,958	520,019
<b>Total LIABILITIES AND NET ASSETS</b>	<b>478,958</b>	<b>520,019</b>

**Norwalk Redevelopment Agency Inc.**  
Statement of Revenues and Expenditures - Board Qtrly - 2nd Quarter YTD Comparative  
200 - CDBG (RLF) - Fund 200  
From 7/1/2020 Through 12/31/2020  
(In Whole Numbers)

	<u>Year-To-Date Actual</u>	<u>Prior Year-To-Date Actual</u>
<b>REVENUES</b>		
Other Revenues		
Interest Income from Notes	<u>11,592</u>	<u>14,428</u>
Total Other Revenues	<u>11,592</u>	<u>14,428</u>
Total REVENUES	<u>11,592</u>	<u>14,428</u>
<b>EXPENDITURES</b>		
Administrative Expenses		
Miscellaneous	<u>3,241</u>	<u>3,508</u>
Total Administrative Expenses	<u>3,241</u>	<u>3,508</u>
Project Expenses		
CDBG Program Expenses	<u>2,496</u>	<u>0</u>
Total Project Expenses	<u>2,496</u>	<u>0</u>
Total EXPENDITURES	<u>5,737</u>	<u>3,508</u>
<b>NET OPERATING SURPLUS/(DEFICIT)</b>	<u><u>5,855</u></u>	<u><u>10,920</u></u>

**Norwalk Redevelopment Agency Inc.**  
 Balance Sheet - Board Qtrly - 2nd Quarter YTD Comparative  
 200 - CDBG (RLF) - Fund 200  
 As of 12/31/2020  
 (In Whole Numbers)

	Current Year	Prior Year
<b>ASSETS</b>		
Current Assets		
Cash	679,480	413,555
Investments	176,184	175,873
Total Current Assets	855,664	589,428
Other Assets		
Due from (to) Other Funds	22,784	159,974
Loans Receivable	1,840,256	1,996,424
Less: Bad Debt Reserve	(1,716,496)	(1,716,496)
Total Other Assets	146,545	439,902
Total ASSETS	1,002,209	1,029,330
<b>LIABILITIES AND NET ASSETS</b>		
Liabilities		
Accounts Payable	1,466	436
Other Liabilities	502,482	525,568
Total Liabilities	503,948	526,005
Net Assets		
Beginning Fund Balances	492,405	492,405
YTD Activities	5,855	10,920
Total Net Assets	498,260	503,325
Total LIABILITIES AND NET ASSETS	1,002,209	1,029,330

**Norwalk Redevelopment Agency Inc.**  
**Statement of Revenues and Expenditures - Board Qtrly - 2nd Quarter YTD Comparative**  
**300 - CDBG (NRLF) - Fund 300**  
**From 7/1/2020 Through 12/31/2020**  
**(In Whole Numbers)**

	Year-To-Date Actual	Prior Year-To-Date Actual
<b>REVENUES</b>		
Grant Revenues		
Grants - CDBG City Neighborhoods	0	148,359
Total Grant Revenues	0	148,359
Other Revenues		
Interest Income from Notes	1,817	2,401
Interest Income - Other	1	1
Total Other Revenues	1,817	2,402
Total REVENUES	1,817	150,761
<b>EXPENDITURES</b>		
Administrative Expenses		
Occupancy	0	456
Office Expenses	55	0
Training	2,150	0
Miscellaneous	1,701	1,707
Total Administrative Expenses	3,906	2,163
Project Expenses		
CDBG Program Expenses	132,888	136,465
Other Project Expenses	245,890	183,370
Total Project Expenses	378,778	319,835
Total EXPENDITURES	382,684	321,998
<b>NET OPERATING SURPLUS/(DEFICIT)</b>	<b>(380,866)</b>	<b>(171,236)</b>

**Norwalk Redevelopment Agency Inc.**  
 Balance Sheet - Board Qtrly - 2nd Quarter YTD Comparative  
 300 - CDBG (NRLF) - Fund 300  
 As of 12/31/2020  
 (In Whole Numbers)

	Current Year	Prior Year
<b>ASSETS</b>		
Current Assets		
Cash	139,737	163,131
Investments	3,316	3,315
Total Current Assets	143,053	166,445
Other Assets		
Due from (to) Other Funds	1,890	29,830
Loans Receivable	435,211	446,257
Less: Bad Debt Reserve	(354,575)	(354,575)
Total Other Assets	82,527	121,512
Total ASSETS	225,579	287,957
<b>LIABILITIES AND NET ASSETS</b>		
Liabilities		
Accounts Payable	340,640	182,490
Other Liabilities	81,334	92,232
Deferred Revenues	7,000	7,000
Total Liabilities	428,974	281,722
Net Assets		
Beginning Fund Balances	177,472	177,472
YTD Activities	(380,866)	(171,236)
Total Net Assets	(203,394)	6,235
Total LIABILITIES AND NET ASSETS	225,579	287,957

**Norwalk Redevelopment Agency Inc.**  
**Statement of Revenues and Expenditures - Board Qtrly - 2nd Quarter YTD Comparative**  
**500 - Programs, DECD, Cap Bud - Fund 500**  
**From 7/1/2020 Through 12/31/2020**  
**(In Whole Numbers)**

	Year-To-Date Actual	Prior Year-To-Date Actual
<b>REVENUES</b>		
Grant Revenues		
Grants - State DECD	893	26,070
Grants - Choice Neighborhoods	8,934	656,458
Grants - Other	1,050	1,600
Grants - City Capital Budgets	305,220	1,310,638
Total Grant Revenues	316,098	1,994,766
Other Revenues		
Interest Income - Other	1	2
Miscellaneous Revenues	1,500	0
Total Other Revenues	1,501	2
Total REVENUES	317,599	1,994,769
<b>EXPENDITURES</b>		
Administrative Expenses		
Consultants/Contracted Svcs	115,602	253,490
Office Expenses	317	850
Year End Zero Out To Breakeven	(33,386)	(32,113)
Miscellaneous	90	828
Total Administrative Expenses	82,623	223,055
Project Expenses		
Capital Budget Expenses	250,000	250,000
Other Project Expenses	711	8,639
Project Expenses	12,484	1,582,935
Total Project Expenses	263,196	1,841,575
Total EXPENDITURES	345,819	2,064,630
<b>NET OPERATING SURPLUS/(DEFICIT)</b>	<b>(28,220)</b>	<b>(69,861)</b>

**Norwalk Redevelopment Agency Inc.**  
 Balance Sheet - Board Qtrly - 2nd Quarter YTD Comparative  
 500 - Programs, DECD, Cap Bud - Fund 500  
 As of 12/31/2020  
 (In Whole Numbers)

	Current Year	Prior Year
<b>ASSETS</b>		
Current Assets		
Cash	488,624	870,942
Investments	109,743	111,499
Accounts Receivable	0	405,715
Total Current Assets	598,368	1,388,156
Other Assets		
Due from (to) Other Funds	(8,000)	(712,259)
Loans Receivable	92,246	112,246
Less: Bad Debt Reserve	(92,246)	(112,246)
Total Other Assets	(8,000)	(712,259)
Total ASSETS	590,368	675,897
<b>LIABILITIES AND NET ASSETS</b>		
Liabilities		
Accounts Payable	48,839	48,961
Other Liabilities	566,763	631,908
Deferred Revenues	2,985	64,889
Total Liabilities	618,588	745,758
Net Assets		
YTD Activities	(28,220)	(69,861)
Total Net Assets	(28,220)	(69,861)
Total LIABILITIES AND NET ASSETS	590,368	675,897

**Norwalk Redevelopment Agency Inc.**  
 Statement of Revenues and Expenditures - Board Qtrly - 2nd Qtr All NRA Entities Combined  
 From 7/1/2020 Through 12/31/2020  
 (In Whole Numbers)

	NRA Operating - Fund 100	Brookfield Operating Fund 115	CDBG (RLF) - Fund 200	CDBG (NRLF) - Fund 300	Programs, DECD, Cap Bud - Fund 500	Total
<b>REVENUES</b>						
Grant Revenues						
Grants - City Positions	71,277	0	0	0	0	71,277
Grants - State DECD	0	0	0	0	893	893
Grants - NRA Project Funds	439,483	0	0	0	0	439,483
Grants - CDBG City Neighborhoods	109,361	0	0	0	0	109,361
Grants - CDBG Program Admin	98,207	0	0	0	0	98,207
Grants - CDBG CV Admin	38,322	0	0	0	0	38,322
Grants - Choice Neighborhoods	0	0	0	0	8,934	8,934
Grants - Other	0	0	0	0	1,050	1,050
Grants - City Capital Budgets	0	0	0	0	305,220	305,220
Total Grant Revenues	756,649	0	0	0	316,098	1,072,747
Other Revenues						
Contributions - Developer	0	10,493	0	0	0	10,493
Interest Income from Notes	25,249	0	11,592	1,817	0	38,658
Interest Income - Other	467	0	0	1	1	469
Miscellaneous Revenues	3,991	0	0	0	1,500	5,491
Total Other Revenues	29,707	10,493	11,592	1,817	1,501	55,112
Total REVENUES	786,357	10,493	11,592	1,817	317,599	1,127,859
<b>EXPENDITURES</b>						
Personnel						
Salaries	391,050	0	0	0	0	391,050
Taxes & Benefits	144,387	0	0	0	0	144,387
Total Personnel	535,436	0	0	0	0	535,436
Administrative Expenses						
Professional Fees - Legal	141,893	1,000	0	0	0	142,893
Professional Fees - Other	6,750	0	0	0	0	6,750
Consultants/Contracted Svcs	11,970	8,712	0	0	115,602	136,284
Occupancy	54,772	0	0	0	0	54,772
Office Expenses	6,186	263	0	55	317	6,821
I.T. Expense	6,271	0	0	0	0	6,271
Training	2,772	0	0	2,150	0	4,922
Year End Zero Out To Breakeven	0	0	0	0	(33,386)	(33,386)
Agency Marketing	17,493	0	0	0	0	17,493
Miscellaneous	1,059	0	3,241	1,701	90	6,091
Encumbrance	0	0	0	0	0	0
Total Administrative Expenses	249,166	9,975	3,241	3,906	82,623	348,911

**Norwalk Redevelopment Agency Inc.**  
**Statement of Revenues and Expenditures - Board Qtrly - 2nd Qtr All NRA Entities Combined**  
 From 7/1/2020 Through 12/31/2020  
 (in Whole Numbers)

	NRA Operating - Fund 100	Brookfield Operating Fund 115	CDBG (RLF) - Fund 200	CDBG (NRLF) - Fund 300	Programs, DECID, Cap Bud - Fund 500	Total
<b>Project Expenses</b>						
Capital Budget Expenses	0	0	0	0	250,000	250,000
CDBG Program Expenses	0	0	2,496	132,888	0	135,384
Other Project Expenses	0	318	0	245,890	711	247,119
Project Expenses	0	0	0	0	12,484	12,484
Total Project Expenses	0	318	2,496	378,778	263,196	644,987
Total EXPENDITURES	784,602	10,493	5,737	382,684	345,819	1,529,335
<b>NET OPERATING SURPLUS/(DEFICIT)</b>	1,754	0	5,855	(380,866)	(28,220)	(401,476)

**Norwalk Redevelopment Agency Inc.**  
 Balance Sheet - Board Qtrly - 2nd Qtr All NRA Entities Combined  
 As of 12/31/2020  
 (In Whole Numbers)

	NRA Operating - Fund 100	Brookfield Operating Fund 115	CDBG (RLF) - Fund 200	CDBG (NRLF) - Fund 300	Programs, DECD, Cap Bud - Fund 500	Total
<b>ASSETS</b>						
Current Assets						
Cash	324,639	44,327	679,480	139,737	488,624	1,676,807
Investments	4,754,595	434,631	176,184	3,316	109,743	5,478,469
Accounts Receivable	385,206	0	0	0	0	385,206
Grants Receivable	0	0	0	0	0	0
Total Current Assets	5,464,440	478,958	855,664	143,053	598,368	7,540,482
Other Assets						
Due from (to) Other Funds	(3,345)	0	22,784	1,890	(8,000)	13,329
Property & Equipment	51,448	0	0	0	0	51,448
Loans Receivable	1,289,391	0	1,840,256	435,211	92,246	3,657,105
Less: Bad Debt Reserve	(282,729)	0	(1,716,496)	(354,575)	(92,246)	(2,446,045)
Other Assets	6,750	0	0	0	0	6,750
Total Other Assets	1,061,515	0	146,545	82,527	(8,000)	1,282,587
Amounts To Be Provided By Governmental Fund	0	0	0	0	0	0
Total ASSETS	6,525,955	478,958	1,002,209	225,579	590,368	8,823,069
<b>LIABILITIES AND NET ASSETS</b>						
Liabilities						
Accounts Payable	100,517	559	1,466	340,640	48,839	492,020
Payroll & Benefits Payable	189,541	0	0	0	0	189,541
Other Liabilities	255,757	478,399	502,482	81,334	566,763	1,884,736
Notes Payable	1,015,811	0	0	0	0	1,015,811
Deferred Revenues	1,454,129	0	0	7,000	2,985	1,464,114
Compensated Absences	0	0	0	0	0	0
Total Liabilities	3,015,754	478,958	503,948	428,974	618,588	5,046,222
Net Assets						
Beginning Fund Balances	3,508,446	0	492,405	177,472	0	4,178,323
Designated Net Assets	0	0	0	0	0	0
YTD Activities	1,754	0	5,855	(380,866)	(28,220)	(401,476)
Total Net Assets	3,510,201	0	498,260	(203,394)	(28,220)	3,776,847
Total LIABILITIES AND NET ASSETS	6,525,955	478,958	1,002,209	225,579	590,368	8,823,069



**Meticulous Landscaping and Design, Inc.**

115 New Canaan Ave PMB #705  
Norwalk, CT 06854

Phone (203) 849-9340 Fax (203) 642-4428

Email: [metic7@optimum.net](mailto:metic7@optimum.net)

January 29, 2021

Norwalk Redevelopment Agency  
125 East Avenue – Room 202  
Norwalk, CT 06851  
Attn: Brian Bidoli, Jessica Casey, David Shockley, Stephen Ivan

Dear Mr. Bidoli, Ms. Casey, Mr. Shockley and Mr. Ivan:

We want to thank all of you for the continued opportunity to service your grounds. There will be no increase in the amount for services for the upcoming third year of our contract.

We have revised the billing schedule for RFP No. 100-1 for the upcoming season as per your direction and as noted below; we will waive a deposit to be normally billed on January 1, 2021 and instead bill monthly based on the maintenance requirements from Jan-June 2021 and July-Dec 2021 respectively.

**Total for 2021 Services by Meticulous Landscaping & Design, Inc. and agreed to by Norwalk Redevelopment Agency as a part of a 3 year contract approved for 2019, 2020, 2021:**

**RFP No 100-1 2021 \$111,250.00\***  
**\*no increase for 2021**

Proposed Schedule of Monthly Payments:

01/01/2021: \$ 6,489.58  
02/01/2021: \$ 6,489.58  
03/01/2021: \$ 6,489.58  
04/01/2021: \$ 6,489.58  
05/01/2021: \$ 6,489.58  
06/01/2021: \$ 6,489.58  
07/01/2021: \$ 12,052.08  
08/01/2021: \$ 12,052.08  
09/01/2021: \$ 12,052.08  
10/01/2021: \$ 12,052.08  
11/01/2021: \$ 12,052.08  
12/01/2021: \$ 12,052.08

It is understood than any additional work items that are not covered in the RFP No.100-1 that we are asked to do will be billed separately as they occur at a mutually agreed upon amount.

We are looking forward to continuing the servicing of your account needs with professional, courteous and superior service.

Cordially,

Joseph Tamburro  
President



## Mathews Park Master Site Plan Approach

Heritage Landscapes Team, a collaboration with Aris Stalis, PLA, of Aris Land Studio and Bruce Mawhirter, PE, LEED AP, and Veera Karukonda, PE, Lead Traffic Engineer, of M& J Engineers, will approach the Mathews Park Master plan project from three viewpoints, historic, contemporary, and future, to address the evolution and ongoing vibrancy of this public park landscape and its facilities. Heritage Landscapes is focused on the vitality and ongoing stewardship of heritage places and Mathews Park, the former Lockwood-Mathews 26.4-acre property, is a few short blocks away from our 34 Wall Street, Norwalk office. We are familiar with the park and are excited to have the opportunity to study it in detail and prepare planning recommendations for a more vibrant future for this community treasure. Over the decades, the private estate became an 18-acre public park and site of a vibrant group of museums and community gathering places, as well as an open landscape to enjoy. With the Lockwood-Mathews Mansion Museum as a centerpiece, the park hosts one of the earliest and most significant Second Empire Style houses in the country with National Landmark status.

Today the landscape around the Mansion fails to add value in terms of historic character and features as a setting for the former estate buildings. This site planning project can reverse this absence and celebrate the valuable landscape through the recapture of historic character, while also addressing current issues throughout the park. With this project the Heritage Landscapes Team will affirm the significance of Mathews Park for the Norwalk community and enhance its uses and functions.

Our team will align our efforts to the planning goals for this evolved public landscape. These goals provide a comprehensive framework for this work, to include:

- *Reimagine the Historic Site- to understand and relate past, present, and future uses* – The foundation of this planning work, gaining a thorough understanding of site evolution, landscape today, current uses, and analyzing connectivity and other relevant issues, will serve as the starting point for reimagining the future vectors and bringing forward actionable recommendations that uplift the park visitor experience.
- *Enhance the beauty and utility of the site through landscaping, and other site planning strategies that improve the historic context for the site's historic buildings* – Heritage Landscapes is uniquely suited to enhance Mathews Park beauty and functionality thoroughly and appropriately, based on a body of knowledge assembled in this work to include historic site evolution, uses, tenant and stakeholder inputs, and community desires in a well-balanced, inclusive manner in the plan recommendations.
- *Improve connections into and out of park on all sides. Improve multimodal transportation access to, through and around the site* – Attention to multi-modal circulation within and adjacent to Mathews Park will include addressing trails, sidewalks, crosswalks, vehicle routes, and parking, with special focus on connectivity among landscape and destinations within the park. For example, we will study connections to the adjacent Waypoint, Stepping Stones Museum, and new Pinnacle project (s) underway to link the park at West Avenue, Butler Street, Crescent Street and under I-95 to Oyster Shell Park. The segment of the Norwalk River Valley Trail within the park and its internal connections is another aspect to address. Working with professionals from M& J Engineering PC, the team will integrate multi-modal access and traffic considerations from nearby as well as within Mathews Park.
- *Provide pedestrian access from the mid-block Waypointe and Pinnacle development sites to a "gateway" entry to Mathews Park from Butler Street* – As part of the circulation system efforts, we will study opportunity to strengthen the historic frontage of the Lockwood Mathews estate along West Avenue and provide notable entrances to Mathews Park via Butler Street.
- *Provide multimodal streetscape and roadway improvements to West Avenue* – A review of previous West Avenue connectivity plans will be undertaken, and recommendations for West Avenue, particularly along the frontage of Mathews Park will be prepared to build upon prior work.
- *Determine guidelines for quality activities, events, and other programmatic uses of the Park* – By gathering information on current uses from tenants and stakeholders, this team will assess event types and capacities with a sustainable park landscape in mind. Guidance recommendations will identify for appropriate activities and capacities that can support social engagement while limiting environmental impacts and historic landscape degradation.
- *Encourage ways for the City's businesses to benefit from the over 500,000 annual visitors*

*per year to the park's existing institutions* – While parks are not considered economic generators themselves, the activities and destinations within them and the adjacent and nearby businesses often reap benefits as park users engage within and around the park. Having the park function well and be clearly and safely connected to the surroundings encourages longer park visits and flows over into nearby purchasing.

Taken together, the goals, initial and secondary questions and the requested tasks will yield a well-crafted, effective, plan resulting from this collaborative, inclusive work by the Heritage Landscapes Team.



### Heritage Landscapes Work Scope Tasks and Deliverables

#### 1 Research, Base Mapping, Observations, Interviews, Work Session, Community Listening Session

The following subtasks will be undertaken in Task 1:

- 1a Hold Project Start-up Virtual Meeting
- 1b Research Park History and Evolution
- 1c Prepare Park and Adjacent Area Base Map

- 1d Review Relevant Plans, Studies and Regulations
- 1e Observe Park Uses and Record Observations
- 1f Conduct Tenant Telephone/Video Conference Interviews, Gain Input
- 1g Prepare and Submit Report on Tasks 1a – 1f Findings and Products
- 1h Hold MPOC Work Session and Community Listening Session

### **1a Hold Project Start-up Virtual Meeting**

Heritage Landscapes will schedule an online start-up meeting with the Norwalk Redevelopment Agency. At this meeting we will determine representative members of the Mathews Park Oversight Committee (MPOC), review scope of work scope and deliverables, identify repositories for Mathews Park historic documents and affirm a preliminary project schedule and milestones.

### **1b Research Park History and Evolution**

Heritage Landscapes will obtain historic documents from the Norwalk Public Library History Room, Lockwood Mathews Mansion Archives, and other locations as identified during the project start up meeting. We will carry out an analysis of the 1876 Davies Survey and the collection of historic photographs of the property in the museum archives. This effort will include collecting and studying the historical maps and aerial photographs of the property from the 1870s to the present. This assessment will reveal the character of the landscape to form a foundation for recommendations about the character and features of the landscape. These future directions will include attention to historic features of the landscape, historic landscape details, paths, plantings, and small-scale elements and objects that can shape a recognizable landscape character, improving the historic setting of the Mansion and its associated historic buildings.

### **1c Prepare Park and Adjacent Area Base Map**

Obtain available recent surveys, mapping, digital files, partial AutoCAD survey and aerials to create a Master Plan base drawing. Using this base mapping, Heritage Landscapes staff will undertake fieldwork to prepare a current park base map. The composite base map will be used for planning proposes undertaken as part of this Master Planning process. While Heritage Landscapes is in the park to conduct field work, we will informally observe park uses that will inform the approach to observing uses more formally in tasks 1e.

### **1d Review Relevant Plans, Studies and Regulations**

Obtain and review relevant plans and studies of West Avenue, city-wide as they affect planning for Mathews Park to gain an understating of how the goals and objectives of these earlier studies may affect the site master planning recommendations. Existing rules and regulations affecting Mathews Park will be reviewed and modifications recommended as appropriate to improve park user and visitor experience.

## **1e Observe Park Uses and Record Observations**

Heritage Landscapes staff will spend time observing park activities to learn more about uses and the interactions between the users within the park. This includes Norwalk residents, local and regional visitors to the park, Lockwood Mathews Mansion, Stepping Stones Museum for Children, The Center for Contemporary Print Making, Fairfield County Cultural Alliance CRIS Radio and Devon's Place playground for children. Vehicular and pedestrian movement functionality, issues and potential conflicts will be observed overall and to better understand the Norwalk River Valley Trail users and uses within the park

## **1f Conduct Tenant Telephone/Video Conference Interviews, Gain Input**

Interviews will be carried out with the various tenants in the park to gain their input on a variety of issues affecting their use and needs within the park and how that may affect other tenants, visitors and guests. The questions will be framed to address data sought in the request for proposal responding to the following:

- *How are Mathews Park and its facilities currently used, for what uses, and who are the users, including the tenants in the park, as well as the general public?*
- *How is Mathews Park accessed and traversed and by what modes of transportation?*
- *What improvements or changes can be made to better serve the needs of the tenants within the park?*
- *How can multimodal transportation access to, through and around the site be improved to support existing and future users?*
- *What current programmed events occur in the park and are these appropriate uses to continue and support?*
- *What kind of partnerships and funding opportunities will support the Master Plan recommendations in the Park?*
- *How are current conditions (i.e. COVID-19) expected to dictate future use of the site?*
- *Are there opportunities for development within or immediately surrounding the site?*
- *How the history of the park influenced or can better influence park use, circulation and overall perception of the campus and context of the setting for the Mansion and related structures?*

## **1g Prepare and Submit Report on Tasks 1a through 1f, Findings and Products**

Findings of tasks 1a through 1f will be compiled in a concise report to share with the Mathews Park Oversight Committee and Public. Identifying the evolution of the park landscape over time, existing features and uses, potential impact of earlier planning studies, observed use, park user and tenant impacts form a basis for making decisions and site planning recommendations. The report will be provided to the Oversight Committee in advance of the work session.

## **1h Hold MPOC Work Session and Community Listening Session**

Heritage Landscapes will present the report of tasks 1a. through 1f, via video conference or in person as determined by public health protocols, to the Mathews Park Oversight Committee during the day with a Public Community Listening Session in the early evening. A work session during the day with the MPOC allows sufficient time to incorporate any desired modifications in advance of sharing the presentation with the community.

The Community Listening Session will focus on sharing the information gathered during the earlier tasks with the community, allowing them to share their thoughts and issues regarding Mathews Park. Inputs will be noted and considered in considering alternatives and developing the recommendations in the next task.

## **Deliverables Task 1**

The report will be organized in an 8.5" by 11" page document with 11" by 17" inch fold out plans of related graphics to be provided in draft to the MPOC. This report of introductory findings will become part of the final Site Planning reporting for Mathews Park. The report will be provided in digital formats as PDF and Word files, for ease of review comment, with plans prepared in AutoCAD provided as PDF files. A summary memo of the inputs that relate to the refinement of the draft will be provided to the MPOC for review and comment.



## 2 Prepare, Present, Refine Draft and Final Mathews Park Master Plan

The subtasks to be carried out in Task 2 include:

- 2a Prepare Draft Mathews Park Master Plan
- 2b Revise Draft with Traffic Engineer and Consulting LA
- 2c Provide Refined Draft Mathews Park Master Plan
- 2d Hold MPOC Work Session and Community Input Session
- 2e Prepare and Submit Final Mathews Park Site Master Plan

### 2a Prepare Draft Mathews Park Master Plan

Prepare a preliminary Master Plan that includes including graphic representations of the potential build-out. The draft Park Master Plan will incorporate findings and address issues raised during the Task 1 effort and community input. The plan will reflect any proposed regulation amendments as well as examples of any new design standards. Prepare and present draft Mathews Park Master Plan, which will include the requested elements of:

- Prepare a visual simulation concept rendering of the park, and a site plan
- Guide design within the context of this historic site
- Evaluate current parking capacity and estimation of future parking demand as a result of future use, as indicated by the tenants – identify need of future parking analysis and studies where appropriate
- Recommend infrastructure improvements and determine potential economic impacts
- Identify improved pedestrian connectivity with adjacent commercial/residential developments
- Recommend improved internal park circulation and Multi-modal trail access and connection to Oyster Shell Park
- Identify opportunities to enhance the West Avenue frontage, create a Gateway on Butler Street and presence of the park along Crescent Street.

### 2b Revise Draft Plan with Traffic Engineer and Consulting LA

The draft Master Plan will be shared with the consulting traffic engineer to review and assess safety and operational issues regarding proposed pedestrian street crossings and interface with multi modal and vehicular movements with park entrances and within the park. The consulting Landscape Architect will share his knowledge working with the City and Community on earlier design and implementation projects within the park and the adjacent Oyster Shell Park.

### 2c Provide Refined Draft Mathews Park Master Plan

A Draft Mathews Park Master Plan will be provided to the MPOC in advance of the work session. The plan will address all issues, planning guidance and recommendations developed in tasks 2a and 2b. The draft plan may include design alternatives in response to issues to obtain direction from the committee.

**Deliverables Task 2a, b, c:** The Draft Mathews Park Site Plan report will be organized as a standard page-size document with fold out plans of related graphics to be shared with the MPOC. The draft report will be provided in digital formats for review and comment.

**2d Hold MPOC Work Session and Norwalk Community Input Session**

Heritage Landscapes will present the draft site plan report from tasks 2a and 2b via video conference or in person as determined by public health protocols. The MPOC will provide their thoughts and direction in the first meeting. The community input session will follow to gain reactions and inputs. Both sessions will include questions about priorities and next steps.

Heritage Landscapes will note the inputs received from the community session. A follow up discussion with the MPOC will discuss public comments to be highlighted in refining and finalizing the park site plan

**2e Prepare and Submit Final Mathews Park Master Plan**

Heritage Landscapes will refine the draft plan in accord with the input received to shape a Final Mathews Park Master Plan that incorporates comments provided by the MPOC, tenants and community members.

Based on inputs and direction from the MPOC project priorities, phasing and next steps toward implementation of recommendations will be developed for this submittal to include:

- *Outline a timeframe for implementation, prioritizing short- and long- term goals, and identify incremental and/or phased steps*
- *Identify and strategies opportunities for public/private partnerships*
- *Identify possible organizations needed to complete tasks.*

A draft of these items will be provided to the MPOC for review and comment. Comments received will be incorporated within the Final Mathews Park Master Plan.

**Deliverables Task 2:** The Final Mathews Park Master Plan will be organized in an 8.5" by 11" document with 11" by 17" inch fold out plans of related graphics. It will be provided as a PDF file organized to print on two-sides. All the original digital files will be provided in original digital formats which may include AutoCAD, Word, In-Design, and Photoshop. PDF files of all plans will also be provided at full size, for 24" by 36" printing. All historic images, and documents acquired in digital formats will be compiled and provided on digital media. Hard copies of products can be provided if a budget for those direct expenses or direct reimbursement is approved beyond the budget presented in this proposal.



### DESIGN AND PLANNING SCHEDULE

The Heritage Landscapes Team anticipates a five to six-month planning project schedule. The project will commence on Monday February 22 and reach completion by Friday 20 August 2021. Under this sequence, final deliverables responding to comments received, would be submitted in accord with the tasks. The schedule may be revised as the project progresses at the direction of the MPOC and agreement of the team.

### STAFFING AND EXPENSES

On the following page the Heritage Landscapes Team has developed staffing fees and expenses to reflect the proposal as detailed above. The Heritage Landscapes Team members participation in the tasks shown yields a staffing budget of \$ 24,170. Office expenses for internal printing and data collection are budgeted at \$400.00 for a total of \$24,570.

## Mathews Park Site Master Plan Agreement (draft for review)

This agreement is made on the 10<sup>th</sup> day of February 2021 between the (Client) Norwalk Redevelopment Agency, --- address -Represented by \_\_\_\_\_ email: \_\_\_\_\_  
NRA **name---** will serve as Project Manager and NRA **name** or designee will be responsible for executing this agreement and any amendments to the work scope and budget, and Heritage Landscapes LLC, (Consultant), represented by Patricia M. O'Donnell, Founder and Partner, at email: odonnell@heritagelandscapes.com and phone 802-425-4330  
Peter Viteretto, Principal and Project team leader at email: viteretto@heritagelandscapes.com, physical location 34 Wall Street Norwalk CT office, and phone 203-852-9966

Project contract and billing materials will be sent to Patricia O'Donnell, Heritage Landscapes LLC, PO Box 321, Charlotte VT 05445-0321 or via email as shown above, or via express to 501 Lake Road, Charlotte VT 05445 VT office phone is 802-425-4330 for voice contact.

The Client desires a site master plan for historic Mathews Park and requests that Heritage Landscapes LLC (HL) lead that effort with their team members in a collaborative process, and Heritage Landscapes is fully able to prepare that plan. This planning effort will be informed by a cooperative dialogue with the Client. The project scope, and fees and expenses are detailed in Attachment A: Scope of Work and Attachment B: Staffing and Expenses, that become a part of this agreement.

Whereas, the Consultant has the experience and ability to prepare such and is willing to provide the necessary professional services to the Client, now, therefore in consideration of the terms and conditions herein provided, the parties agree as follows:

**1. Term:** The term of the agreement shall commence on the date noted above and continue to completion under an agreed schedule unless extended or terminated in accordance with the terms set forth below. An approximate February 22, 2021 to August 20, 2021 schedule, will be adapted to conform to the desires of the client and the best efforts of the consultant. Any adjustment to the project schedule will be reviewed and approved by the Client in writing, which can be via email.

**2. Services:** The Consultant agrees to provide the desired planning professional services with the scope set forth in Attachment A, appended and made a part of this agreement. Such services shall include those described with the products and deliverables noted. The consultant team includes only HL professional staff, as shown on Attachment B, Staffing and Expenses chart. There is also a subconsultant for the development of a cost estimate for the proposed work.

**3. Payments:** In consideration of the services to be performed by the consultant in accordance with the provisions of this agreement, the Client shall pay the Consultant a sum not to exceed \$24,570 full sum to HL, inclusive of all staffing and direct expenses as shown on Attachment B. Payments to HL shall be made in the following manner:

- a. Payment shall be made by the Client upon receipt and approval of each invoice covering HL efforts to complete the itemized tasks and provide related deliverables over the prior month. For simplicity and ease of bookkeeping, the billing for professional services and expenses will be equally divided for five payments of \$4,914. The first billing will be dated April 1, 2021 for

the start-up period of five weeks, and then each month following, prepared early in that month for the prior month efforts. Payment shall be made in a timely manner not to exceed 30 calendar days. Client shall make the final payment upon HL completion of all deliverables and sending of a final billing anticipated to be provided not later than 20 August, 2021. Payment shall be sent to Heritage Landscapes LLC, attention Patricia O'Donnell, at the Vermont mailing address of Patricia O'Donnell, Heritage Landscapes LLC, PO Box 321, Charlotte VT 05445 or by direct bank deposit as agreed.

**4. Relation of The Client and Consultant:** The Client and the Consultant will work jointly and amicably in this undertaking. The Client will provide the Consultant with all available data, will assist the Consultant in each task of the Scope of Work as required and will review, comment upon and approve the Consultant's work as necessary to complete the work. The relationship of the Consultant to the Client is that of an independent contractor and not an employee or agent of the Client, therefore, all employment benefits or similar provisions are expressly excluded from this agreement. The Consultant represents that it has and shall secure at its own expense, all personnel required in performing the services of this agreement. With respect to Consultant's personnel, Consultant as employer shall provide all employment benefits and shall withhold and pay all income, social security, worker's compensation, vacation and sick compensation or similar costs.

**5. Termination:** If the Consultant fails for any reason to fulfill its contractual obligations, the Client shall have the right to terminate this agreement upon fifteen days written notice. Failure to perform in accordance with the contract shall attempt to be remedied prior to termination.

The Client may also terminate this Agreement without cause upon 30 days written notice to Consultant. In such an event the Consultant shall receive compensation only for completed tasks and all work in accord with the scope completed to that time. Compensation shall be forwarded promptly by the Client.

**6. Ownership, Use and Copyright of Documents and Other Materials:** The Client and the Consultant will share in a joint copyright for all products of this work that will be incorporated into the project report itemized in Attachment A of this agreement. The Client and the Consultant shall both be granted unrestricted use of the products. Typical Consultant uses are for project information sheet, website, conference papers and professional articles. The Consultant will retain rights to use any and all materials prepared by the Consultant predating this agreement or performed under other agreements, which may be used during the course of this work. The Consultant shall not include in any submissions to the Client any copyrighted matter. Both Clients and Consultant shall give appropriate credit to each other for material produced under this Agreement and used in publications and the like. Typical copyright statement used in prior work adapted for this project could read: © 2021 All rights reserved. Norwalk Redevelopment Agency and Heritage Landscapes LLC, principal authors (listed names of HL authors). This document may be used and cited with credits given to the copyright holders and principal authors as noted in a complete bibliographic citation. The copyright statement to be shown on the document will be reviewed, refined and agreed by the Client to prior to finalization.

**7. Insurance and Liability:** The Consultant shall carry and keep in force commercial general liability insurance to an aggregate level of \$2,000,000 and professional liability and errors and omissions insurance to a minimum limit of \$1,000,000 and Workers' Compensation Insurance for all of its employees physically on site at Mathews Park. Consultant shall provide the Client satisfactory evidence of such insurance upon execution hereof and annually as coverage is renewed for the project duration. ACORD certificates will be issued with the client name as additional insured.

**8. Minority Business:** Heritage Landscapes LLC is a woman-owned firm. We have minority registration in Vermont and Virginia at present.

**9. Notices:** Contract related notices shall be sent by certified mail, return receipt requested, Federal Express with tracking numbers to 501 Lake Road, Charlotte, VT 05445, via a secure web transfer platform, via email to the above addresses pending acknowledgment of receipt by the representatives noted, or personally delivered. If to the Consultant, notice shall be mailed to the Vermont office, Heritage Landscapes, PO Box 321, Charlotte, VT. If to the Client, notice shall be mailed or delivered to its designated representative at the address set forth above.

**10. Additional Tasks:** The Client will determine the need for any tasks beyond the agreed work scope. These tasks will be undertaken only upon a formally executed amendment to this agreement authorized by the Client to proceed that clarifies the scope and fees for the desired additional tasks.

**11. Confidentiality:** Information, other than publicly available information, transmitted from the Client to the Consultant during the course of this project, is confidential in nature. The Consultant will perform in a discreet manner and agree not to disclose such information to outside parties. Any inquiries for confidential information will be directed to the Client. Notwithstanding the above, the Consultant acknowledges that all communications and work products surrounding this agreement are subject to disclosure in accordance with relevant Connecticut legislation.

**12. Arbitration:** All claims, disputes and other matters in question between the parties of this Agreement or the breach thereof, shall be decided by arbitration in accordance with Rules of the American Arbitration Association, unless the parties mutually agree otherwise.

**13. Assignment & Modification:** This Agreement may not be assigned and may be modified only in writing and as executed by Consultant and The Client. This agreement shall be governed by Connecticut state law and shall bind and benefit the Consultant and the Client.

In Witness Thereof, the parties have duly executed this agreement hereto, made on the 10th day of February 2021, as signed below:

---

Type name of person who signs above  
Norwalk Redevelopment Agency

A handwritten signature in black ink, reading "Patricia M. O'Donnell". The signature is fluid and cursive, with the first name "Patricia" being the most prominent.

Patricia M. O'Donnell, FASLA, AICP  
Founder and Partner, Heritage Landscapes LLC

Attachments: A and B as cited

# Attachment B: Historic Mathews Park Site Master Plan Report

Heritage Landscapes LLC, Preservation Landscape Architects & Planners  
and Team Members Staffing and Expenses

PROJECT STAFF		Founder PLA ODonnell	Proj Mgr PLA Viteretto	Project Staff	Project Traffic Engineer	Consulting L/A, Aris	Subtotals
<b>MASTER PLAN TASKS</b>							
<b>1</b>	<b>Research, Base Mapping, Observations, Interviews, Work Session, Public Listening Session</b>						<b>93</b>
1a	Hold Project Start-up Virtual Meeting	1	1	1			
1b	Research Park History and Evolution	4	4	8			
1c	Prepare Park and adjacent area Base Map	1	6	10			
1d	Review Relevant Plans, Studies, Regulations	2	2	4			
1e	Observe park uses and record observations		3	3			
1f	Carry out tenant telecon interviews, gain inputs		6	2			
1g	Prepare report on 1a-1f findings and products, submit	4	10	12			
1h	Hold MPOC Work Session and Community Listening Session	2	3	4			
<b>2</b>	<b>Prepare and Present Draft and Final Mathews Park Master Plan</b>						<b>141</b>
2a	Prepare draft Mathews Park Master Plan	6	12	32	3	3	
2b	Provide draft to M&J Eng, Aris Land, receive comments		2	2	2	2	
2c	Provide refined draft Mathews Park Master Plan	4	10	30			
2d	Hold MPOC Work Session and Community Input Session	2	3	4			
2e	Prepare and submit final Mathews Park Master Plan	2	6	12	2	2	
HL Staff and Team Hours		<b>28</b>	<b>68</b>	<b>124</b>	<b>7</b>	<b>7</b>	<b>234</b>
Hourly Rates		\$ 190	\$ 125	\$ 75	\$ 150	\$ 150	
Subtotals		\$5,320	\$8,500	\$9,300	\$1,050	\$1,050	
<b>TOTAL STAFFING</b>					<b>\$</b>		<b>24,170</b>
<b>DIRECT EXPENSE ALLOWANCE</b>					<b>\$</b>		<b>400</b>
Inhouse printing, check plots, and services				\$ 400			
<b>TOTAL STAFFING AND EXPENSES</b>					<b>\$</b>		<b>24,570</b>

**CHAIRMAN**  
John E. Igeri

**COMMISSIONERS**  
Kelly Bloom  
Lisa M. Cooper  
William R. Speirs  
David G. Westmoreland

**EXECUTIVE DIRECTOR**  
Brian T. Bidolli

## **Memo regarding 3<sup>rd</sup> Party Façade Improvement Design Review for 637 West Avenue**

February 5, 2021

Norwalk Redevelopment Agency  
3 Belden Avenue  
Norwalk, CT 06850

Dear Norwalk Redevelopment Agency Chairman and Commissioners,

637 West Avenue is a 1.12-acre property at the corner of West Avenue and Chapel Street in the Wall-West Neighborhood of Norwalk. The Norwalk Union Trust Bank built a 25,000 two-story brick commercial office building on the site in 1955. The building is designed in a colonial revival style with a prominent columned pediment modeled off 41 North Main Street, the former Norwalk City Hall built in 1912. Most recently, 637 West Avenue was occupied by a tenant bank branch office. 637 West Avenue is listed on the local Norwalk Historic Resources Inventory List.

The current owner is renovating the existing building in order to make is usable for a medical office use. The project requires 3<sup>rd</sup> Party Façade Improvement Design Review in order to determine if the following façade improvements comply with the Norwalk Redevelopment Agency's Wall-West Neighborhood Design Guidelines:

- New exterior lighting, site paving, and canopies;
- Enclosure of the front entrance in a two-story glass atrium;
- Removal of a drive-thru window and rebuilding of the window opening and brick wall;
- Installation of new doors and windows throughout; and
- Creation of a new rooftop mechanical structure.

Andriopoulos Design Associates has been selected as the 3<sup>rd</sup> Party Design Reviewer to comment on the compliance of these proposed Façade Improvement with the Wall-West Neighborhood Design Guidelines. ADA recommends that the Commission approve the design review as compliant with the Wall-West Design Guidelines pending satisfactory reconciliation of any concerns of the Commission (please see attachments for ADA's commentary).



Brian Bidolli  
Executive Director

November 24, 2020

Brian Bidolli, Executive Director  
Norwalk Redevelopment Agency  
City of Norwalk  
3 Belden Avenue  
Norwalk, CT 06850

RE: Application for Zoning Approval & Zoning Compliance  
Applicant: Waypointe Partners LLC (c/o Seligson Properties)  
Parcels: 637 West Avenue and 6 & 10 Chapel Street, Norwalk, CT

Dear Mr. Bidolli,

We are submitting the enclosed package to the Redevelopment Agency for administrative review and approval in conjunction with a Zoning Permit application being filed for administrative review and approval concerning work at parcels 637 West Avenue and 6 & 10 Chapel Street. The application, submitted on behalf of our client and current owner of the parcels, Waypointe Partners LLC, is for tenant fit up activities and exterior building modifications to the existing building at 637 West Avenue, as well as a parking lot reconfiguration across 6 and 10 Chapel Street. As the property fronts on West Avenue and is located within the West Avenue Redevelopment Plan Area, the modifications to the aesthetics of the building and site must be found by the Norwalk Redevelopment Agency to be consistent with their guidelines prior to the issuance of a Zoning Permit.

The existing building has historically been used for office uses, including medical office use and bank offices. The building is about 25,000 square feet with usable floor area in the basement, on the first floor, on a first-floor mezzanine, and on the second floor. It was occupied by a bank from its construction in 1955 through the 2000's. Currently, Neurology Associates of Norwalk occupies about 4,000 square feet of the second floor as medical office and Wells Fargo occupies about 8,500 square feet between the first floor and the basement. The owner is proposing to lease space in the existing building to a tenant that would use most (about 90%) of the building for medical offices and the bank would remain in a reduced space (about 10%) of the building. Exterior modifications include aesthetic modifications to the exterior windows, enclosing the existing front covered entryway, upgraded rooftop mechanical systems, an entry canopy at the rear entrances of the building, and a reconfigured parking area to accommodate the increase in required parking.

Refer to the Architectural for the exterior modifications to the building and to the Site Planting and Lighting Plan for proposed site landscaping.

- Two (2) copies, Architectural and Structural Plans, prepared and certified by Pustola & Associates Consulting Engineers, LLC, dated November 24, 2020;

- Two (2) copies, Site Planting and Lighting Plan, prepared and certified by Eric Rains Landscape Architecture, dated November 24, 2020
- Two (2) copies, Property & Topographic Survey, prepared and certified by Ryan and Faulds, dated November 24, 2020;
- Two (2) copies, Site Civil Engineering Plans, prepared and certified by Redniss & Mead, Inc., dated November 24, 2020;

Based on the above and attached, we trust you will find the application documents in conformance with the Wall Street - West Avenue Neighborhood Plan and look forward to your approval. In the interim, do not hesitate to call with any questions or requests for information.

Sincerely,



Craig J. Flaherty, P.E.

copy: Planning and Zoning, Steven Kleppin  
Waypointe Partners LLC (c/o Seligson Properties)

26<sup>th</sup> January 2021

Mr. Jonathan Hopkins  
Director of Program Development  
Norwalk Redevelopment Agency  
3 Belden Avenue  
Norwalk, CT 06851  
jhopkins@norwalkct.org

Re: 637 West Avenue – Design of Proposed Exterior Improvements

Dear Mr. Hopkins,

The building located at 637 West Avenue was designed as a bank building and features a Greek revival front entry. This was a common architectural treatment of bank buildings during the 20<sup>th</sup> century to symbolize the stature and security of the institutions.

We were asked by Seligson Properties to prepare a design study of a new entry for a potential medical tenant that was interested in rebranding the building to reflect their 21<sup>st</sup> century image. In response to that request, we directed a professional renderer to develop the attached drawing. The design is characterized by simple clean lines that presents a fresh image to the street and maintains the building's overall substance and prominence. The new entry dramatically increases the transparency of building façade as recommended in the design guidelines. The adaptive reuse of the existing building maintains the historic scale of the building with a gracious front yard. The recycling of the existing building is a far more sensitive and sustainable approach than the alternative approach of demolishing the existing building and replacing it with a much larger building on the site.

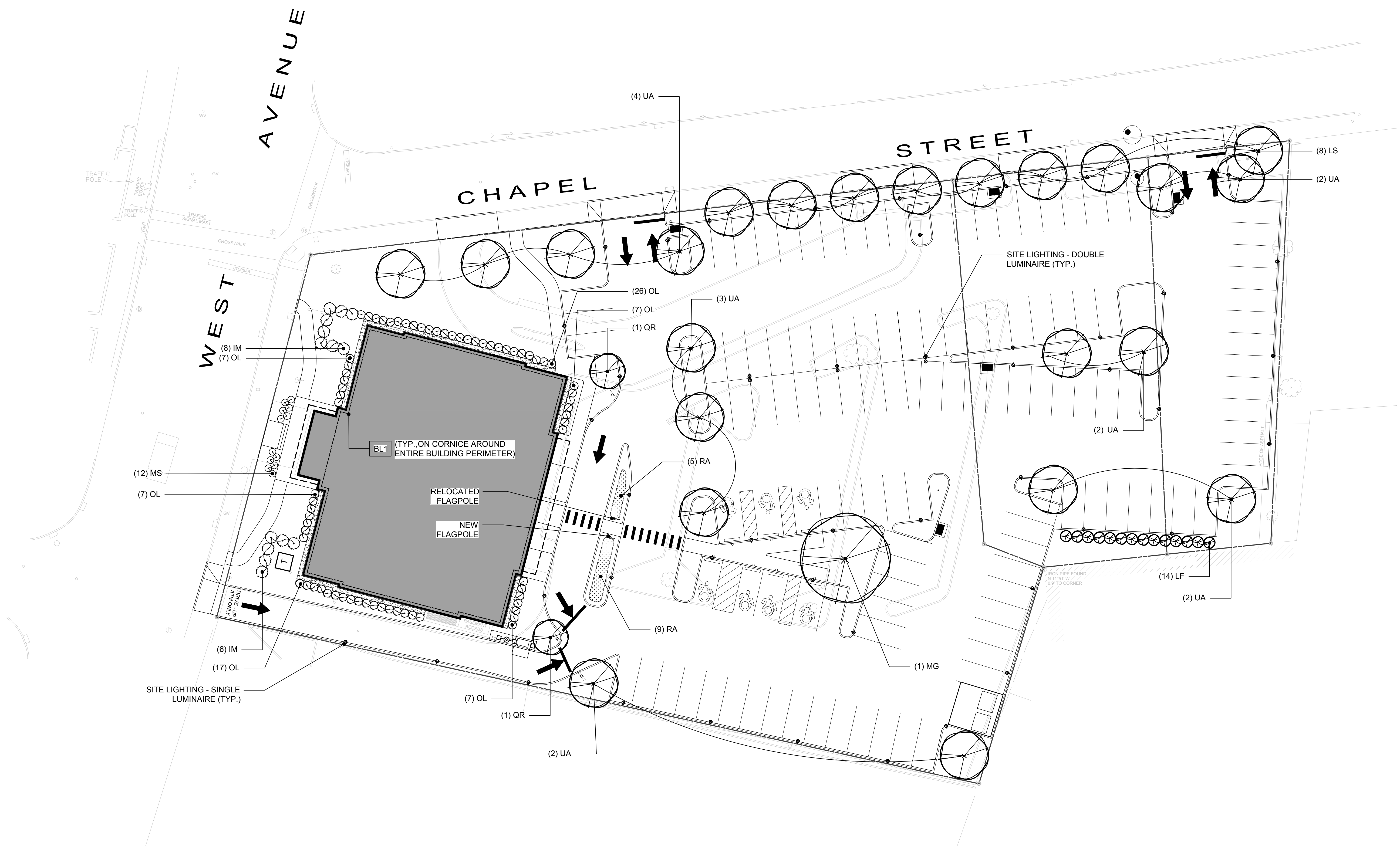
We believe that the proposed exterior design comports with the Norwalk Redevelopment Agency's vision for the Wall Street and West Avenue neighborhoods for "*A healthy and vibrant Urban Core Neighborhood with a strong economy driven by innovation and collaboration that is accessible, authentic, lively and affordable for residents and businesses.*" Allowing the existing building to be re-used, but modernized, respects the existing building and makes sure it will be a part of the streetscape for years to come.

Sincerely



Bruce Beinfield, FAIA  
President

Cc: Stanley Seligson, Michael Serrao (Waypointe Partners LLC),  
Craig Flaherty, Vincent Hynes (Redniss & Mead)



WEST AVENUE

CHAPEL

STREET

(4) UA

(8) LS

(2) UA

(26) OL

(7) OL

(1) QR

(3) UA

(5) RA

(2) UA

(8) IM

(7) OL

(12) MS

(7) OL

BL1 (TYP. ON CORNICE AROUND ENTIRE BUILDING PERIMETER)

RELOCATED FLAGPOLE

NEW FLAGPOLE

(6) IM

(17) OL

SITE LIGHTING - SINGLE LUMINAIRE (TYP.)

(7) OL

(1) QR

(2) UA

(9) RA

(1) MG

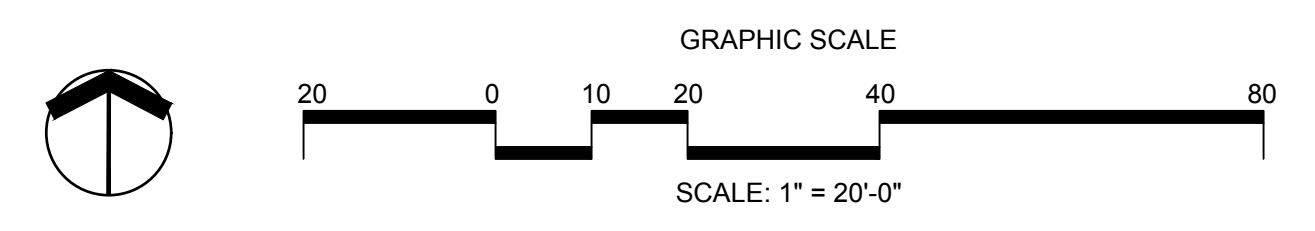
(14) LF

(2) UA

NON PIPE FOUND 3.11' SW 4.8' TO CORNER

SITE LIGHTING - DOUBLE LUMINAIRE (TYP.)

NOTES:  
 1. REFER TO PHOTOMETRIC PLAN FOR MORE INFORMATION.  
 2. REFER TO DETAIL SHEET FOR PLANTING SCHEDULE.



NO.	ISSUE	DATE
7		
6		
5		
4		
3		
2		
1	ZONING SUBMISSION	20.11.24



PROJECT: 637 WEST AVE  
 NORWALK, CT

TITLE: SITE PLANTING AND LIGHTING PLAN

DATE: 2020.11.24  
 SCALE: 1"=20'-0"

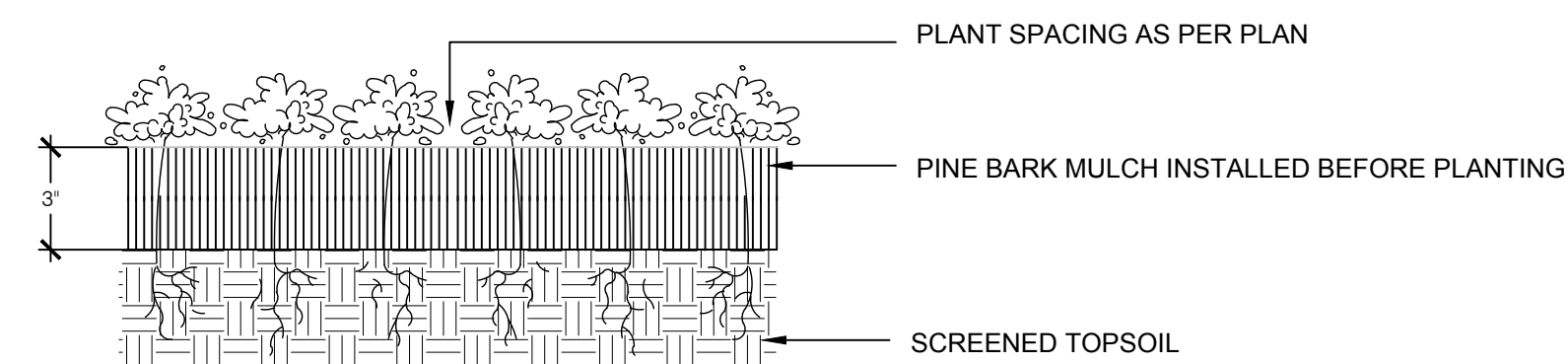
SPL-1.0

**PLANTING SCHEDULE**

SYM	QTY	BOTANICAL NAME	COMMON NAME	ROOT	MIN. SIZE	COMMENTS
<b>TREES</b>						
UA	15	Ulmus americana 'Valley Forge'	Valley Forge American Elm	B&B	3-1/2"-4" cal.	Full, 7' Clear Branching
LS	8	Liquidambar styraciflua 'Rotundiloba'	Fruitless Sweetgum	B&B	3"-3-1/2" cal.	Full and Nicely Shaped
LF	14	Liquidambar styraciflua 'Fastigiata'	Fastigiata Sweetgum	B&B	3"-3-1/2" cal.	Full and Nicely Shaped
QR	2	Quercus robur f. 'Fastigiata'	English Oak	B&B	3"-3-1/2" cal.	Full and Nicely Shaped
MG	1	Metasequoia glyptostroboides	Dawn Redwood	B&B	3-1/2"-4" cal.	Full and Nicely Shaped
<b>SHRUBS / GROUND COVER</b>						
IM	14	Ilex x meserveae 'Blue Princess'	Blue Princess Holly	B&B	24" - 30"	Full, Heavy; Hedged
OL	71	Otto Luyken Cherry Laurel	Prunus laurocerasus 'Otto Luyken'	B&B	24" Ht.	30" O.C.
MS	12	Miscanthus sinensis 'Yakushima Dwarf'	Chinese Silver Grass	B&B	#1	30" O.C.
RA	14	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	B&B	#1	30" O.C.

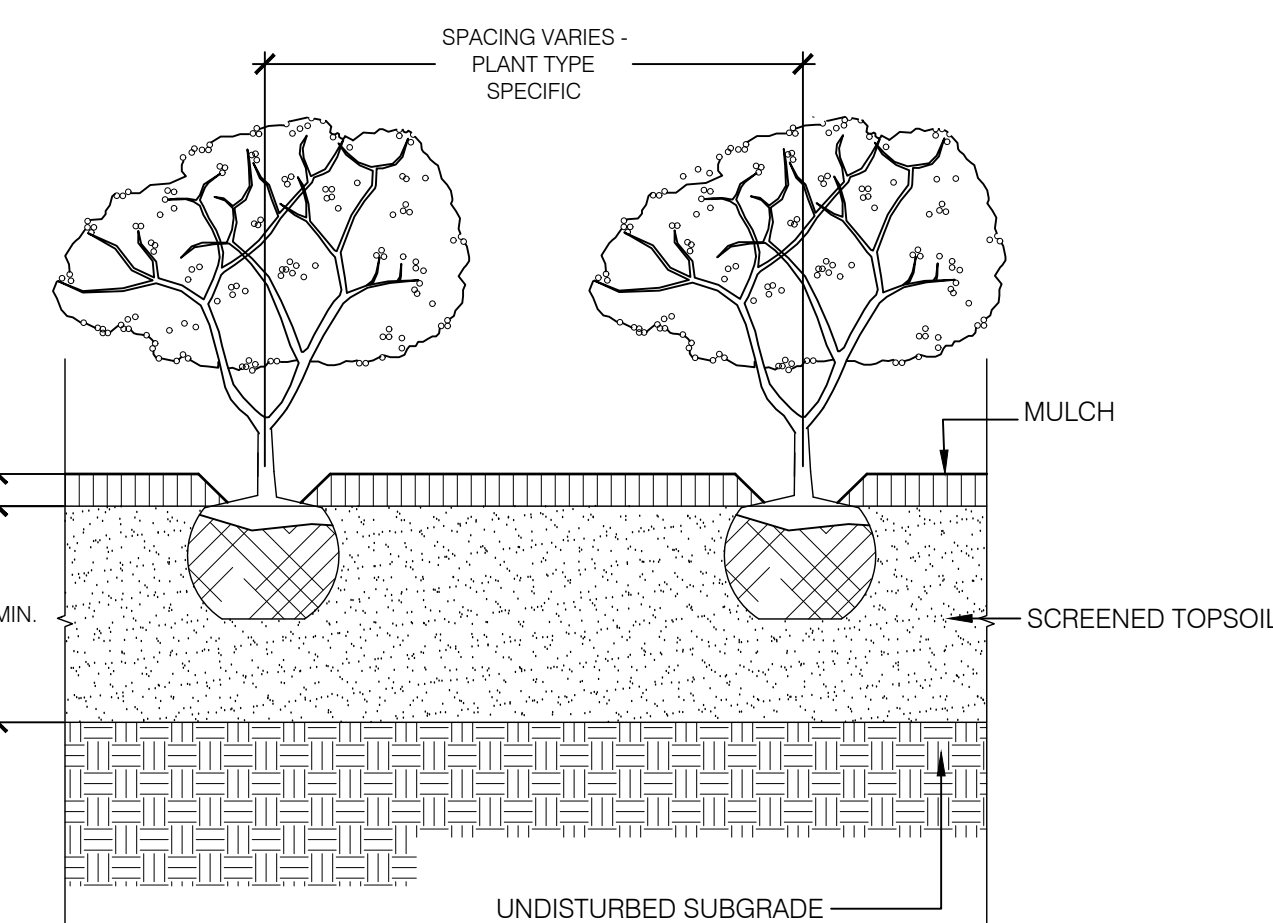
**BUILDING FACADE LIGHTING SCHEDULE**

SYM	QTY	DESCRIPTION
BL1	TBD	MODEL: STR9-SLIM-BM-3W-3000K-10-PS-W40. BY GVA LIGHTING. CONTACT CLIFF GILBERT. (203) 788-0614



**1 GROUND COVER PLANTING**

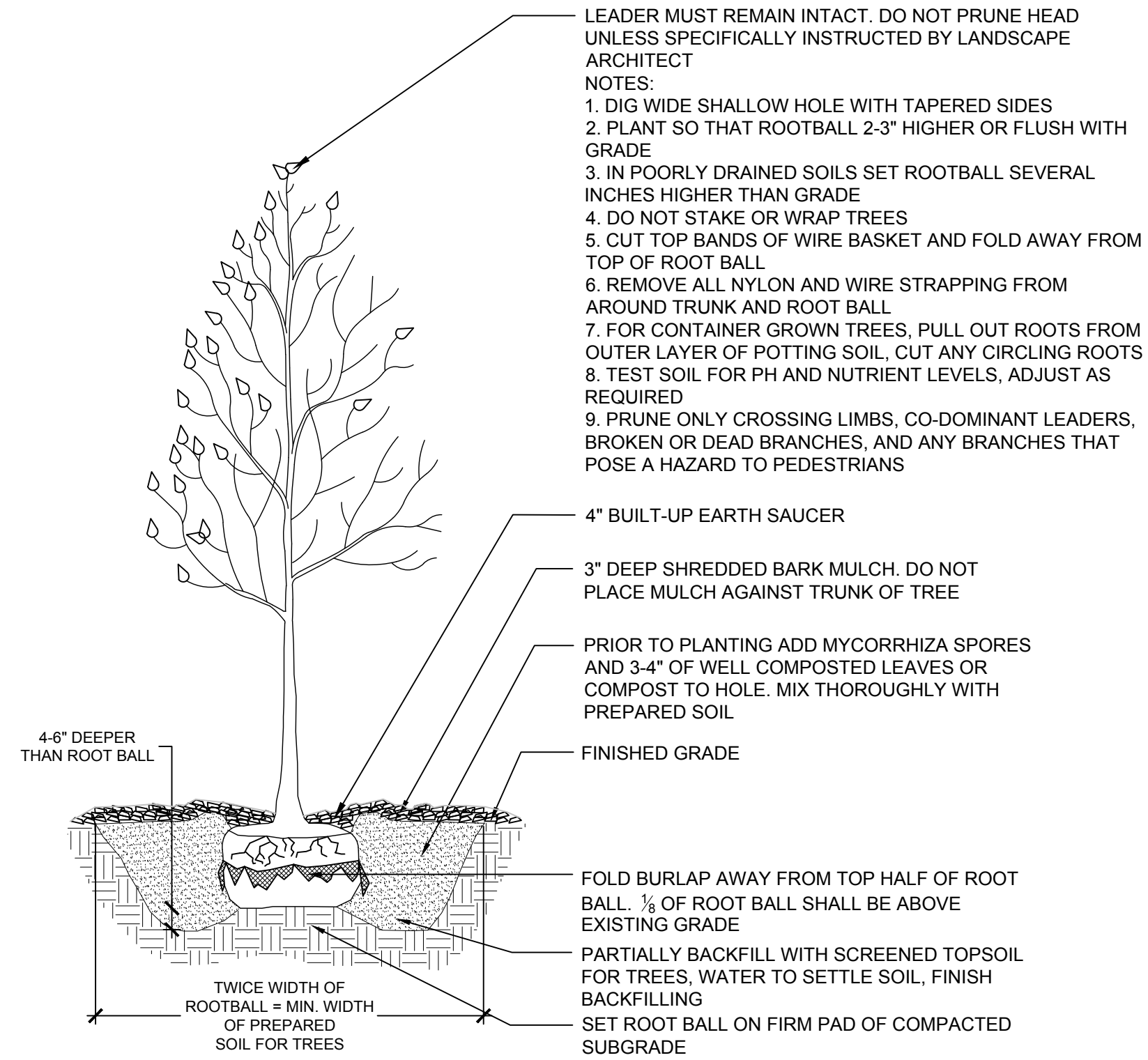
**SPL-2.0** SCALE: NTS



NOTE: PLANTS ARE TO BE SPACED AS REQUIRED BY PLANTING SCHEDULE

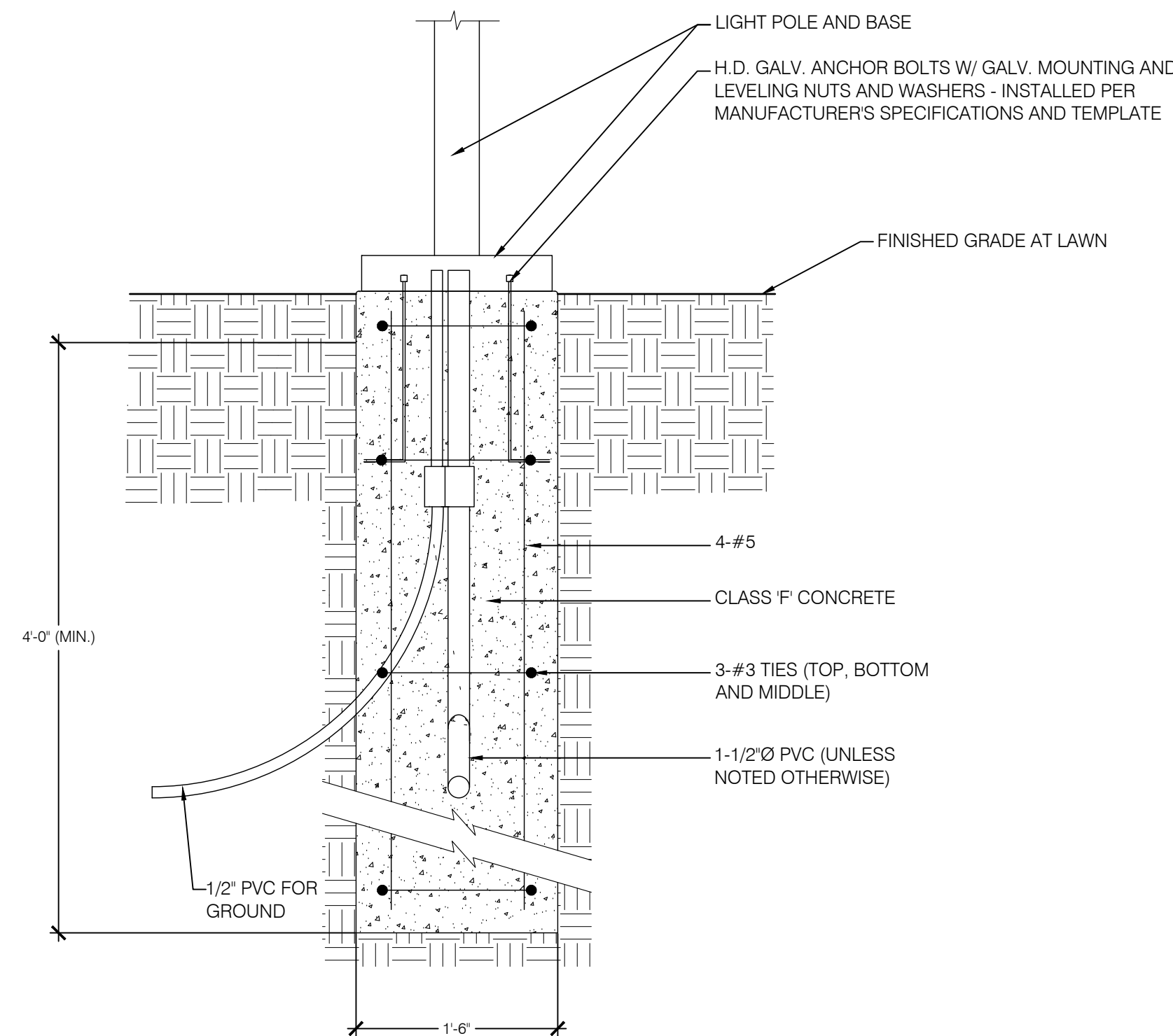
**2 SHRUB PLANTING**

**SPL-2.0** SCALE: NTS



**3 TREE PLANTING**

**SPL-2.0** SCALE: NTS



**4 LIGHT POLE BASE**

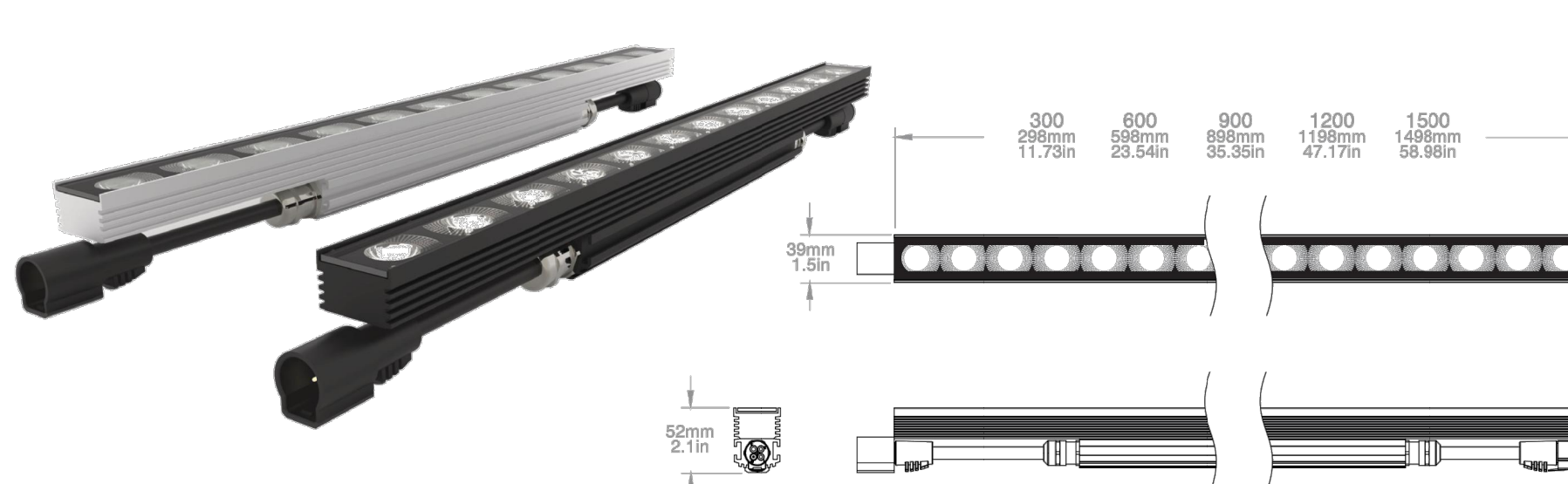
**SPL-2.0** SCALE: NTS



**LUMINAIRE POLE**

**5 PARKING / AREA LIGHT**

**SPL-2.0** SCALE: NTS



**6 FACADE / CORNICE LIGHTING**

**SPL-2.0** SCALE: NTS

**erla**  
 erla landscape architecture, llc  
 11a N Main Street  
 SoNo, CT 203.354.6500  
 www.erlains.com

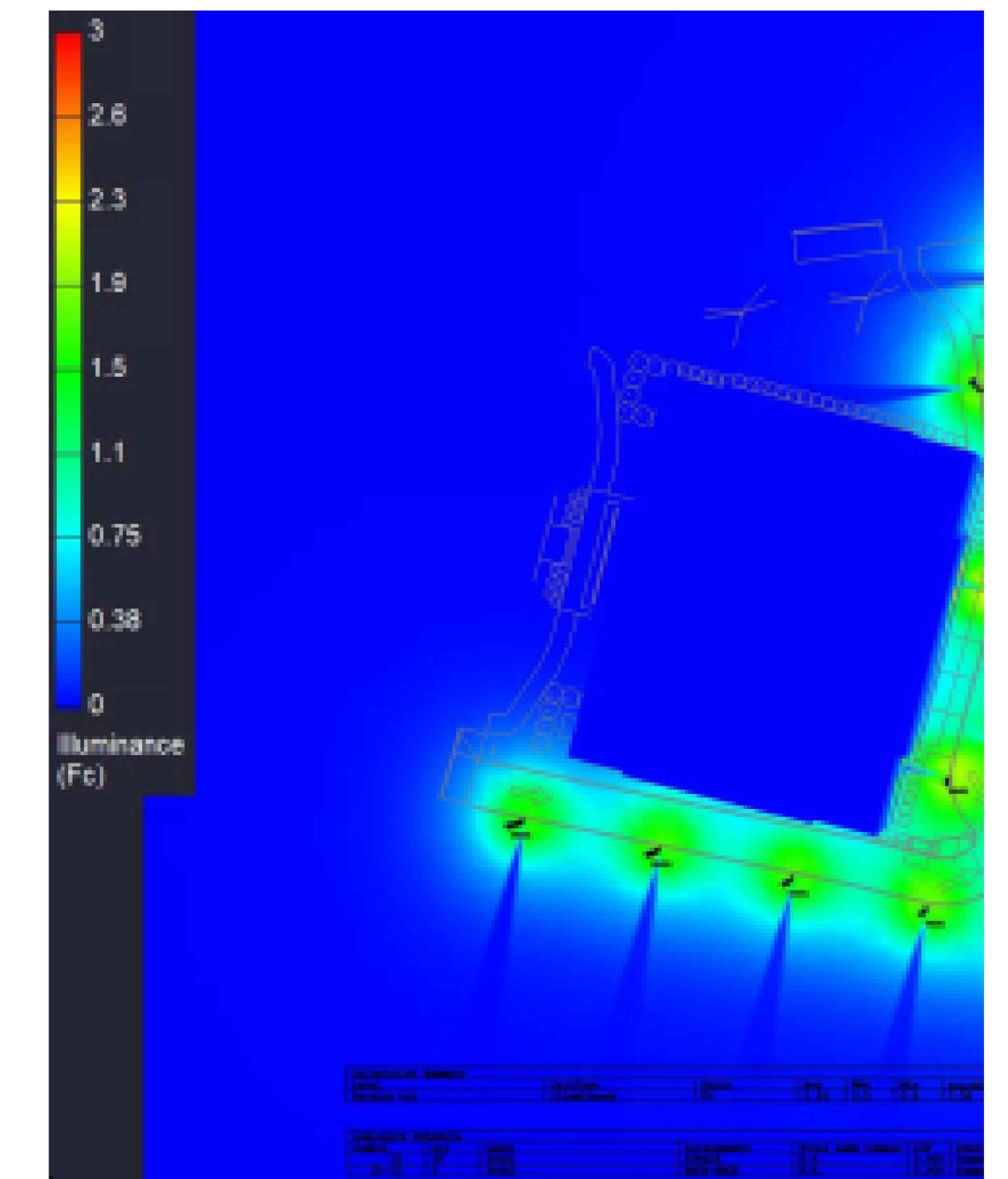
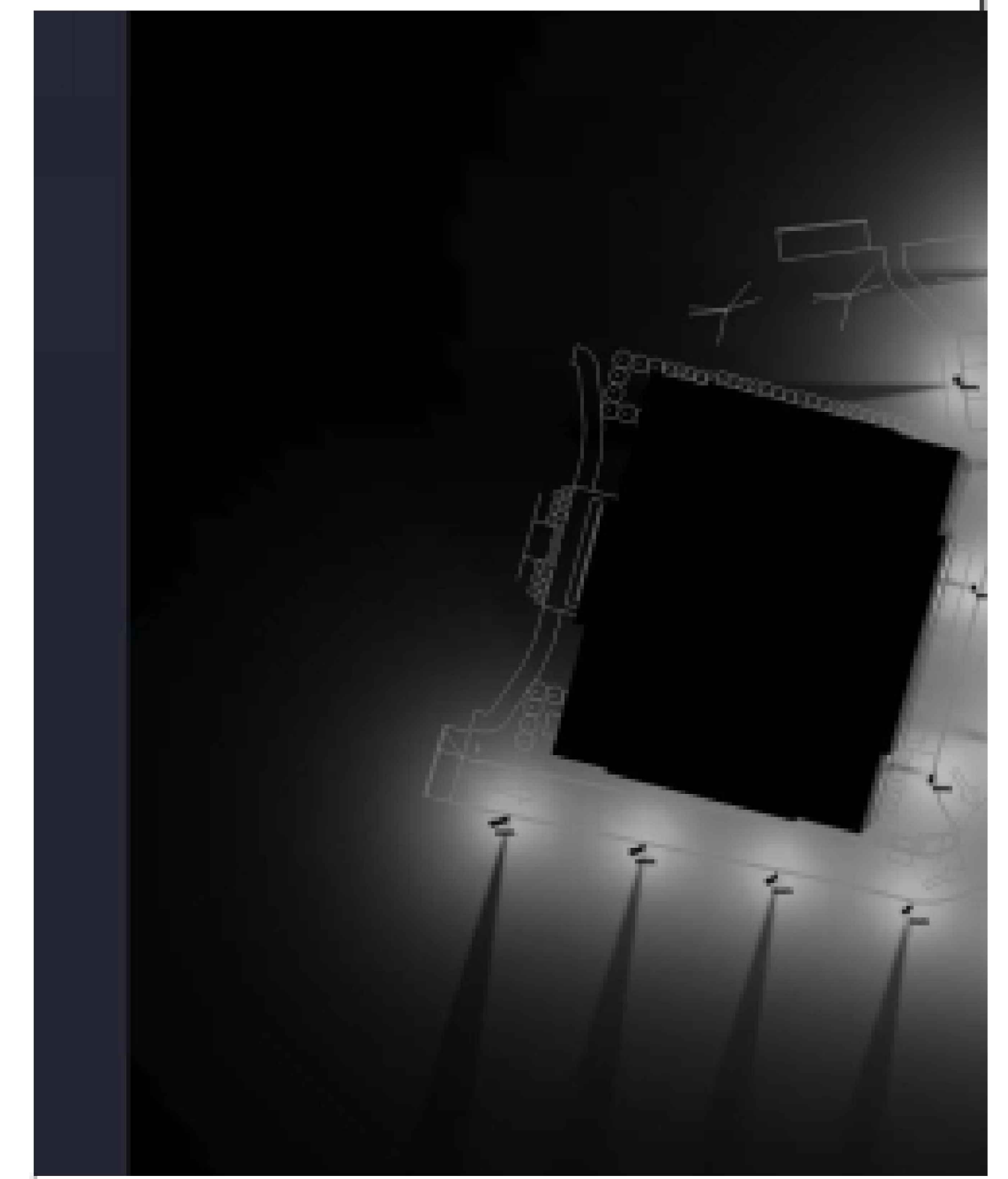
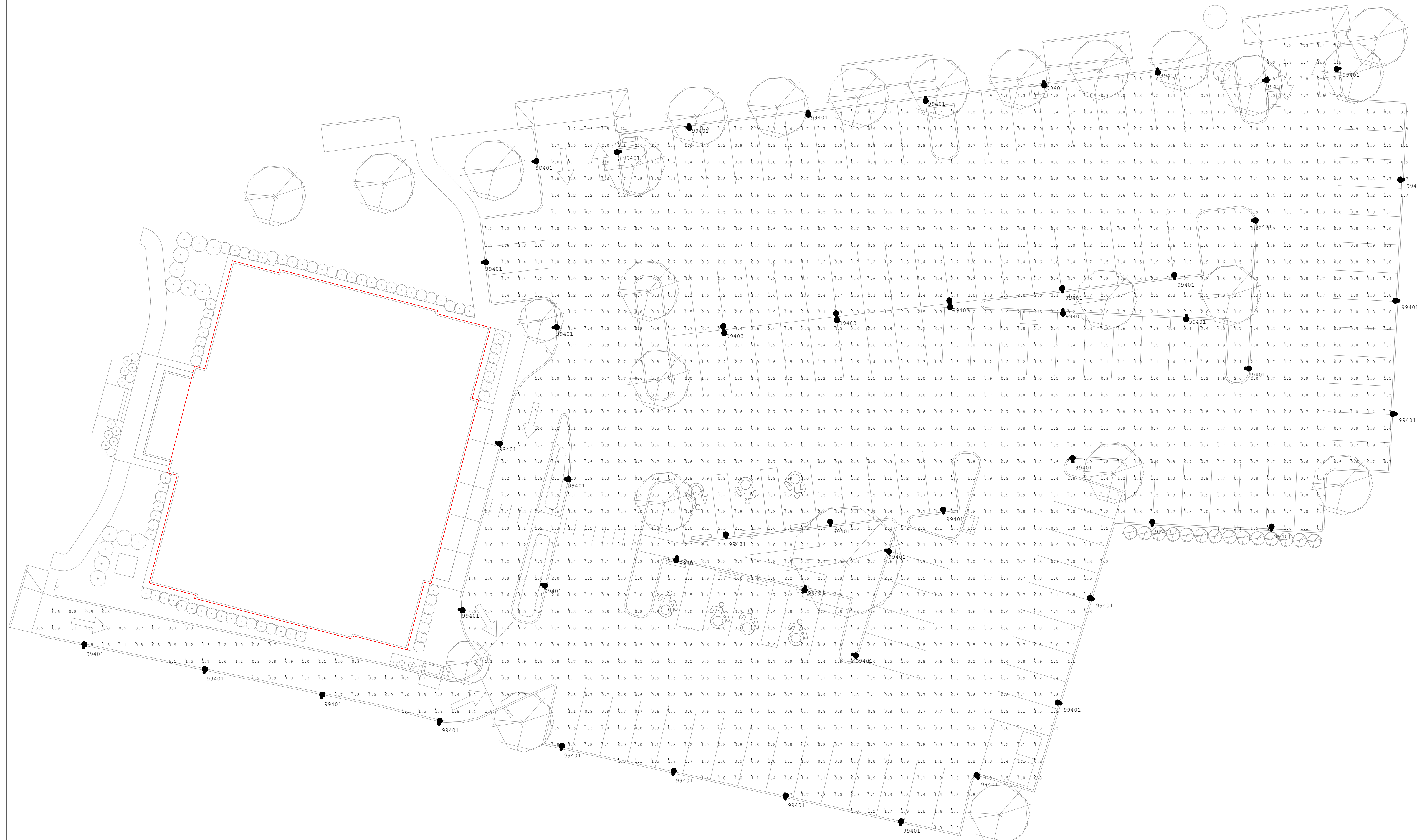
DATE	20.11.24
ISSUE	
NO.	7
	6
	5
	4
	3
	2
	1

PROJECT  
**637 WEST AVE**  
 NORWALK, CT

DRAWING TITLE  
**DETAILS**

JOB NO.  
 DATE  
 2020.11.24  
 SCALE  
 NTS

**SPL-2.0**



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking Lot	Illuminance	Fc	1.16	3.5	0.5	2.32	7.00

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	
○	45	99401	SINGLE	N.A.	0.900	Symmetric Single Pole Top	
○-○	3	99403	BACK-BACK	N.A.	0.900	Symmetric Twin Pole Top	

Project:  
637 West Avenue

Contact:  
Cliff Gilbert  
Specifications - Southern CT  
(203) 788-0814  
cgilbert@illuminatene.com

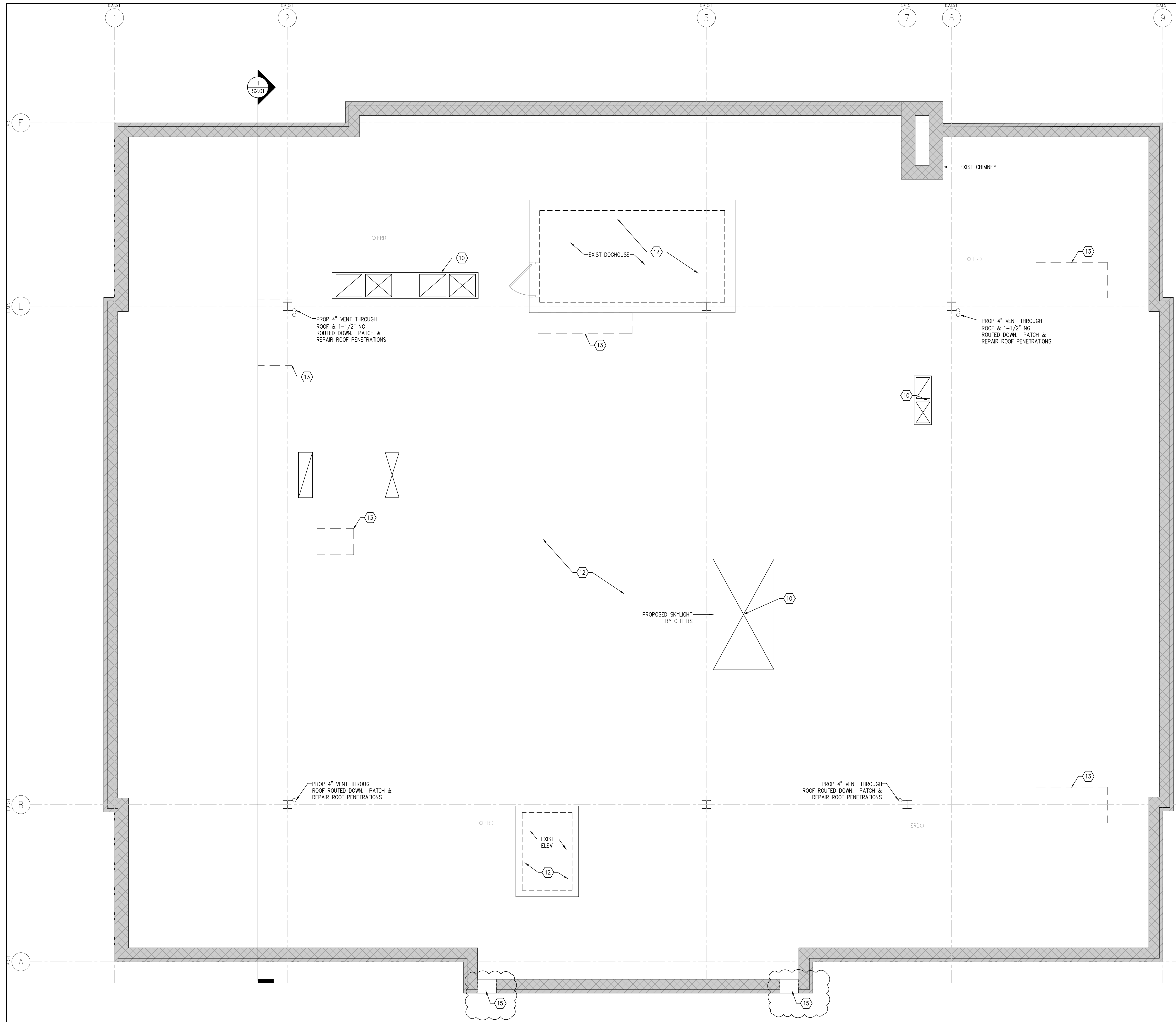
Detail: Photometric Calculation  
Date: 11/25/2020  
Revision: ---  
Scale: 1/16" = 1'-0"  
Drawn By: ---

**illuminate**  
44 Sixth Road  
Woburn, MA 01801  
(781) 935-8500  
333 Pleasant Valley Road  
South Windsor, CT 06074  
(860) 282-0597

Drawing Number:

**SL-1**

Sheet 1 of 1



**DEMOLITION NOTES**

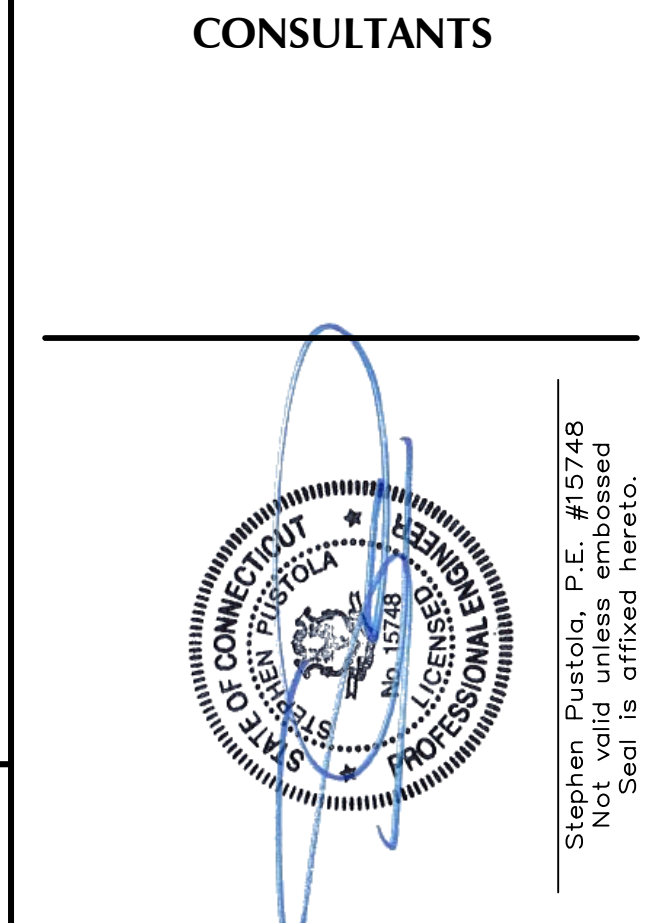
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- 15 PORTION OF EXISTING WALL TO BE REMOVED. COORDINATE EXTENTS OF REMOVAL WITH OTHER TRADES.

**REVISIONS**

REV	DESCRIPTION	DATE
B	DESIGN REVIEW COMMENTS	2/2/2021
A	ISSUED FOR REVIEW	9/9/2020



**Pustola & Associates**  
CONSULTING ENGINEERS, LLC

Design and Construction Services  
Naugatuck, Connecticut 06770  
185 Meadow Street  
(203) 729-6675 Fax (203) 720-2816

www.pustola.com

**PROPOSED MEDICAL SPACE**  
637 WEST AVE.  
NORWALK, CONNECTICUT 06850

PREPARED FOR  
**STANLEY SELIGSON PROPERTIES**  
605 WEST AVE.  
NORWALK, CONNECTICUT 06850

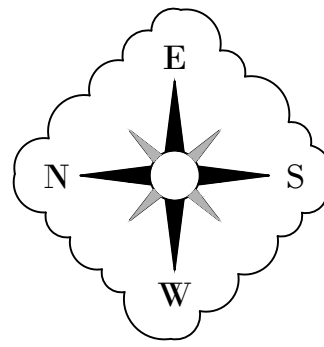
**PROPOSED ROOF DEMOLITION PLAN**

DATE: 9/9/2020  
SCALE: AS NOTED  
PROJECT NO.: 18137.00  
DRAWN BY: BZ  
CHECKED BY:  
CHECKED BY:

**ASBESTOS REMOVAL NOTES**

ASBESTOS CONTAINING MATERIALS AREA PRESENT IN THIS BUILDING. REFER TO THE TECHNICAL SPECIFICATIONS IN THE REQUEST FOR BID (RFB), OR FINAL CONSTRUCTION CONTRACT TO VIEW THE ACM REPORT AND THE PROPER ABATEMENT PROCEDURES. IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO PROPERLY REMOVE ALL ASBESTOS CONTAINING MATERIALS PRIOR TO DEMOLITION.

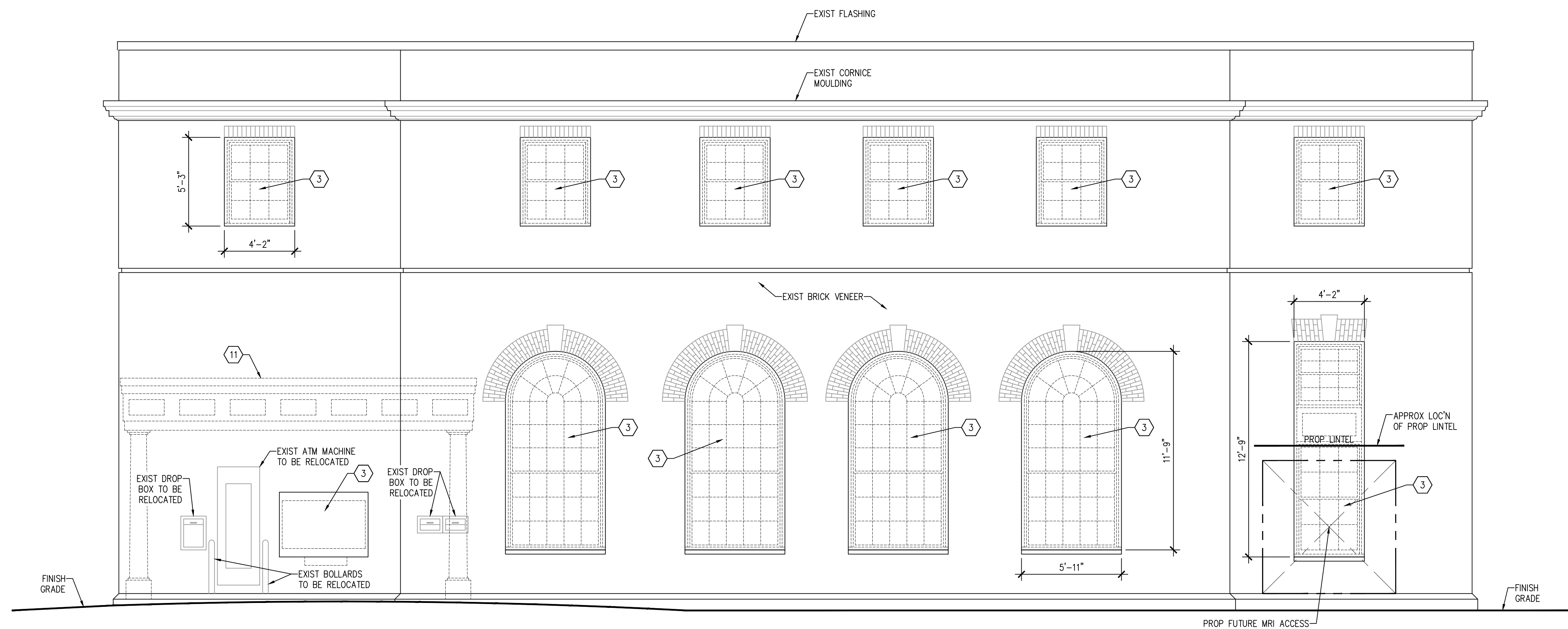
1 PROPOSED ROOF DEMOLITION PLAN  
D1.04 1/4" = 1'-0"



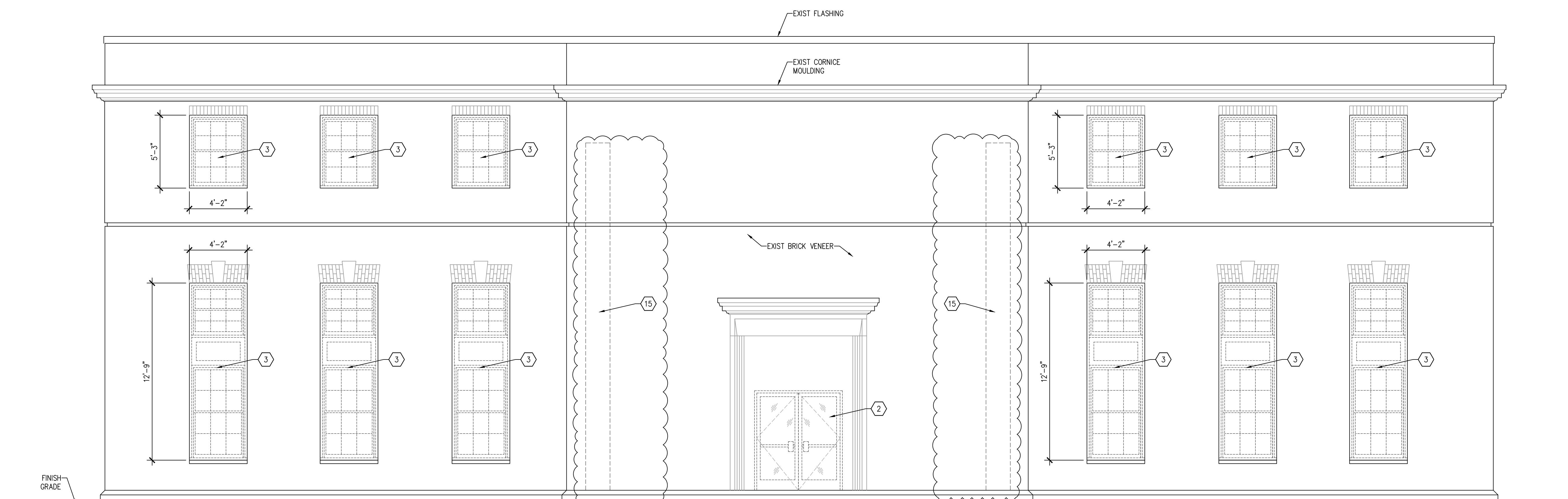
**NOTES:**

- ALL EXISTING COLUMN LOCATIONS AND EXISTING BEARING WALLS NOTED ON PLAN ARE APPROXIMATE LOCATIONS.

**D1.04**



1 PROPOSED NORTH ELEVATION LOOKING SOUTH EXTERIOR DEMOLITION ELEVATION  
 D2.00 1/4" = 1'-0"



2 PROPOSED WEST ELEVATION LOOKING EAST EXTERIOR DEMOLITION ELEVATION  
 D2.00 1/4" = 1'-0"

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GLAZED ENTRANCE DOORS SHALL CONSIST OF KAWNEER 350 MEDIUM STYLE WITH 1" INSULATED GLAZING UNIT WITH LOW E TEMPERED GLASS, WITH CLEAR ANODIZED ALUMINUM FRAMING. THE DOORS SHALL BE FULLY EQUIPPED WITH 0-1 SURFACE CLOSERS, CONCEALED VERTICAL ROD EXIT DEVICES WITH ELECTRIC LATCH RETRACTION, VON # CLL DUPRIN EL-3347 A-NL, THRESHOLD. DOOR HAVE BEEN PROVIDED FOR TWO (2) ENTRANCES.

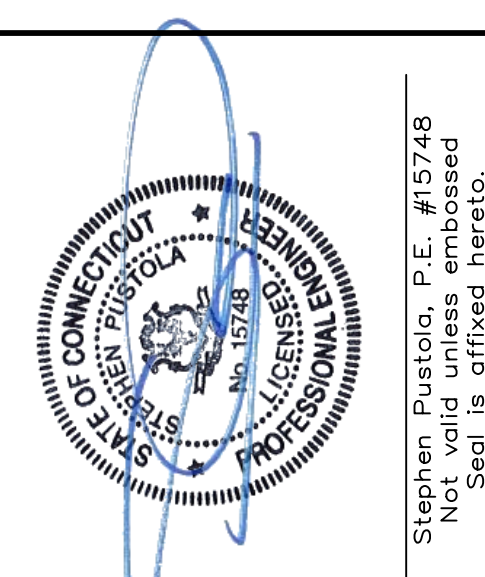
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**REVISIONS**

REV	DESCRIPTION	DATE
D	DESIGN REVIEW COMMENTS	2/2/2021
C	MISC REVISIONS	11/24/20
B	MISC REVISIONS	9/23/2020
A	ISSUED FOR REVIEW	9/9/2020

**CONSULTANTS**



**Pustola & Associates**  
 CONSULTING ENGINEERS, LLC  
 Design and Construction Services  
 Naugatuck, Connecticut 06770  
 (203) 729-6675 Fax (203) 720-2816  
 www.pustola.com

**PROPOSED MEDICAL SPACE**

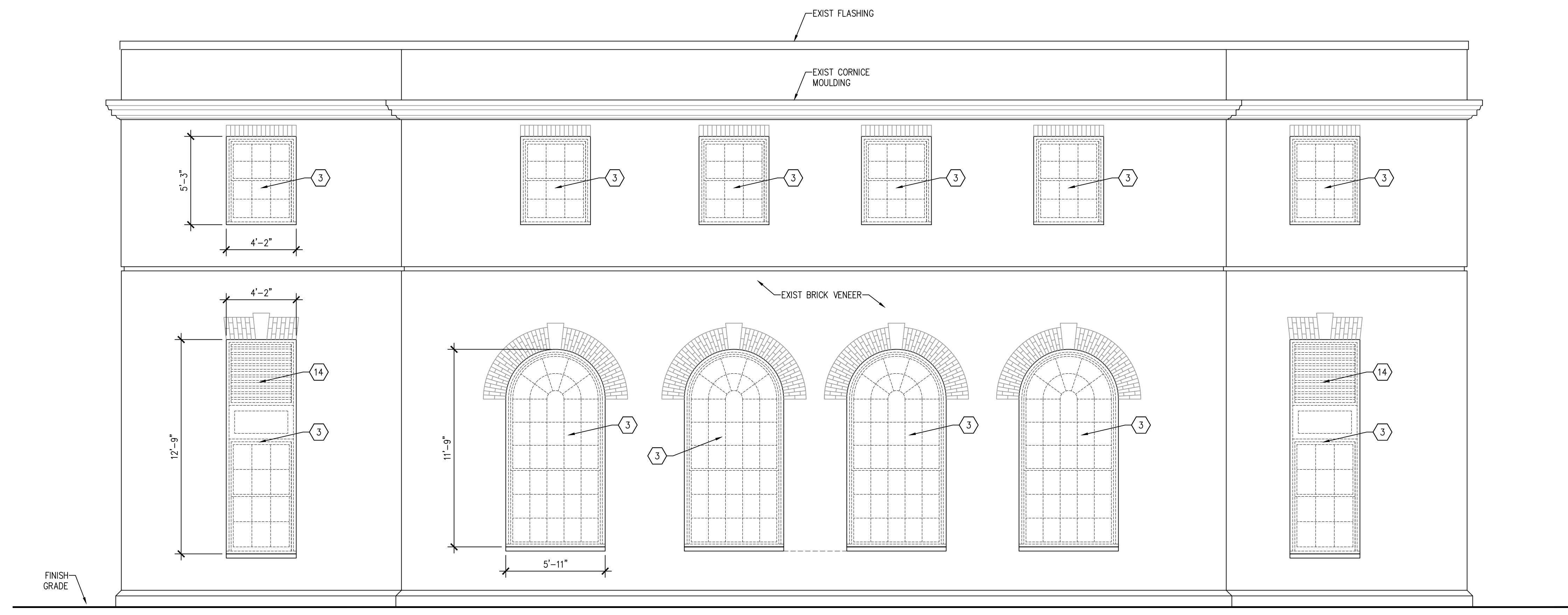
637 WEST AVE.  
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 NORWALK, CONNECTICUT 06850

**PROPOSED EXTERIOR DEMOLITION ELEVATION**

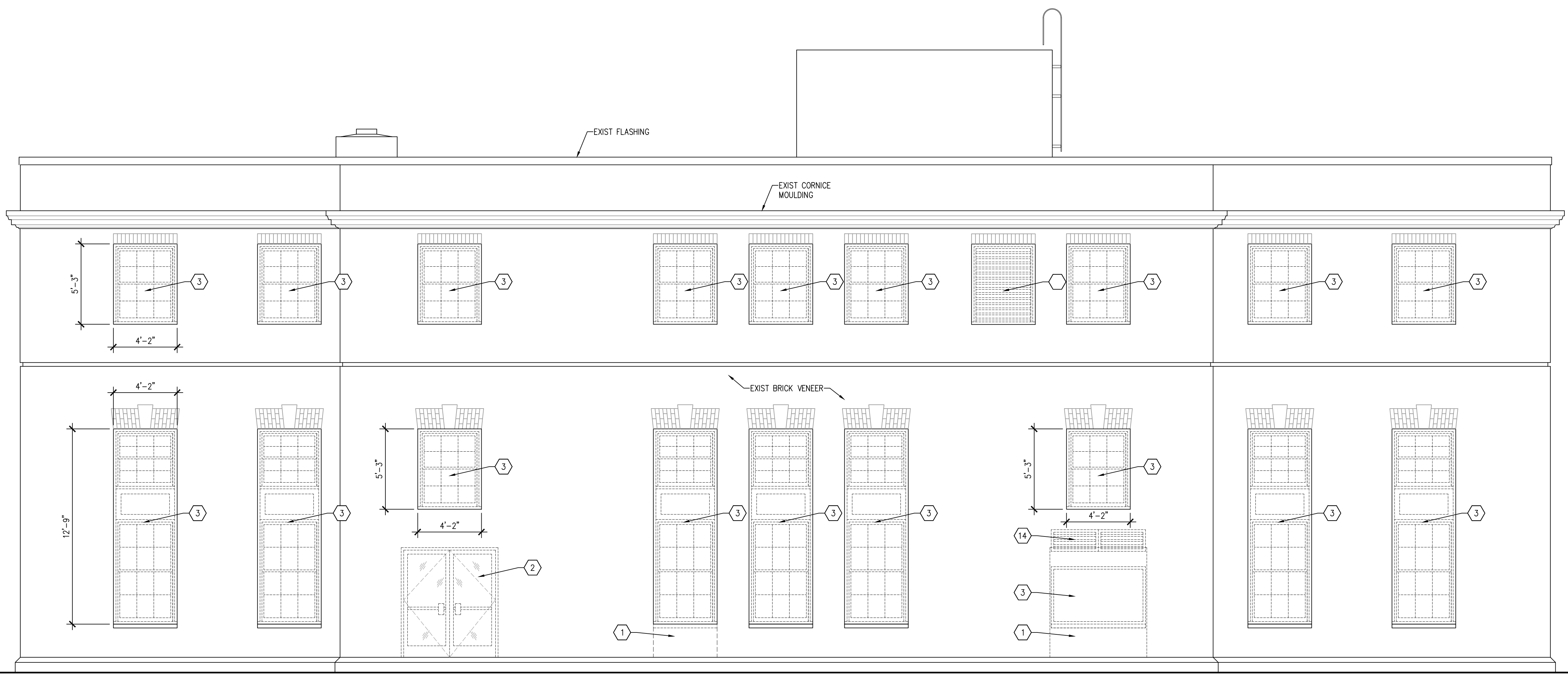
PRELIMINARY  
 NOT FOR CONSTRUCTION

DATE:	9/9/2020
SCALE:	AS NOTED
PROJECT NO.:	18137.00
DRAWN BY:	BZ
CHECKED BY:	
CHECKED BY:	

**D2.00**



1 PROPOSED SOUTH ELEVATION LOOKING NORTH EXTERIOR DEMOLITION ELEVATION  
 D2.01 1/4" = 1'-0"



2 PROPOSED EAST ELEVATION LOOKING WEST EXTERIOR DEMOLITION ELEVATION  
 D2.01 1/4" = 1'-0"

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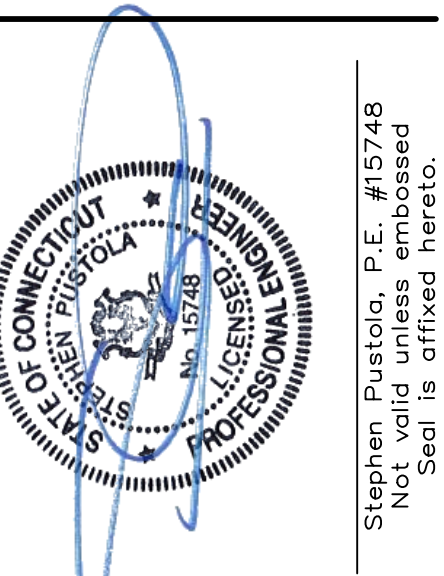
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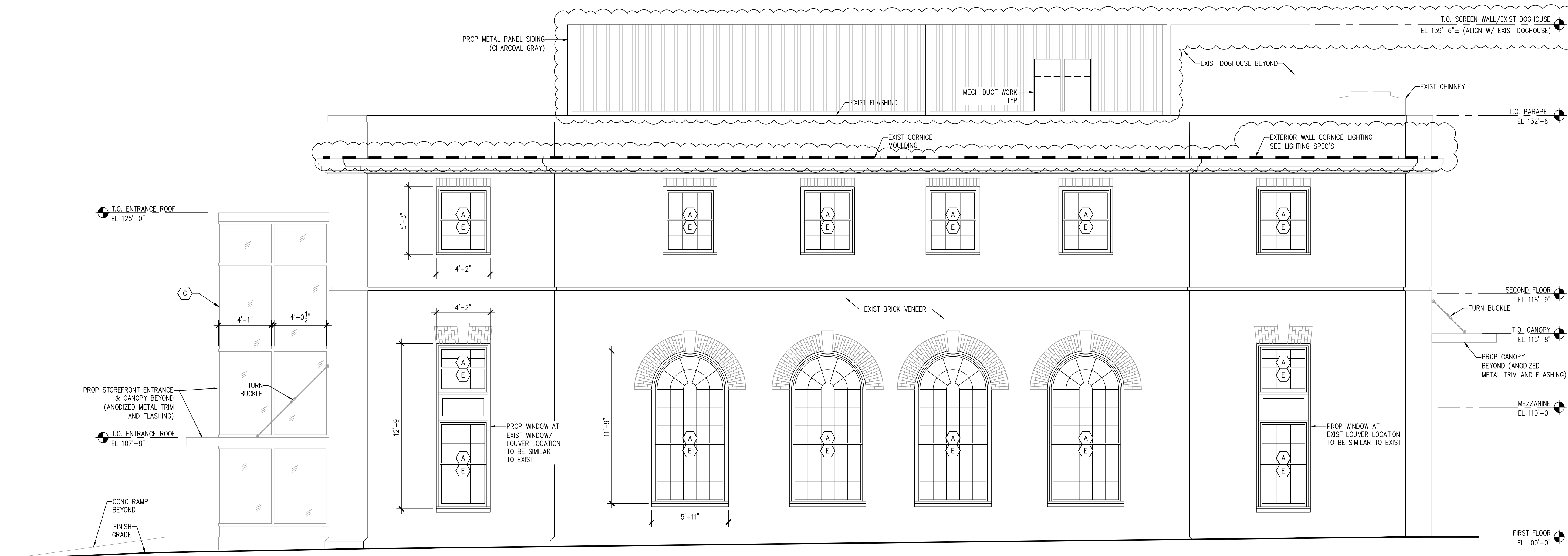
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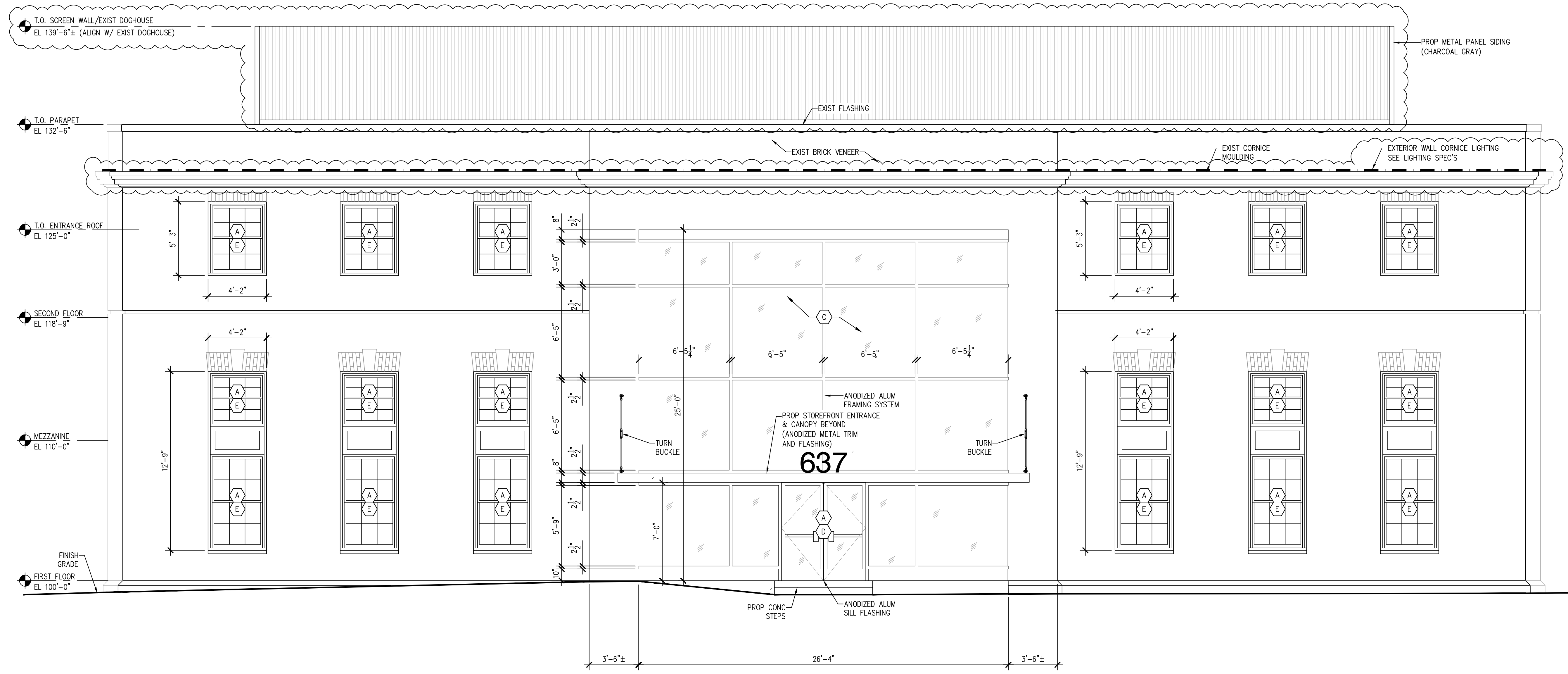
DATE:	9/9/2020
SCALE:	AS NOTED
PROJECT NO.:	18137.00
DRAWN BY:	BZ
CHECKED BY:	
CHECKED BY:	

**D2.01**





1 PROPOSED SOUTH ELEVATION LOOKING NORTH  
 1/4" = 1'-0"



2 PROPOSED WEST ELEVATION LOOKING EAST  
 1/4" = 1'-0"

**LIGHTING SPECIFICATION**

EXTERIOR WALL CORNICE LIGHTING TO BE STR9 SLIM LOW PROFILE MONOCHROMATIC LINEAR WALL WASHING AND GRAZING LED LIGHTING BY GVA LIGHTING. BODY COLOR; BLACK MATTE ANODIZED, LED COLOR; 3000K, OPTICS; 10"x10", INPUT VOLTAGE; 48VDC.

POWER SUPPLIES AND POWER DATA EQUIPMENT, FAMILY; PS, OUTPUT VOLTAGE; ELV48.

STR9 MOUNTING ACCESSORIES, WX-ADJUSTABLE WALL MOUNT BRACKET KIT, W40 ADJUSTABLE WALL MOUNT, COLOR; BLACK MATTE ANODIZED, PART NUMBER; 121129.

OWNER MAY SUBMIT AN ALTERNATE / EQUIVALENT OR REMOVE AS VE OPTION

**STOREFRONT & DOORS NOTES**

(A) NOTE, ALL PROPOSED WINDOWS AND DOORS TO BE SIMILAR TO EXISTING UNLESS NOTED OTHERWISE. WINDOWS AND DOOR SIZES NEED TO BE FIELD VERIFIED BEFORE CONSTRUCTION OF WINDOWS AND DOORS.

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(E) BLACK FRAME, MULLIONS, TRIM AND FLASHING. GLAZING CONTRACTOR TO PROVIDE SAMPLES FOR APPROVAL.

**REVISIONS**

REV	DESCRIPTION	DATE
B	DESIGN REVIEW COMMENTS	2/2/2021
A	MISC REVISIONS	1/22/2021

**CONSULTANTS**

Stephen Pustola, P.E. #15748  
 Not to be affixed to printed documents.

**Pustola & Associates**  
 CONSULTING ENGINEERS, LLC

Design and Construction Services  
 Naugatuck, Connecticut 06770  
 (203) 729-6675 Fax (203) 720-2816

Licensed Professionals  
 185 Meadow Street  
 (203) 729-6675

www.pustola.com

**PROPOSED MEDICAL SPACE**

637 WEST AVE.  
 NORWALK, CONNECTICUT 06850

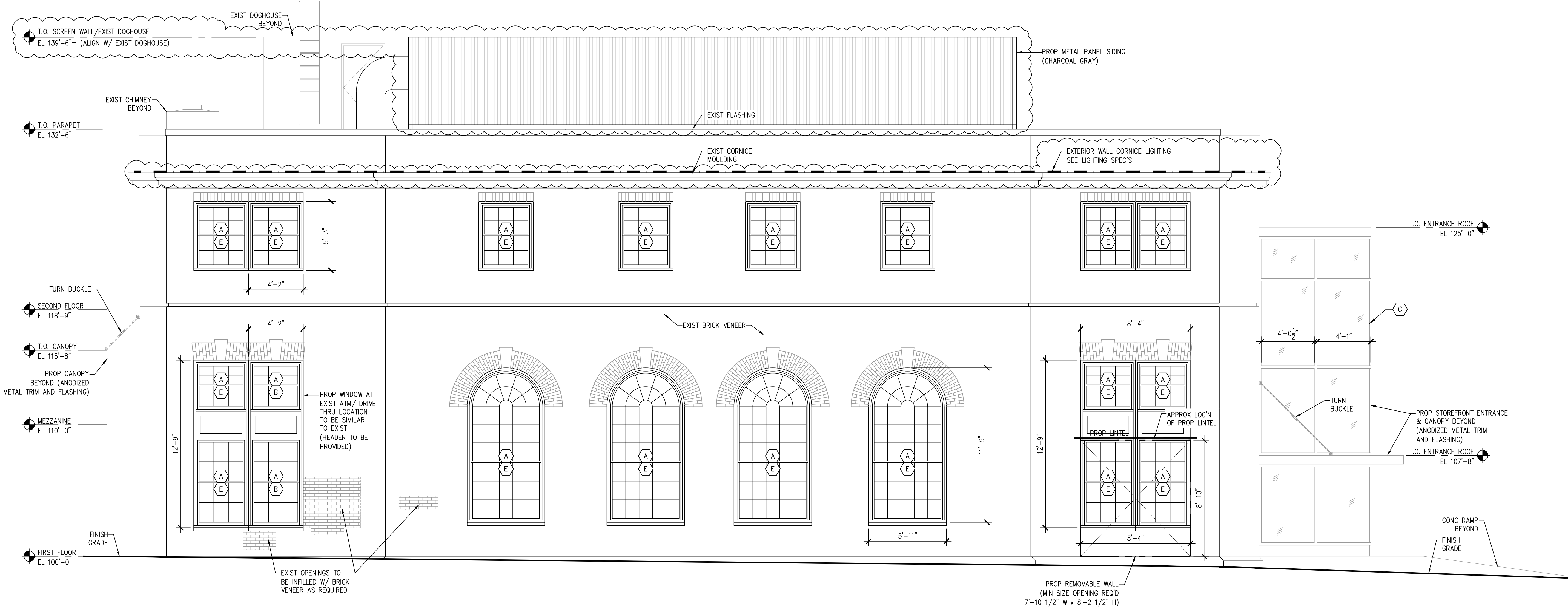
PREPARED FOR  
**STANLEY SELIGSON PROPERTIES**

605 WEST AVE.  
 NORWALK, CONNECTICUT 06850

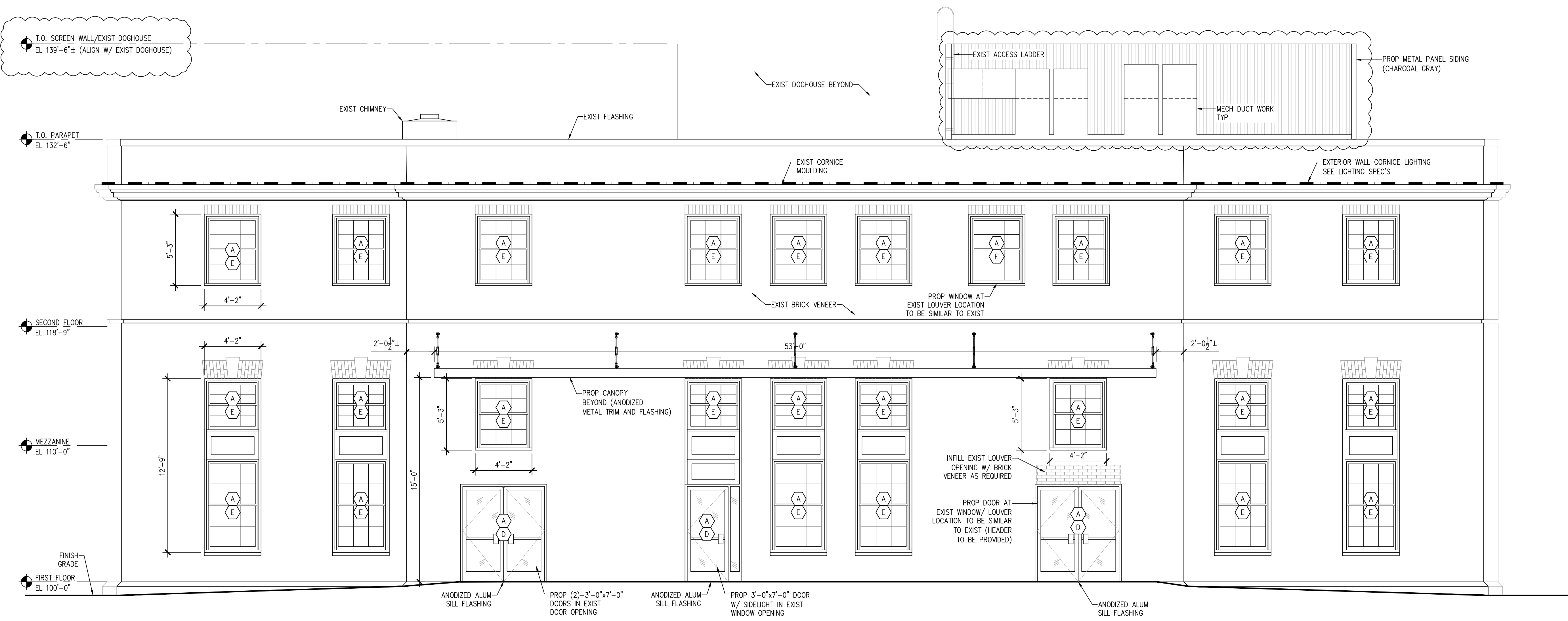
**PROPOSED EXTERIOR ELEVATIONS**

DATE: 11/24/20  
 SCALE: AS NOTED  
 PROJECT NO.: 18137.00  
 DRAWN BY: BZ  
 CHECKED BY:  
 CHECKED BY:

**A2.00**



1 PROPOSED NORTH ELEVATION LOOKING SOUTH  
 A2.01 1/4" = 1'-0"



2 PROPOSED EAST ELEVATION LOOKING WEST  
 A2.01 1/4" = 1'-0"

**LIGHTING SPECIFICATION**

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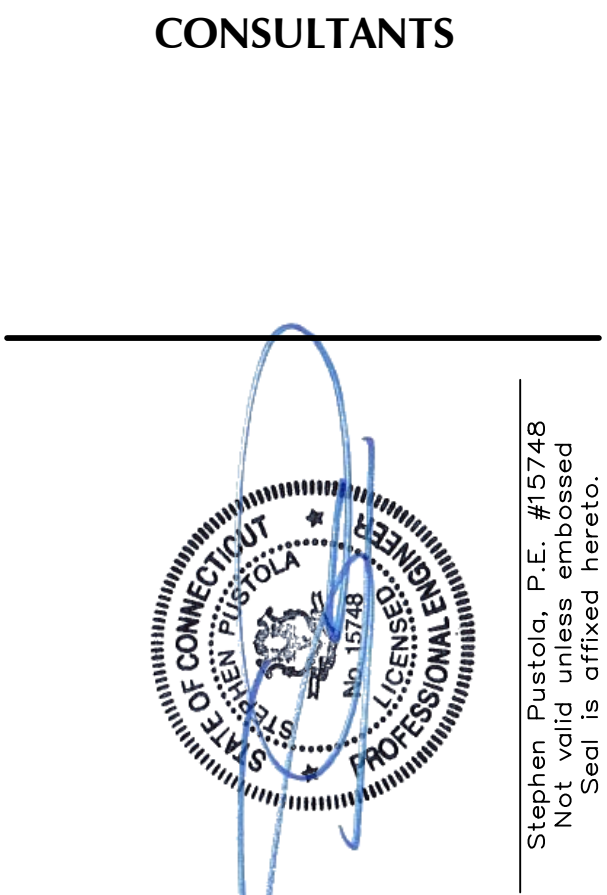
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**REVISIONS**

REV	DESCRIPTION	DATE
B	DESIGN REVIEW COMMENTS	2/2/2021
A	MISC REVISIONS	1/22/2021
REV	DESCRIPTION	DATE



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**PROPOSED MEDICAL SPACE**

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 NORWALK, CONNECTICUT 06850

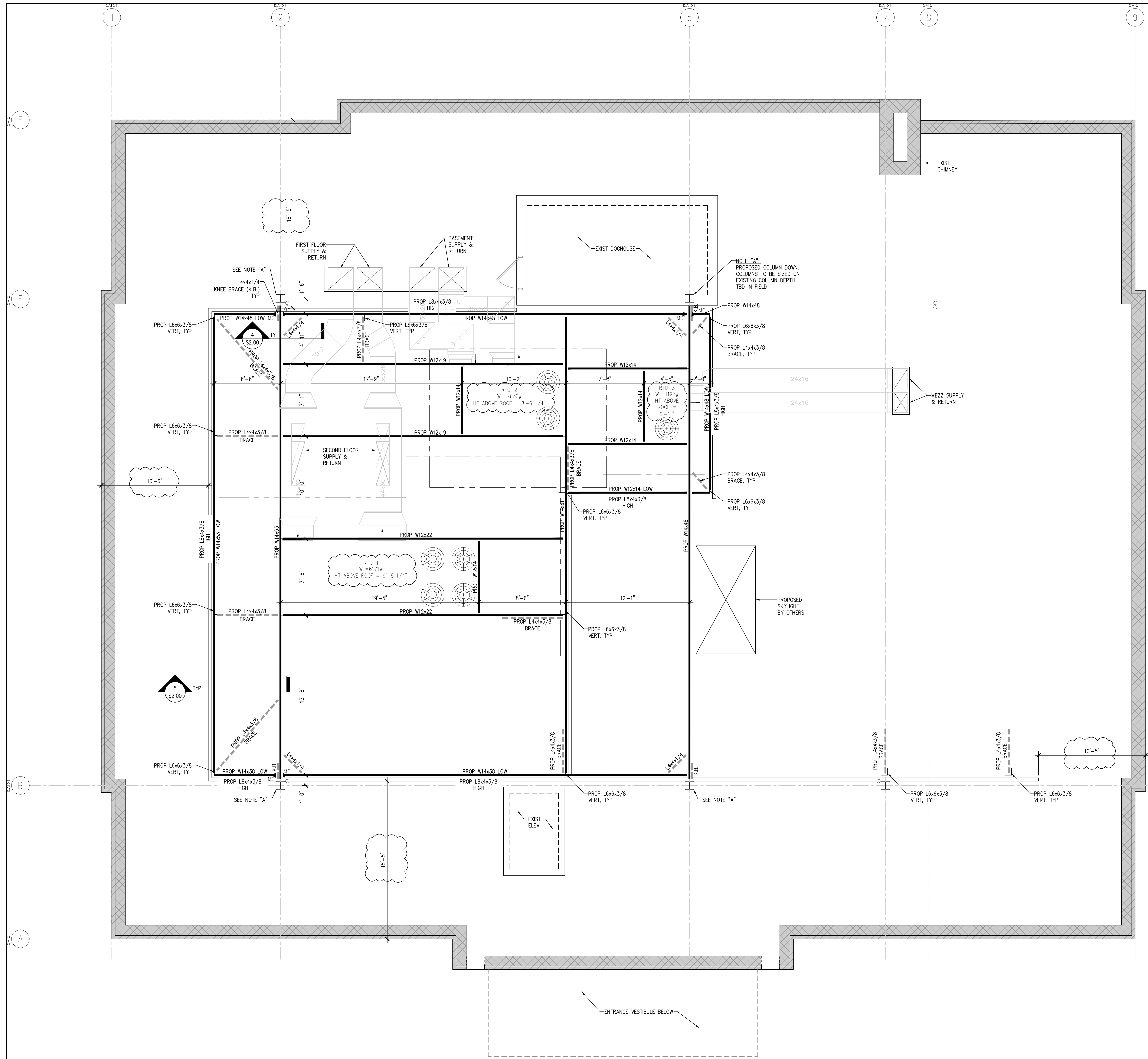
PREPARED FOR  
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605 WEST AVE.  
 NORWALK, CONNECTICUT 06850

**PROPOSED EXTERIOR ELEVATIONS**

DATE: 11/24/20  
 SCALE: AS NOTED  
 PROJECT NO.: 18137.00  
 DRAWN BY: BZ  
 CHECKED BY:  
 CHECKED BY:

**A2.01**



**GENERAL NOTES**

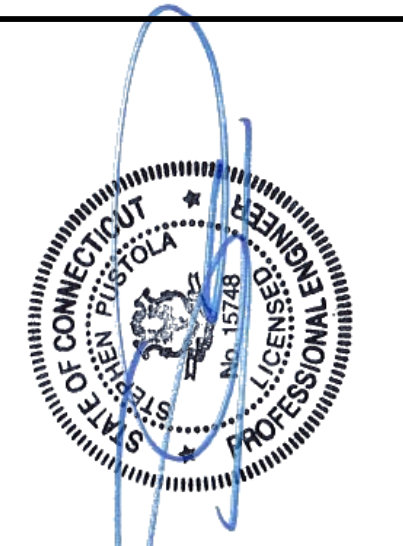
NOTES:

- ALL EXISTING COLUMN LOCATIONS AND EXISTING BEARING WALLS NOTED ON PLAN ARE APPROXIMATE LOCATIONS.
- EXISTING ROOF DRAIN (ERD) LOCATIONS NOTED ON PLAN ARE APPROXIMATE AND NEED TO BE VERIFIED IN FIELD.
- EXISTING BEAM & JOIST LOCATIONS NOTED ON PLAN ARE APPROXIMATE AND NEED TO BE VERIFIED IN FIELD.
- DIMENSIONS ARE FROM FACE OF WALL TO FACE OF WALL (I.E. FACE OF GYPSUM BOARD OR MASONRY) OR FROM FACE OF EXISTING CONDITION OR FROM COLUMN CENTERLINE, UNLESS OTHERWISE NOTED. DIMENSIONS NOTED AS "CLEAR" SHALL BE FROM FINISH FACE TO FINISH FACE, (I.E. FACE OF CERAMIC TILE TO FACE OF CERAMIC TILE). VERIFY ALL EXISTING DIMENSIONS IN THE FIELD.
- ► DENOTES MOMENT CONNECTION.

**REVISIONS**

REV	DESCRIPTION	DATE
C	DESIGN REVIEW COMMENTS	2/2/2021
B	MISC REVISIONS	10/19/20
A	ISSUED FOR REVIEW	9/9/2020

**CONSULTANTS**



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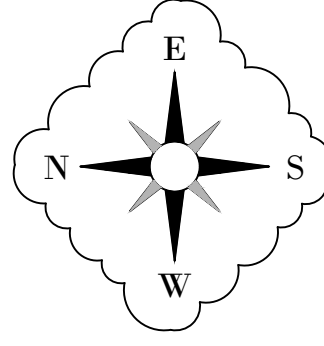
**PROPOSED MEDICAL SPACE**  
 637 WEST AVE.  
 NORWALK, CONNECTICUT 06850  
 PREPARED FOR  
**STANLEY SELIGSON PROPERTIES**  
 605 WEST AVE.  
 NORWALK, CONNECTICUT 06850

**PROPOSED DUNNAGE FRAMING PLAN**

DATE: 9/9/2020  
 SCALE: AS NOTED  
 PROJECT NO.: 18137.00  
 DRAWN BY: BZ  
 CHECKED BY:  
 CHECKED BY:

**S1.05**

1 PROPOSED DUNNAGE FRAMING PLAN  
 S1.05 1/4" = 1'-0"















  
Do Not  
Enter

WELLS  
FRANCO



WELLS FARGO

ATM Lane Or

**WELLS FARGO**







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MEDICAL OFFICE SPACE  
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203 614 1489







*Andriopoulos Design Assoc., LLC  
32 Main Street, Ste. 203  
Norwalk, CT 06851  
P: 203-853-8006  
E: ADA@andriopoulosdesign.com*

February 5, 2021

Mr. Jonathan Hopkins  
c/o City of Norwalk  
Redevelopment Agency  
3 Belden Avenue  
Norwalk, CT 06850

Re: 3rd Party Peer Review - Final Report for  
Waypointe Partners LLC (c/o Seligson Properties)  
637 West Avenue and 6&10 Chapel Street  
Norwalk, CT

Dear Jonathan;

I have reviewed the design documents for the proposed site work, landscaping and exterior elevation/ facade renovation work prepared and submitted by Redniss and Mead for the applicant Waypointe Partners LLC (c/o Seligson Properties) located at 637 West Avenue and 6&10 Chapel Street, Norwalk, CT.

The project has met the intent of the design regulations, as outlined in the Wall Street-West Avenue Neighborhood Plan, Design Guidelines for Neighborhood Improvements. Specifically the Site Design and Building/ Architectural Design Specifications. This area of West Avenue is characterized as a commercial corridor.

When reviewing the Site/Civil drawings prepared by Redniss & Mead, dated 11/24/20, the design intends to replace the apron of the one-way existing driveway (directly off of West Ave.) with new painted directional arrow, along with the revised parking layout will improve vehicular traffic flow on the site. The design is eliminating the ATM drive-thru and curb cut, decreasing the curb-cuts to 2, on Chapel Street.



When reviewing the Landscaping drawings prepared by Eric Rains, L.S. dated 11/24/20, they intend to add ample amounts of new trees, shrubs and new site lighting to the existing re-configured site. Which will be reduce the heat infiltration in the parking lot and improve the visual appearance of the parking area.

When reviewing the Architectural drawings provided by Pustola Associates, Consulting Engineers, dated 11/24/20 (revised 1/26/21). The west (Front Facade) Elevation the developer has chosen to replace the vintage 2 story tall "Greek Revival" Open/ Entry Portico with a new 2-story enclosed aluminum and glass entry vestibule with flat roof line. This vestibule addition and window frame changes (on the entire building) will create a new look at the street level facing West Ave., and Chapel St. The East (rear facing) elevation is generally unchanged with the exception of new/entry door location, window/frame color changes and new flat roof canopy to provide shelter to the entries.

Our suggestions for Redevelopment Agency approval are as follows:

- 1.) Site Lighting Plans need clarification of direction, function and attachment of the proposed perimeter lighting fixture on building, Dwg. SPL-2.0, Lighting Type: BL-1.
- 2) Architectural Dwg. A2.00 requires clarification regarding the new equipment height on roof top and corresponding minimum height required of proposed aluminum wall panel (screening). The proposed wall panel should not exceed the height of the existing brick utility structure. The open bottom of the wall panel should be no higher than the top of the existing parapet.
- 3) Architectural Dwg. A2.00, We would encourage the applicant to reduce the roof top "screen" fencing in length equally by approx. +/- 6'-0" (from the left and right), as will be seen in the West (Front facing-West Avenue) elevation.
- 4.) Architectural Roof Plan, requires clarification of the dimensions of the metal wall panel "screen" from the roof top edge.



5.) Architectural Dwg. A2.00 requires clarification of proposed new 2-story aluminum glass entry enclosure relating to the clear glass and spandrel glass composition. As shown, it is unclear as to the amount of transparency that will be provided in the new vestibule enclosure.

It is my opinion that this application for Site Parking Lot changes, landscaping, pedestrian accessibility improvements, fenestration improvements and new Front & rear Facade Entry improvements are in keeping with the design guidelines as defined in the Wall Street-West Avenue Neighborhood Plan.

If you have any questions, please feel free to contact our office.

Thank you,

A handwritten signature in blue ink, appearing to read "William N. Andriopoulos", is written over a faint, light blue circular stamp or watermark.

William N. Andriopoulos, R.A./AIA  
Andriopoulos Design Associates, LLC  
WNA/mg

cc: V. Hynes, Redniss and Mead

**Pustola & Associates**  
CONSULTING ENGINEERS, LLC

(203) 729-6675 • Fax (203) 720-2816

Licensed Professional Engineers  
New York & Connecticut

185 Meadow Street  
Naugatuck, Connecticut 06770

February 3, 2021

Job No. 18137.00

Mr. Jonathan Hopkins  
c/o City of Norwalk  
Redevelopment Agency  
3 Belden Ave.  
Norwalk, CT 06850  
RE: 637 West Ave Design Review Comments

This letter is in response to the questions and comments posed in a January 28<sup>th</sup>, 2021 letter from William N. Andriopoulos regarding the existing building at the above referenced address. These responses are specifically for the comments listed below regarding Pustola & Associates drawings.

C. Removals plans, Structural Plans Architectural Plan, prepared by Pustola Eng.:

Comment 1) On Dwg. D1.04 or S1.05, please provide all "new proposed" and "existing to remain" roof top equipment locations as accurately as possible, including the approx. heights of to the top of the equipment from the roof deck, for review.

*Response: The revised drawings attached to this letter now contain this information.*

Comment 2a) Dwg. A2.00: Please provide photo imagery of similar glass enclosure system (as built elsewhere) from the specific manufacture with frame and glass finish sample, for review/ the record.

*Response: Photos will be included with this submission. Physical samples are being prepared for presentation.*

Comment 2b) Please provide clarification of where spandrel panels are located along with sample of spandrel color/ glazing for the record.

*Response: The revised drawings contain this dimensional information, and physical samples are being prepared for presentation.*

Comment 2c) Please confirm orientation of North Elevation.

*Response: The revised drawings clarify the elevation directions*

Comment 2d) Metal wall panel "screen" at roof. Concern with the proposed height of screen wall and proximity to roof edge. (Zoning requires equipment/ screen panels to be 10ft back from the roof edge.) Suggestion to development team to consider lowering the top of the screen panel to align with the existing height of the "dog house" with bottom of the screen panel align with existing top of cornice/ parapet. This will decrease any (visual) negative impact of screen wall significantly.

*Response: The location and elevation of the screens has been adjusted as requested, see the revised drawings.*

Comment 2e.) Please provide sample of "Charcoal grey color", for review.

*Response: Physical samples are being prepared for presentation.*

Comment 3) Dwg. A2.01: Please confirm orientation of South Elevation.

*Response: The revised drawings clarify the elevation directions*

Comment 4) Dwg. S3.00 "Brace Frame" - Will the "X" bracing be visible to the public from the exterior view?

*Response: Currently the X bracing will be visible from the exterior.*

Thank you,

Kyle Pustola, EIT



eric rains  
landscape architecture, llc

11a N Main Street SoNo, Connecticut 06854 o 203.354.6500  
(mailing) 33 N Water Street suite 710 f 203-853-7601 ericrains.com

03 February 2021

Mr. Jonathan Hopkins  
**City of Norwalk Redevelopment Agency**  
3 Belden Avenue  
Norwalk, Connecticut 06850

**Re: 637 West Avenue Design Review Comments**

Dear Mr. Hopkins,

This letter is in response to the questions and comment provided by Andriopoulos Design Associates in their letter dated 28<sup>th</sup> January 2021 specifically those in section A.

Below are responses to each point.

**A.1** - BL1 is a continuous up light around the perimeter. For clarity, the "cornice" means the band that wraps the upper building all the way around. This low output fixture would be wall mounted above that and illuminate the upper few feet of the building. We are requesting approval of this lighting affect with the understanding that it may be installed at some point in the future beyond the completion of this initial renovation. We ask that we have the latitude to install it as part of a future effort should the building ownership team decide it is necessary to wait.

**A.1a** - See comment above and refer to the revised Architectural drawings prepared by Pustola & Associates and also the attached mounting detail.

**A.1b** - Fixture BL1 can be placed on a timer.

**A.1c** - Regarding public art, the team feels that the building modifications are in effect an artistic statement. The steeple / bell tower as part of the church architecture (across Chapel Street) is very attractive and visually dominant, thus additional accent pieces would be lost.

In addition to these comments, we would like to point out that we are revisiting the "Site Lighting". The goal is to provide the necessary lighting levels with more efficiency resulting in fewer fixtures. A revised photometric analysis is underway.

Please contact our office with any questions regarding this matter.

Best Regards,

A handwritten signature in blue ink, appearing to read "C. Eric Rains", with a stylized flourish at the end.

C. Eric Rains, RLA, ASLA  
Principal



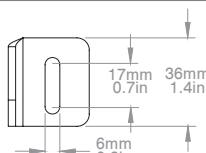
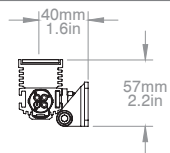
## Low Profile Monochromatic Linear Wall Washing and Grazing LED Lighting

## PRODUCT SPECIFICATION SHEET

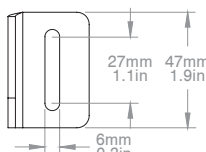
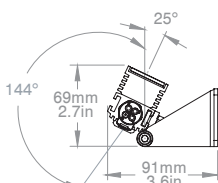
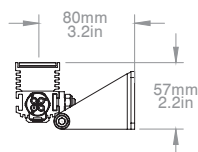
### ORDERING LOGIC: STR9 MOUNTING ACCESSORIES

#### WXX - ADJUSTABLE WALL MOUNT BRACKET KIT

#### W40 ADJUSTABLE WALL MOUNT

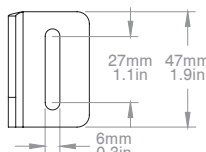
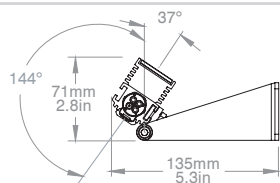
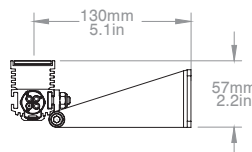


COLOR	PART NUMBER	WEIGHT
Clear Matte Anodized	121128	0.10kg / 0.21lbs
Black Matte Anodized	121129	



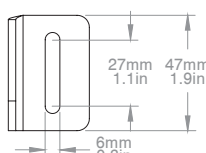
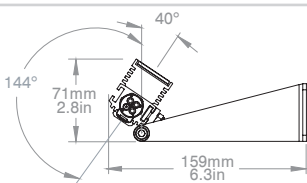
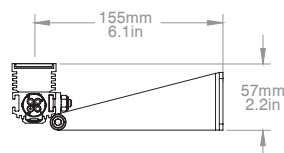
#### W80 ADJUSTABLE WALL MOUNT

COLOR	PART NUMBER	WEIGHT
Clear Matte Anodized	121130	0.12kg / 0.27lbs
Black Matte Anodized	121131	



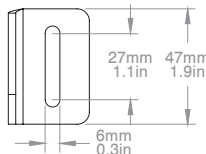
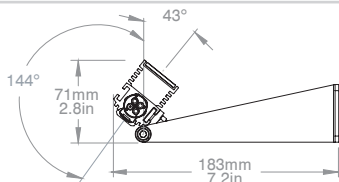
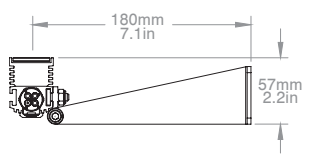
#### W130 ADJUSTABLE WALL MOUNT

COLOR	PART NUMBER	WEIGHT
Clear Matte Anodized	121132	0.15kg / 0.32lbs
Black Matte Anodized	121133	



#### W155 ADJUSTABLE WALL MOUNT

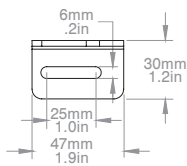
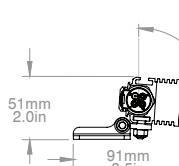
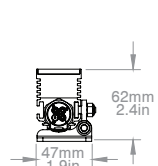
COLOR	PART NUMBER	WEIGHT
Clear Matte Anodized	121134	0.16kg / 0.35lbs
Black Matte Anodized	121135	



#### W180 ADJUSTABLE WALL MOUNT

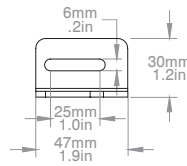
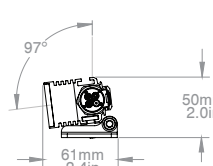
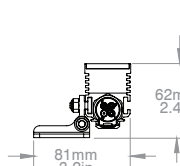
COLOR	PART NUMBER	WEIGHT
Clear Matte Anodized	121136	0.17kg / 0.38lbs
Black Matte Anodized	121137	

#### SMA-I - INSIDE ADJUSTABLE SURFACE MOUNT BRACKET KIT



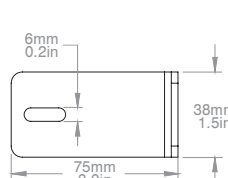
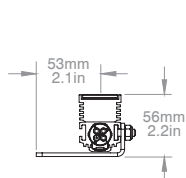
COLOR	PART NUMBER	WEIGHT
Clear Matte Anodized	121138	0.09kg / 0.20lbs
Black Matte Anodized	121139	

#### SMA-O - OUTSIDE ADJUSTABLE SURFACE MOUNT BRACKET KIT



COLOR	PART NUMBER	WEIGHT
Clear Matte Anodized	121825	0.09kg / 0.20lbs
Black Matte Anodized	121826	

#### SML - SURFACE MOUNT BRACKET KIT, NON-ADJUSTABLE



COLOR	PART NUMBER	WEIGHT
Clear Matte Anodized	121140	0.08kg / 0.18lbs
Black Matte Anodized	121141	



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January 28, 2021

Mr. Jonathan Hopkins  
c/o City of Norwalk  
Redevelopment Agency  
3 Belden Avenue  
Norwalk, CT 06850

Re: Preliminary Design Review Comments for  
Waypointe Partners LLC (c/o Seligson Properties)  
637 West Avenue and 6&10 Chapel Street  
Norwalk, CT

Dear Jonathan;

I have reviewed the design documents prepared for the Waypointe Partners design. My review comments are in accordance with the guiding criteria, as outlined in the Redevelopment Agency, Wall Street- West Avenue Neighborhood Plan and the Design Guidelines.

We have received the developers revised drawings supplied to our office 1/27/21 and narrative from Bruce Beinfield dated 1/26/21.

Below please find my review questions and comments for this project:

A. Site planting and Site Lighting drawings, prepared by Eric Rains, L.A.:

Question 1.) Does perimeter lighting fixture BL1 (callout at the perimeter at cornice) provide a continuous up lighting affect?



Comment 1a) Dwg. SPL-2.0 : No architectural detail is shown as to how this lighting fixture BL1, is attached to the cornice.

Comment 1b) Dwg. SL-1: No data is provided for the perimeter cornice lighting. Will this fixture be on a timer?

Comment 1c) Suggestion to the development team. As this site is located on the prominent corner of West Avenue and Chapel Street, please consider including some form of public art (i.e., sculptural art pieces for the lawn area, etc) at the exterior or in the front lobby. Please contact the Norwalk Arts Commission to collaborate for art ideas and artist availability.

B. Site/ Civil engineering plans, prepared by Redness and Mead:

We have no comment for drawings SE-1 thru SE-4 at this time.

C. Removals plans, Structural Plans Architectural Plan, prepared by Pustola Eng.:

Comment 1) On Dwg. D1.04 or S1.05, please provide all "new proposed" and "existing to remain" roof top equipment locations as accurately as possible, including the approximate heights of to the top of the equipment from the roof deck, for review.

Comment 2a) Dwg. A2.00: Please provide photo imagery of similar glass enclosure system (as built elsewhere) from the specific manufacturer with frame and glass finish sample, for review/ the record.

Comment 2b) Please provide clarification of where spandrel panels are located along with sample of spandrel color/ glazing for the record.

Comment 2c) Please confirm orientation of North Elevation.

Comment 2d) Metal wall panel "screen" at roof. Concern with the proposed height of screen wall and proximity to roof edge. (Zoning requires equipment/ screen panels to be



10ft back from the roof edge.) Suggestion to development team to consider lowering the top of the screen panel to align with the existing height of the "dog house" with bottom of the screen panel align with existing top of cornice/ parapet. This will decrease any (visual) negative impact of screen wall significantly.

Comment 2e.) Please provide sample of "Charcoal grey color", for review.

Comment 3) Dwg. A2.01: Please confirm orientation of South Elevation.

Comment 4) Dwg. S3.00 "Brace Frame" - Will the "X" bracing be visible to the public from the exterior view?

Suggestion: Have you considered any sustainable and green infrastructure initiatives for this rehabilitation project. Perhaps infrastructure could include a greenwall design in certain areas including the new front entry portico enclosure.

The above comments are provided for our initial review. Once our office has received the additional information/ revised drawings, if any, I will review this information and can then make our recommendation for approval and submit my final report to your office.

If you have any questions, please feel free to contact our office.

Thank you,

A handwritten signature in blue ink, appearing to read "William N. Andriopoulos", written over a faint, light blue circular stamp or watermark.

William N. Andriopoulos, R.A./AIA  
Andriopoulos Design Associates, LLC  
WNA/mg

cc: V. Hynes, Redness and Mead