



CHAIRMAN
John E. Igneri

COMMISSIONERS
Kelly Bloom
Lisa M. Cooper
William R. Speirs
David G. Westmoreland

EXECUTIVE DIRECTOR
Brian T. Bidolli, AICP

TO: Members, Norwalk Redevelopment Agency
FROM: John E. Igneri, Chairman
DATE: December 31, 2020
RE: Special Meeting Notice

**January 5th, 2021
5:30 P.M.
SPECIAL MEETING
AGENDA**

The next meeting of the Norwalk Redevelopment Agency will be held on Tuesday, January 5th, 2021 at 5:30 p.m. Due to the ongoing public health situation, the special meeting will be held as a Zoom videoconference via the link provided below. The meeting will also be available on the Norwalk Redevelopment Agency YouTube channel:

https://www.youtube.com/channel/UCHMiAZt32k6BnjaKdnUalug?view_as=subscriber.

ZOOM Meeting Link:

<https://zoom.us/j/2038547810?pwd=bVZjM3duS1QwRlR6QVMwT09yeDg3Zz09>

CALL TO ORDER

ROLL CALL

PUBLIC PARTICIPATION

I. ADMINISTRATION

1. APPROVAL OF MINUTES

- i. Approve Minutes of the December 8th, 2020 Regular Meeting

II. **BUSINESS**

1. DISCUSSION REGARDING CDBG LOAN TO MARITIME CENTER

- i. Possible action regarding Item II.1

2. DESIGN REVIEW

- i. 61 Wall / 17 Isaacs Street – Wall Street Place (report available at:
<https://www.norwalkct.org/DocumentCenter/View/20509/Wall-Street-Place-FINAL-210105>)

- 1. Possible action regarding Item II.2.i

- ii. 467 West Avenue – The Pinnacle

- 1. Possible action regarding Item II.2.ii

ADJOURNMENT

CITY OF NORWALK
NORWALK REDEVELOPMENT AGENCY
DECEMBER 8, 2020
VIA ZOOM

ATTENDANCE: William Speirs, Acting Chair; John Igneri, David Westmoreland and Kelly Bloom

ABSENT: Lisa Cooper

STAFF: Brian Bidolli, Katie O’Leary, Eugenia Lupinski

OTHERS: Marc Grenier, Michael Sweeney, Mike Solakian

CALL TO ORDER

Mr. Speirs called the meeting to order at 5:43p.m.

ROLL CALL

A quorum was present. Mr. Speirs read the Executive Order of Governor Lamont regarding virtual meetings.

PUBLIC COMMENT

There was no Public Comment.

ADMINISTRATION

1. APPROVAL OF MINUTES

i.) Approve Minutes of the November 3, 2020 Special Meeting

****MR. WESTMORELAND MADE A MOTION TO APPROVE THE MINUTES**

****MR. IGNERI SECONDED THE MOTION**

****3 IN FAVOR, 0 AGAINST, 1 ABSTENTION (Ms. Bloom)**

2. FINANCE

i) Approve Norwalk Redevelopment Agency Statement of Revenues and Expenditures for Operating Fund 100 for Year-to-Date October 31, 2020.

Ms. Lupinski stated that Operating Fund 100 had revenues of \$498,000 vs budgeted revenues of \$529,000, resulting in an unfavorable variance of \$31,000 which is due mainly to lower actual CDBG grant revenue of \$27,000. This revenue will be recouped over the remainder of the year.

Total actual expenses of \$536,000 versus budgeted total expenses of \$540,000 resulted in a favorable variance of \$4,000. This is primarily due to an unfavorable variance in legal expenses of \$78,000 resulting from Wall Street litigation which was offset by favorable variances in personnel expenses (\$68,000) and other administrative expenses (\$13,000).

The actual operating deficit of \$39,000 versus a budgeted operating deficit of \$11,000 resulted in an unfavorable variance of \$28,000.

****MR.IGNERI MADE A MOTION TO APPROVE**

****MR. WESTMORELAND SECONDED THE MOTION**

****3 IN FAVOR, 0 AGAINST, 1 ABSTENSION (Ms. Bloom)**

ii) Approve Norwalk Redevelopment Agency Audited Financial Statements for Fiscal Year Ended June 30, 2020

Mr. Solakian presented. The Audit was seamless and the Agency has a clean audit report. The last page 27 is the most important, no findings with federal CDBG program. The footnotes on pages 11-20 are consistent with 2019. There were no material weaknesses and no formal management letter.

****MR.IGNERI MADE A MOTION TO APPROVE THE AUDIT**

****MR. WESTMORELAND SECONDED THE MOTION**

****3 IN FAVOR, 0 AGAINST, 1 ABSTENTION (Ms. Bloom)**

BUSINESS

1. CERTIFICATE OF COMPLETION – SONO COLLECTION

i) Approve issuance of Certificate of Completion for SONO Collection

Mr. Sweeney from Brookfield Properties and a Partner of Carmody & Torrance presented. It

Provides for LDA, carve outs. November 19, 2020 was the date of completion. The reference to The bond will be deleted from the final certificate. It will be recorded on the land records.

****MR.IGNERI MADE THE MOTION TO ACCEPT THE CERTIFICATE OF COMPLETION**

****MR. WESTMORELAND SECONDED THE MOTION**

****3 IN FAVOR, 0 AGAINST, 1 ABSTENTION (Ms. Bloom)**

2. ELECTION OF OFFICERS

****MR. WESTMORELAND MADE A MOTION TO APPOINT MR.IGNERI AS CHAIRMAN**

****MS. BLOOM SECONDED THE MOTION**

****MOTION PASSED UNANIMOUSLY**

Mr. Igneri is the new Chairman.

NEW BUSINESS

There was no new business to come before the Agency.

OLD BUSINESS

There was no old business to come before the Agency.

ADJOURNMENT

****MR. WESTMORELAND MADE A MOTION TO ADJOURN THE MEETING**

****MR.IGNERI SECONDED THE MOTION**

****MOTION PASSED UNANIMOUSLY**

Meeting was adjourned at 6:15pm.

Respectfully submitted,
Raeann Bromark
Telesco Secretarial Services

Peer Review Report

Wall Street Place Norwalk, CT

Submitted
to the

Zoning Commission
and
Redevelopment
Agency

City of Norwalk

January 5, 2021

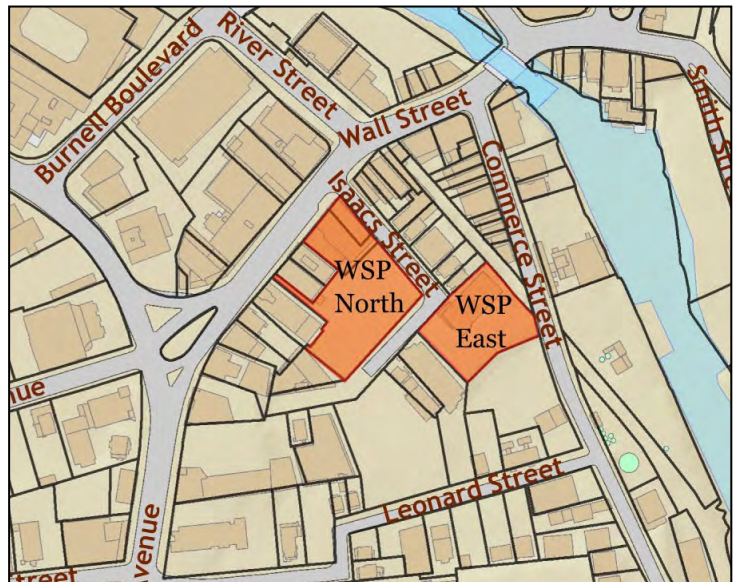


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Overview

Wall Street Place consists of a mixed use development of residences and commercial in two structures that increases the density of development on each of their sites. It represents a new density of development for its immediate surroundings.

The Application includes Wall Street Place North, a proposal to complete a previously partially erected building shell, a project undertaken by previous owners.

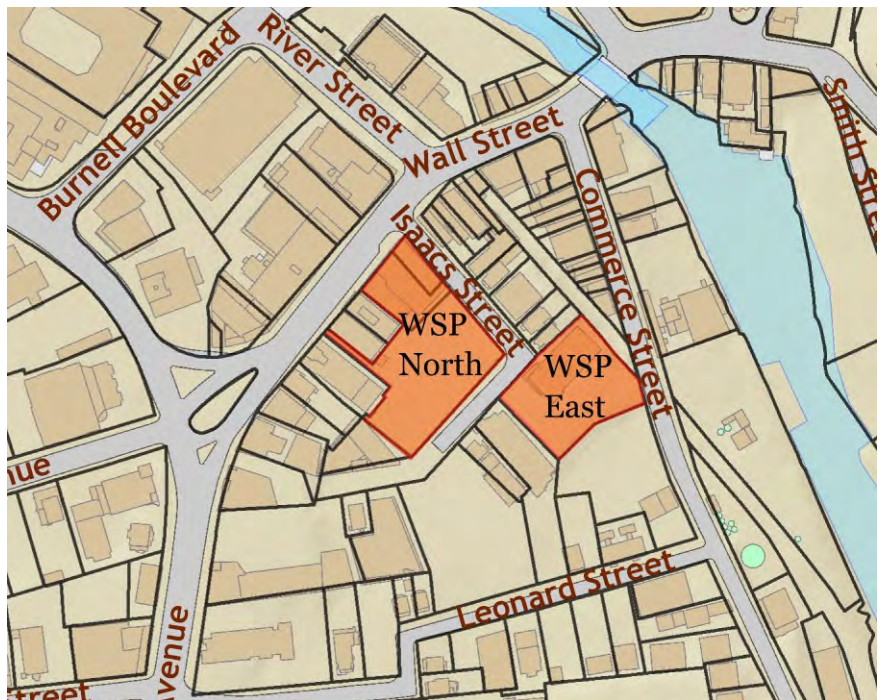
This project represents the intensity of development envisioned by the new Central Business District rezoning of June 28, 2019, and the Wall Street—West Avenue Neighborhood Plan of February, 2019. While some of the bulk and height measurements of the Wall Street North building exceed current as-of-right standards, they are conforming and consistent with Section 118-504 C (14). In this Report suggested improvements will be noted and, as appropriate, options to bring these into greater concurrence with the current intent of regulations will be suggested.

The following Report will assess the response of this proposal to the specific applicable criteria established by the City.

Documents Reviewed

For this report, the following documents have been reviewed:

- A. WSP Transparency Study, dated December 10, 2020, prepared by Crosskey Architects, 3 pages.
- B. L-3 Photometric Plan, submitted December 16, 2020, no author, 1 page.
- C. Wall Street Place Full Submission, dated December 22, 2020, prepared by Crosskey Architects, 49 pages.



- D. Reference will also be made to the previous application for this project, Norwalk—Wall Street Place—Phase I, Zoning Board Presentation, February 11, 2016 prepared by Kitchen Associates, 13 pages, and to a closely related set of four presentation perspective renderings of a previous iteration of this project completed in about 2014.

Zoning Commission Approval was granted to a previous iteration of this project, #6-08SPR / #16-08CAM, on January 22, 2015.

The Plan Review Committee modified this Approval as a Minor Plan Change on February 11, 2016. The design changes noted correspond to the those shown on the February 11, 2016, Norwalk—Wall Street Place—Phase I, Zoning Board Presentation noted above.

The review undertaken in this Report is based on the February 11, 2016 Approval and that that Approval qualifies that date's Presentation as compliant under 118-504 C (14) of the Zoning Ordinance.

Development Direction Established by Wall Street Place

Wall Street Place is the first major project in its immediate environment built approximating the maximum size permitted by zoning under current regulations. The proposed project consists of two buildings, Wall Street Place North and Wall Street Place East. Both substantially fill their parcels to the limits allowed by Zoning.

The site for Wall Street Place North is a consolidation of three lots, 55 and 61 Wall Street and 2 Isaacs Street, forming a block north and west of Isaacs. Wall Street Place East is located on a single parcel, 17 Isaacs Street, to the east of that street.

Wall Street Place North is a building with a 5 story architecturally articulated block at the corner of Wall and Isaacs NE. The 5 story height continues along Isaacs NE but in a different architectural vocabulary. About 85' from the bend in Isaacs, the height increases to 6 stories and with an architectural articulation of twin towers. Turning Isaacs to the southeast, the 6 story height is visually maintained at the ends of the façade with an intervening 75' interval of a height of 5 stories, the location of an outdoor roof deck. Behind this feature, about 28' from the building face, is a 6 story link between the two corners. Because of viewing angles from street level, this 6 story portion of the building will not be visible from the immediate surrounds on either Wall or Isaacs streets. In this regard, the building, while being 6 stories in height by zoning, will appear as a 5 story building accented by 6 story corner towers.

Wall Street Place East is a simpler building consisting of two stories of housing built upon a two story parking podium, for a zoning height of 4 stories.



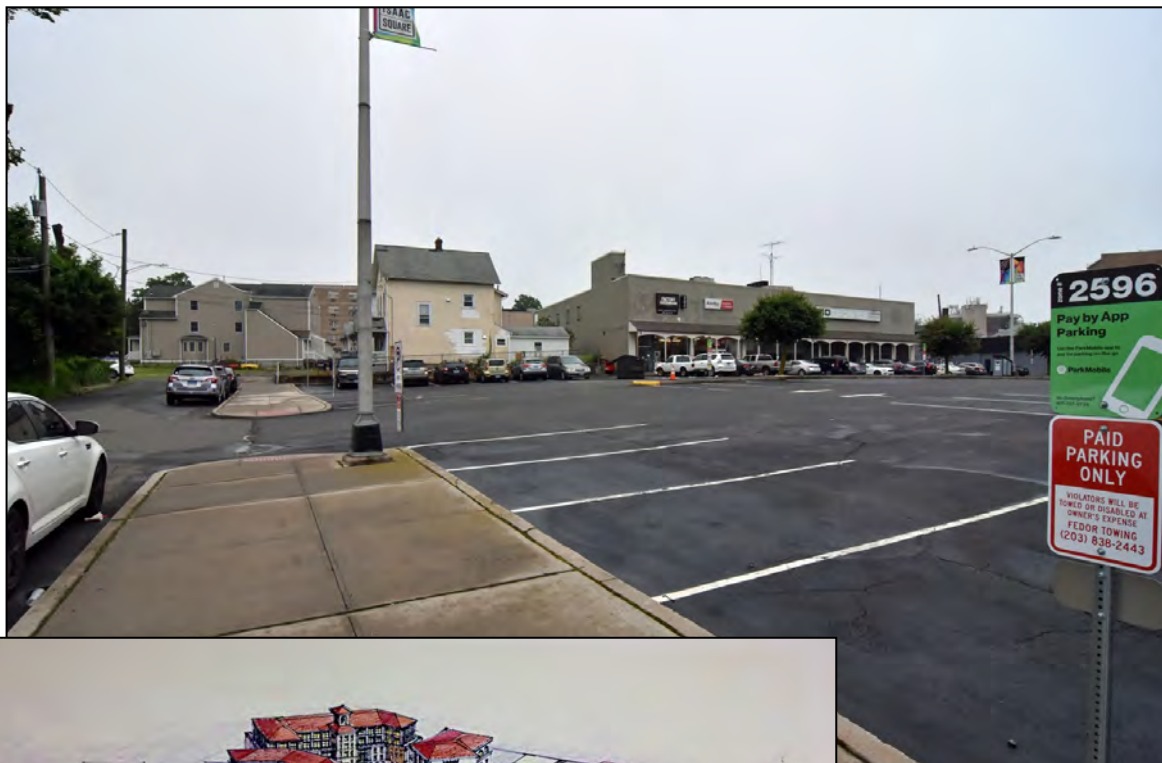
Wall Street Place North from the corner of Wall and Isaacs Streets



View of WSP East from southeast on Commercial Street

To better envision the likely future context of Wall Street Place, reasonable assumptions about future adjacent development in relationship to this project can be made:

- To the south, the large parking lot at 23 Isaacs, will likely form the nucleus of a larger development; it might further expand by the addition of either 18 Isaacs, 21 Isaacs or both. This area was previously envisioned as a subsequent phase of Wall Street Place.



23 Isaacs Parking



2008 Proposal for a 3 phase Wall Street Place

- Similarly, along Wall Street, three historic structures, 67, 69 and 71, of (a tall) one, two and two stories, flank the project and set up a substantial historic streetfront defining the neighborhood. Further west, 83 Wall and 731 West are also contributing structures within the West Street Historic District (National Register).

One may hope that this significant assemblage of smaller scale historic structures will influence surrounding development and that such development may incorporate these into a cohesive and economically sound development. Building height permitted in this quadrant is 4 stories, with 5 permitted if 2 development amenity bonuses are provided. Based on this, it is reasonable to assume that the 5 story height of the Wall-Isaacs portion of this Application may be repeated at 77 and 97 Wall, the location of the non-historic buildings (identified as non contributing) along this frontage.



Wall Street looking east with ,from right to left : 71, 69 and 67 with Wall Street Place (white building) beyond

- Across Isaacs Street NE, are a series of five older structures that were not included in the historic district and four, 49, 51, 53 and 55 Wall Street that were. All of these are mid to late 19th century buildings. Three of these have remodeled facades of the 20th century that may conceal original building features. Number 55 substantially retains its original design. What this may mean from development potential is that the lots across Isaacs may be more likely to be redeveloped than those that face Wall. The resulting combined lot would have dimensions of about 105' deep by 205' wide. The depth would not likely result in an efficient parking layout. One might assume the designer of such a project would face similar challenges of parking quantity vs number of units (if developed as housing) as did the designer for 9 Leonard, a project reviewed by the Commission previously. It is unlikely this site would be able to contain sufficient parking to provide sufficient units to exceed 4 stories even if it were possible to include amenity bonuses within such a project.



83 Wall Street, Tudor Building, 1927

Northwest across Wall street are several properties with varying development potential.

The Bishop Building at 64 Wall Street is a contributing building in the historic district and was built in 1935. It's primary façade, directly across from the corner block of Wall Street Place North, is a four story structure of comparable height to this project. While the Wall Street frontage is approximately what the current zoning would anticipate as maximum development, the building behind is largely one story and the overall FAR for this property might be somewhat less than 2.0, indicating there is some development potential up to 3.0 within the parcel.

Adjacent, and continuing down the street, are 68, 84, 104 and 110 Wall Street and 2 (the U.S. Post Office and 14 Belden Avenue filling out the block. With the exception of the Post Office, these are mostly two story with some one story elements. These properties also likely have less than a 2.0 FAR currently and may, therefore, be subject to future development pressure.



64 Wall Street, The Bishop Building



84 Wall Street with 68 Wall in the distance

To the south and east of Wall Street Place East lie three properties, 31, 37 and 38 Commerce Street, that together comprise Devine Brothers, Inc., a concrete mix supply company that also supplies fuel oil, propane and other supplies. Devine is a family business that took over a preexisting concrete plant on this site in 1935. As such, it is a long standing fixture in Norwalk. They appear to actively use their waterfront location for supply. Conversely, the railroad that bisects their properties does not currently contain sidings that would indicate supplies were brought in by rail.



Industrial properties with navigable waterside access and the potential of rail service are in short supply. That, and the visually assessed continuously active nature of this business on this site would suggest that a use change and redevelopment are unlikely.

On the other hand, waterside access is generally considered of premium value and one could envision a development project that could take advantage of such a location if the property were to come on the market.

At this point, however, it would be highly speculative to suggest any future development on these properties.



Zoning Compliance

A. Schedule Limiting Height and Bulk of Buildings – Central Business District (as revised , June 28, 2019)

a. Height:

Allowed—Wall and Isaacs: 4 stories, 55'
5 stories, 65'
if providing 2 bonus amenities

Proposed:

Wall Street Place North

Along Wall Street 5 stories, 62'-8"

Along Isaacs Street NE 5 stories, 62'-8"

EXCEPT FOR ABOUT
83' At Isaacs bend

32% of street frontage 6 stories, 74'-10"
(Conceptual Elevations)

Along Isaacs Street SE 6 stories, 74'-10"

As discussed in the Documents Reviewed section, p 3, the conformity of this project is measured against the Approval of February 11, 2016. By that standard the project conforms as to height.

Two Through-Block Arcade bonus amenities are provided, therefore the Wall Street and 68% of the Isaacs Street NE frontages also conform to the current Ordinance even though this is not required.

While a portion of WSP North exceeds the current as-of-right number of stories and height, it is consistent with Section 118-504 C (14) and, therefore, the six stories and additional height are permissible.

See the following pages for illustration and discussion of this nonconformity.

Comparative Building Elevations Isaacs Street Current Application and 2016 Design

68% of Elevation is 5 story, conforming to present regulations



The proposed elevation is unchanged as to height in comparison to the previously approved 2016 elevation.

30% of Elevation appears as 5 story from street



The proposed elevation is unchanged as to height in comparison to the previously approved 2016 elevation.

Zoning Compliance (*continued*)

A. Schedule Limiting Height and Bulk of Buildings – Central Business District (as revised , June 28, 2019)

b. Yards:

Required:	Front	None	Max. 10'
		(Frontage Build-out: at least 50% of frontage must be at, or less than 10' per Site Access diagram, Wall Street-West Avenue Neighborhood Plan)	
	Side	None	
	Agg. Side	None	
	Rear	10'	

Proposed

Wall Street Place North

Front	Wall St. Isaacs St. NE	3' (aligns with adjacent structure) Varies: less than 10' average —see diagram
	Isaacs St. SE	Varies (by scaling) from 11.5' to 30' - see diagram
Side	0'	
Ag. Side	N/A	
Rear	N/A corner lot	

Wall Street Place East

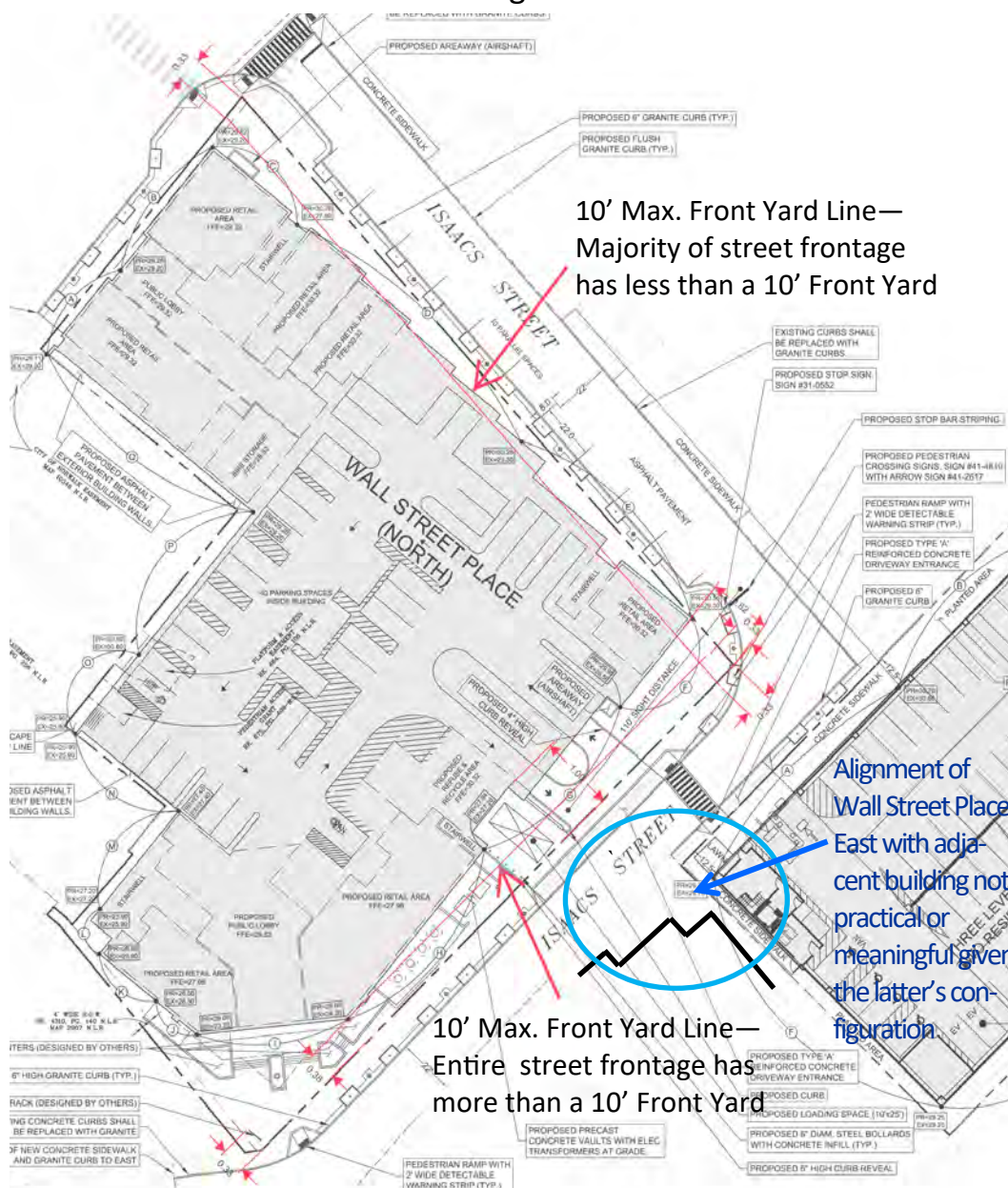
Front	11.8' to 12.5'
Side	5'
Ag. Side	8.8'
Rear	N/A corner lot

The footprint of Wall Street Place North is consistent with the approved footprint of February 11, 2016.

Wall Street Place East is a new building set back farther than 10' from it's property line on Isaacs. however, measured from the edge of City required public improvements, the building is compliant. (Measurement would be from the curb plus the dimensions of these required improvements: an 8" curb, 8" brick, a 5'-0" tree well, and at least 5'-0" sidewalk, 11'-4" overall from the curb edge.)

See the Site Plan Diagram, following page, for further discussion.

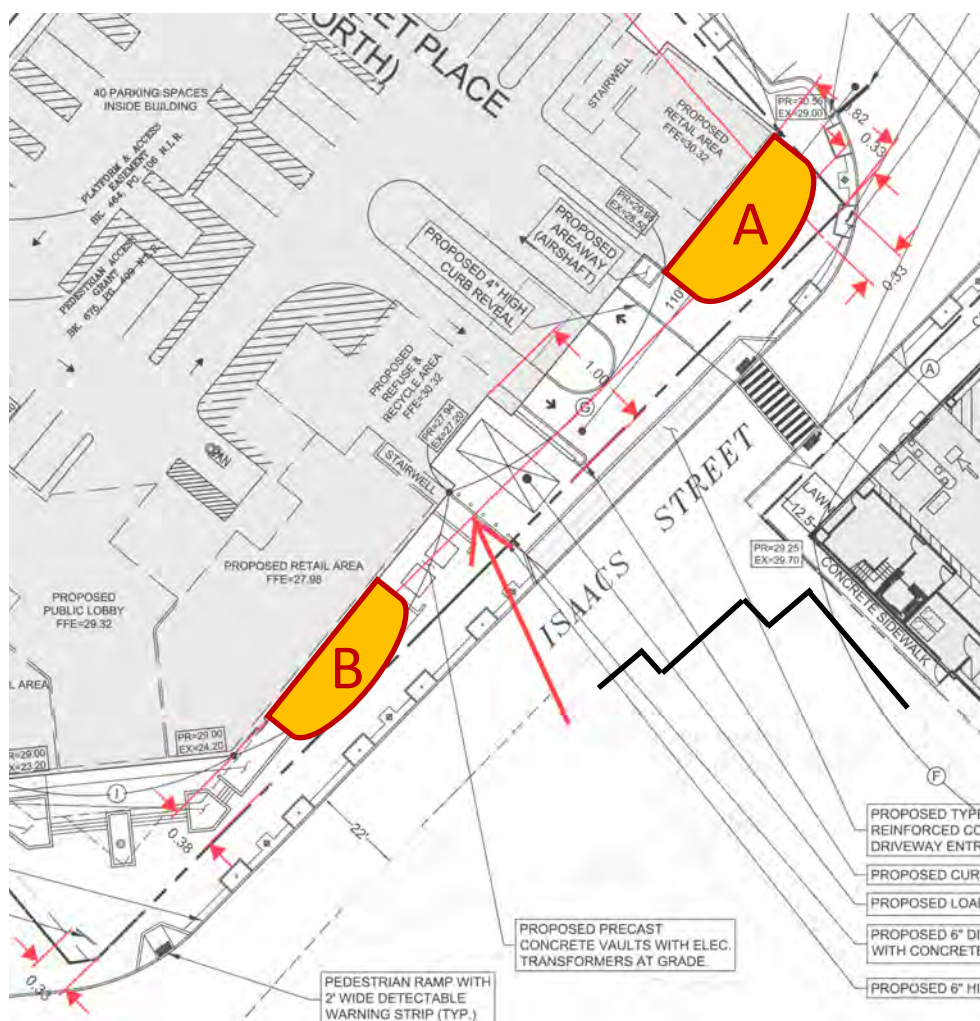
Site Plan Diagram



Front Yard Compliance:

1. Along Wall Street, Wall Street Place North is fully compliant.
2. Along Isaacs Street NE, WSP North is fully compliant.
3. Along Isaacs Street SE, WSP North is compliant under 118-504 C (14).
4. Along Isaacs Street SE, WSP East is within the allowed maximum 10' Front Yard if measured from the required sidewalk width. The requirement for a maximum setback is created to provide a generally harmonious streetscape with comparable building setbacks with adjacent structures existing or planned. In this particular case, the only relevant neighboring structure is The Phoenix on Isaacs, a building with multiple steps back in its façade. WSP East is designed to generally align with the most prominent of these, thereby complying with the intent of the Ordinance and Neighborhood Plan.
5. Note: the building corner at the SW end of Isaacs SW is cut back at an angle anticipating the creation of a public space in future adjacent projects as envisioned in the 2008 master planning.

Yard Compliance Mitigation Diagram



While the footprint of the existing building, WSP North, is grandfathered under 118-504 C (13), it could also be made more compliant to the intent of the current with respect to front yards along Isaac's Street SE without impinging on the integrity of the existing structure.

Two one story commercial/retail bays—A and B, above— could be added to the existing building. These would fill at least a portion of the overly large front yard, particularly at the sensitive corner where Isaac's Street bends to the southwest. The forms shown above are only meant to be suggestive and it would be up to the project's architect to develop a proper plan form and integrate its three dimensional realization into the remainder of the building.

Functionally these would add space to the existing retail spaces proposed in the Application. Visually, these bays would be a great focus of interest for the pedestrian walking Isaac's and would have the salutary effect of drawing attention away from the necessary, but pedestrian dulling, experience of the vehicular garage entry and the loading dock / refuse area.

Elements such as these could be considered components of an "excellence in design" program.

Zoning Compliance (*continued*)**A. Schedule Limiting Height and Bulk of Buildings – Central Business District**
(as revised , June 28, 2019)**c. Recreational Area and Open Space** (calculated on 16,008 SF Lot Area, C-100)**i. Recreational Area**

Required min.:	150 SF/dwelling unit Reduced to 100 SF/du for Workforce Housing Per 118-1050 C (2) c
WSP North	101 du X 100 SF/du = 10,100 SF
WSP East	50 du X 100 SF/du = 5,000 SF
Proposed:	
WSP North	13,300 2nd floor rooftop plaza 1,765 2nd—5th floors private balconies, 51 total 1,329 2nd floor community room <u>1,091 2nd floor fitness room</u> 17,485 SF
WSP East	3,000 rooftop recreational space 1,000 3rd floor decks, 8 total <u>1,000 3rd & 4th floor amenity rooms</u> 5,000 SF

ii. Open Space

Required min.:	15% of lot area 20% of lot area (mixed use)
WSP North	57,216 SF X 20% = 11,443 SF
WSP East	33,551 SF X 15% = 5,033 SF
Proposed:	(WSP Open Space—Public Real Plans)
WSP North	24,403 SF
WSP East	12,850 SF

iii. Public Realm Space

Required min.:	10% of lot area for Mixed Use only
WSP North	57,216 SF X 10% = 5,722 SF
WSP East	Single use structure does not require Public Realm Space

Proposed:	
WSP North	13,364 SF

Note:

As we've noted in previous peer review reports, regulations covering Open Space and Public Realm Space in particular work, to some extent, at cross purposes with other regulations promoting a continuous "build to" line for a street wall. On projects such as this one, designing to provide the street wall inherently reduces the areas available for Public Realm Space. In cases such as this project's, there may not be sufficient area within the front property line and the building front to create the required Public Open Space.

On Wall Street Place North, Public Realm spaces does include sidewalk space to the curb line and could include (but doesn't) the through-block arcades which are part of the project.

The garage entry drives and the loading dock area would not be appropriate as Open Spaces; deducting these from the submitted total would not bring the project below compliance.

d. Floor Area Ratio

Allowed max.: 3.0

Amenity Bonuses Used: Two for through-block arcades on WSP North
an 8 to 1 bonus for each

WSP North	57,216 SF X 3.0 = 171,648 SF
Arcade 1	1,644 SF X 8 = 13,152 SF
Arcade 2	2,626 SF X 8 = <u>21,008 SF</u>
Total Allowed	205,808 SF

WSP East	33,551 SF X 3.0 = 100,653 SF
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Proposed:

WSP North	176,437 SF
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WSP East	50,228 SF
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The FAR requirements of the regulations are met by the proposed project.

e. All other Schedule requirements are met.

B. Parking – 118-1200

a. Quantity

Required min.:

- 1.3 spaces per dwelling unit
- 118-1220 Table of Off-street motor Vehicle Parking Requirements, Use 3(a) Multi-Family, Requirement 22 (mixed use) states the requirement is the greater of 1.3 spaces /D.U. or that calculated under the mixed use reductions listed under 118-1220E.
- 118-1050 C (2) c allows for a reduced requirement of 1.0/D.U. for Workforce Housing

1 space per 1,000 SF of active commercial in CBD
1 space per 45 sf of active commercial floor area

Proposed: For a Residential-Restaurant-Retail Mixed Use with Workforce housing under 118-1050 C(2) c, under 118-1220 E, required parking would be as follows:

- 151 D.U. x 1.0 spaces/D.U. = 151 spaces
- 7,410 SF retail @ 80% active = 6 Spaces
- 4,990 SF of restaurant @ 55% active = 61 spaces
- Total Parking Required w/o Mixed Use Overlap Reduction = 218 spaces
 - Less 25 % of residential or 100% of retail - 6 spaces
 - Less 10% of residential or 100% of restaurant -15 spaces
- 218 - 6 - 15 = 197 spaces required

THEREFORE 4,990 SF IS THE MAXIMUM QUANTITY OF RESTAURANT SPACE WITHIN THE 12,400 SF OF COMMERCIAL SPACE PROVIDED. If future restaurant use is desired after initial occupancy, new parking requirements may be determined by 118-1220 L.1 governing off street parking for change of use.

The parking requirements are met by the proposed project.

b. Loading

Required min.:

WSP North 1 space
(10,233 SF commercial/retail)

The loading space requirements are met by the proposed project.

c. The remainder of the zoning parking requirements are met.

Connecticut State Building Code Impact

Select requirements of the State Building Code were reviewed to the extent that they could affect the planning and exterior appearance of the proposed project.

- A. 406.5 Sets for the requirements for an Open Parking Garage. As designed the Walls Street Place North portion of the project does not meet the definition of an Open Parking Garage. The applicant has state that all garage mechanical ventilation will be routed through the roof and not visible.

The garage for Walls Street Place East does meet the definition of an Open Parking Garage.

- B. Table 705.8 Establishes the amount of openings a wall can have when located close to a property line. For Wall Street Place North, the west wall is approximately 9' from its respective property line. Based on this table, for a sprinklered building, 25% of the wall area is allowed to be openings.

The Applicant has taken advantage of this provision to provide windows on this wall.



WSP North Revised Elevation of West Wall for Wall-Isaacs Block

118-504 Central Business Design District

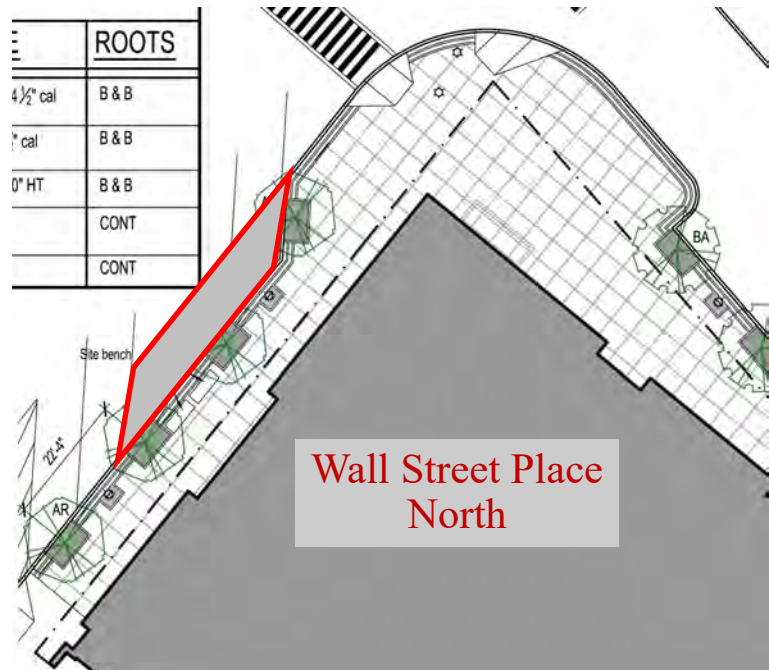
- A. The proposed development meets at least two of the purposes for which the District was created:
 - 1. Establish an urban fabric that is walkable, engaging and complimented by sustainable design.
 - 2. Preserve, create and enhance pedestrian-oriented streets.
- B. Uses and Structures
 - 1. The proposed development conforms to the uses and structures permitted, specifically a mixed use of (1)(s) multifamily dwellings with on-site bicycle storage, electric vehicle charging stations and workforce housing, and retail stores and personal business service establishments (1)(cc).
- C. Lot and Building Requirements
 - 1. The proposed development conforms to the Lot and Building Requirements.
- D. Amenity Incentives
 - 1. The project utilizes two Amenity Incentives.

Wall Street-West Avenue Neighborhood Redevelopment Design Guidelines

Site Design Specifications

A. Building Orientation

- The buildings front façades and entries do face the public street as required.
- The buildings do create an uninterrupted street wall. As noted under Zoning, Yards, above, Wall Street Place East is set back slightly further than the maximum allowed, but, by using this setback, a relationship is established with the adjacent building, The Phoenix, that does establish a street wall.
- It is recommended that the three curbside parking spaces at the northern end of Wall Street before the intersection of Isaacs be replaced with an extension of the sidewalk and curb to provide a drop-off and entrance for Wall Street Place North as shown to right.



B. Site Access, Parking and Loading

- The number of vehicular access points has been minimized.
- There are two proposed pedestrian crosswalks, one crossing Isaacs NE at Wall Street, and the other crossing Isaacs SE aligned with the entry of Wall Street Place East. The location of these crosswalks is appropriate. The Applicant needs to provide details for the crosswalks. Crosswalks are required to be differentiated with variations in paving materials. This reviewer has provided the Applicant such details submitted under another project that meet this requirement.
- Sidewalks are provided as required.
- Off street parking is located within parking structures.
- A loading zone is required for Wall Street Place North. Because this building consists of three street frontages, the loading zone has been located on Isaacs Street SE where it will be least intrusive.
- The project does not provide for on-demand transportation service loading zones. This requirement does not seem to be appropriate for a project of this scale.
- Curb cuts have been located on Isaacs Street SE, the least pedestrian disruptive location possible.

C. Green Infrastructure

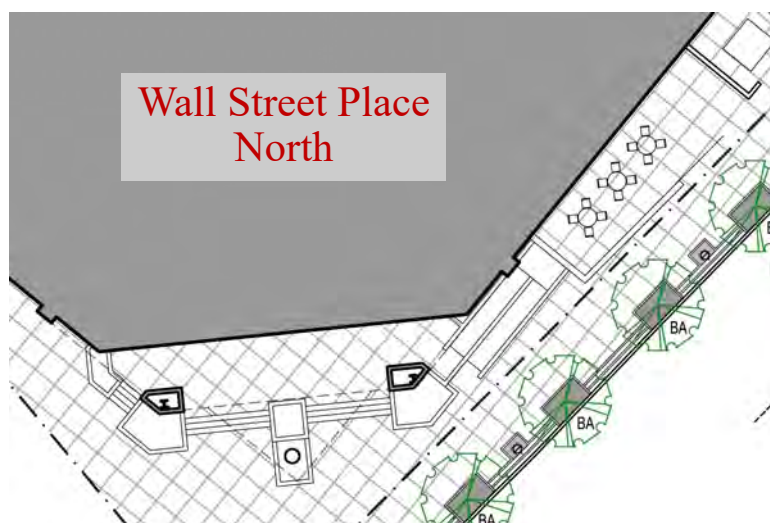
- The project provides for street trees planted as per the City of Norwalk Standard Detail. No other rainwater runoff green infrastructure has been provided

D. Sidewalks, Street Furniture and Landscaping (see SE-3 Site Paving Plan and Landscape Plan)

Sidewalks

- The sidewalks conform to the City Standard Details, a minimum 7' width is maintained and planting strips are provided outside of this width.
- Granite curbs are provided on all street frontages.
- Two outdoor seating areas are shown for restaurant tenants at the NE and toward the SW ends of Isaacs SE.

Details of these two areas need to be added including the enclosing walls, steps and ramps for the SW area and the adjacent building entry. The NE area needs much further development.



Streetscape Amenities

Amenities include (see Landscape Plan):

- Benches—steel benches are shown
 - Three benches are located at the front of Wall Street Place East and another two in the small park to its east leading to Commercial Street.
 - Benches are also be located along the front of Wall Street Place North on Isaacs Street NE and SE.
- Tables and Chairs—while none are specified, these may be more appropriately supplied by future tenants and subject to approval at that time.
- Trees are specified as 3 1/2" to 4 1/2" Acer Rubrum along Wall Street and in front of Wall Street Place East, and Fraxinus Nigra along Isaacs Street.
 - Acer Rubrum (Red Maple) has a shallow, flattened root system that may buckle nearby sidewalks or driveways if planted too close. It would be inappropriate for planting adjacent to sidewalks.
 - Fraxinus Nigra (Black Ash) is subject to infestation by the emerald leaf borer which leads to its death; it is not a good choice for longevity.
 - Street tree species is to be reviewed by the Tree Warden

- Street Lights—are city standard Roadway lights with a 20' pole.
 - Lights are generally well spaced but with notable exceptions of gaps in the pole spacing at the corner of Wall and Isaacs, and at the vehicular entries to both buildings on Isaacs, SE, likely to lead to dark spots exactly where brightness is desired for pedestrian safety and comfort.
 - It is the recommendation of this Report that lights be a mixture of City Standard Pedestrian lights on Isaacs Street (consistent with the type established for use in previous Urban Renewal projects) and a new hybrid Roadway light. (see Lighting, below).
- Awnings are provided both above the building entrance and over commercial space windows. On the latter, they are used as locations for store signage.
- Garbage Receptacles have been provided.
- Bike Racks have been provided.
- Public Art—no public art is shown.
- Wayfinding Signage is not part of this submission. If required it can be submitted and approved at a later stage of the project.

Landscaping

- Building Landscaping
 - Wall Street Place North includes plantings at the southeast entry.
 - Screening planting has been provided along its east and south facades of Wall Street Place East.
- Streetscape Plantings
 - Streetscape plantings consist of street trees in planting wells.
- Landscape Buffers and Decorative Fences
 - A decorative fence is proposed to enclose the parklet area above the retaining wall to the east and south-east of WSP East.



Wall Street Place East from Commercial street showing parklet and evergreen garage screenings.

E. Open Spaces and Parklets

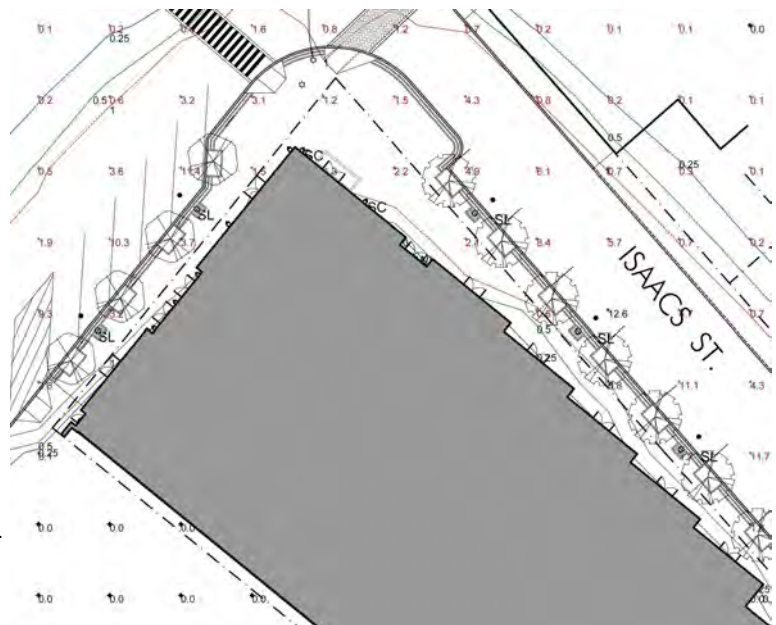
- A parklet is included to the east and southeast of Wall Street Place East.

F. Lighting

- Initially, lighting levels have been provided for two lighting options, one using all 12' pole Pedestrian light fixtures, the other using all 20' pole Roadway light fixtures.
- With the Pedestrian fixtures, the sidewalk light levels are appropriate in the 2 F.C. range.
- With the Roadway fixtures, sidewalk light levels are significantly less than 2.0 F.C. and in numerous places dip to less than 0.5 F.C. These are unsafe lighting levels.
- The December 22 Submission had a revised photometric plan based on the previous Roadway light fixture plan. While this included building mounted fixtures, the type and location of most of these fixtures, whatever they may be contributing to the illumination of the building itself, would be unlikely to contribute significantly to the sidewalk lighting. It appears that the light levels projected may not be consistent with the previous Roadway projections.
- None-the-less, it is apparent that this project should be consistent in its sidewalk lighting with all previous projects approved under Peer Review in the use of Pedestrian scale light fixtures. It is the recommendation of this Report that



Light Levels at Wall & Isaacs using Pedestrian Light Pole Fixture



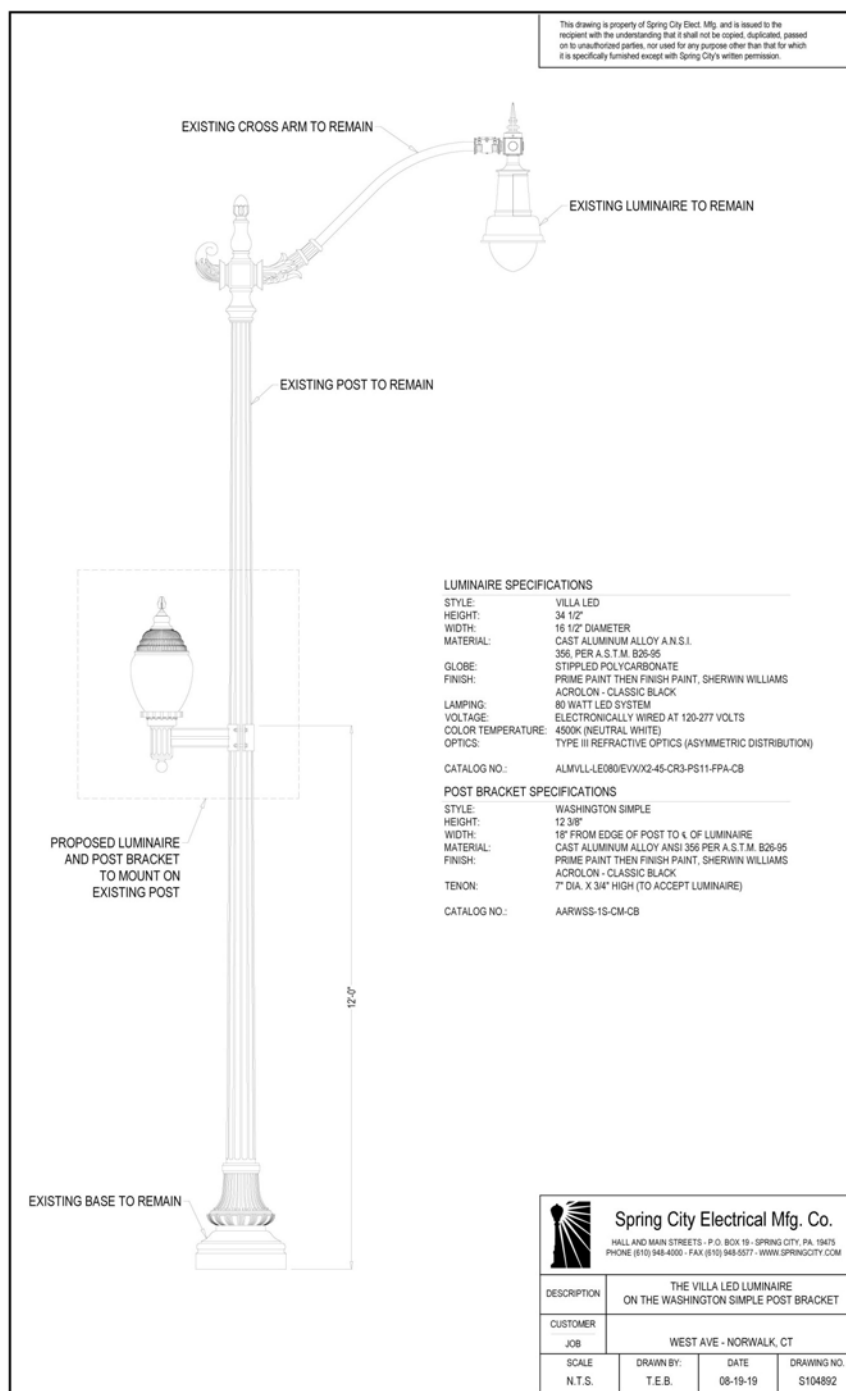
Light Levels at Wall & Isaacs using Roadway Light Pole Fixture

the Pedestrian light fixtures be used along both legs of Isaacs Street. For Wall Street a combination fixture is more appropriate combining a Roadway height and type fixture with a Pedestrian height and type fixture. As part of this Report, we have contacted the City's designated street lighting fixture manufacturer, Spring City Electrical Manufacturing Company, who propose the fixture illustrated to the right, composed of their standard components, for consideration for use by the City on this and other projects.

- Light levels may be insufficient for the intersection of Wall and Isaacs, the area along parking entry and loading dock on Isaacs SE and the south entry to Wall Street Place North. Further study of fixture locations for these area should be done.

G. Signage

- Building signage is specified as cast metal, pin mounted letters 8" to 24" high. Size is called out for each location.
- Tenant signage is incorporated into awning design. Particulars of this signage are appropriately dealt with by submittals later in the project.



Building/Architectural Design

A. Building Massing

- Wall Street Place North
 - As noted under Zoning (above) Wall Street Place North was previously approved on February 11, 2016, and, as such is compliant under current Zoning 118-504 C (14). We make note here of several aspects of the project that, while not required to comply with post Approval standards, do address the spirit of those standards.
- Wall Street Place East is a new building without previous approval and must comply with all standards.

Breaking up Building Mass

- Wall Street Place North
 - As stated before under Zoning, the building varies the its perceived roof height by limiting its portions of 6 story height to Isaacs Street SE and a portion of Isaacs Street NE. From West Street, it can be expected that no portion of the 6 story height will be visible from ground level.

On Isaacs SE, the perceived height is further reduced by the inclusion of a roof deck which limits a portion of the 6 story height to areas not visible from ground level, effectively making the Isaacs SE façade appear as two 6 story corner blocks with an intervening 5 story connecting bar.

The following page, repeated from the Zoning section, shows this analysis for the Isaacs Street facades.

- Building mass is broken up into a corner block at West and Isaacs, a serrated set of stepped building elements along Isaacs NE culminating in a 6 story corner block returning on Isaacs SE. As noted above, Isaacs SE consists of this corner block, an intervening link perceived to be 5 stories, and a terminal block which contains the building's secondary entry.
- Material choices reinforce this mass articulation with brick being the primary material for the corner elements, and stone like masonry accented with composite panels for the intervening elements.



Wall Street Place North from the corner of Wall and Isaacs Streets

Comparative Building Elevations Isaacs Street Current Application and 2016 Design

68% of Elevation is 5 story, conforming to present regulations



The proposed elevation is unchanged as to height in comparison to the previously approved 2016 elevation.

30% of Elevation appears as 5 story from street



The proposed elevation is unchanged as to height in comparison to the previously approved 2016 elevation.

- Wall Street Place East
 - As a new building not covered under the February 11, 2016, approval, WSP East must comply with all Design Guidelines.
 - WSP East is a 4 story building. Its upper profile is varied by the alternating recessed residential bays on the upper two stories.
 - WSP East is constrained by its basic organizational diagram of 2 stories of residences above a 2 story parking garage. A parking garage, as a building type, is highly inflexible in terms of plan variations—it is not susceptible to successful plan modulation.
 - The project's exterior design has been modified to extend the brick of the projecting residential bays down over a portion of the garage establishing a more visually pleasing proportion of base to top.



Wall Street Place East from Isaacs Street SE

Required Building Step Back

- Wall Street Place North
 - Under its previous approval, WSP North is not required to step back.
- Wall Street Place East
 - At 4 stories in height, WSP East is not required to step back.

Corner, Intersection or Gateway Articulation

- As noted above, the key corner of Wall and Isaacs is articulated as a distinct and prominent brick box. This coupled with the vertical building signage at the corner facing east on Wall, provides for a suitable entry element for the project.



Strengthen the Prominence of Building Entry

While strengthening the prominence of the building entrance is not specifically mentioned as a goal within the Wall / West neighborhood, it is specifically called out in other design guidelines and is an important component of a good design. It is the position of this Report that this goal is equally important in Wall / West.

- Wall Street Place North
 - The Wall Street main building entry consists of two 8'-6" wide glazed openings of paired doors and sidelights with a large upper transom and capped with a projecting canopy. This entry is important to feature both as the main building entry and as the Entry to the public through-block arcade which is providing an Amenity FAR Bonus for the building.
 - Southwest Entry is developed with a sequence of steps, landings and planters with a sufficient level of glazing surrounding the entry to communicate its function as a major building entry.

Sustainable Design

There is no mention of sustainable design features in the project.



Wall Street Place North Main Entry



Wall street Place North Southwest Entry

B. Rooflines

Variation of Massing

- Wall Street Place North
 - As noted above, WSP North is articulated to appear as a series of side-by-side buildings.
- Wall Street Place East
 - Because of its garage base, WSP East has less of an opportunity to be subdivided as if it were separate buildings.

Roof Forms

- Wall Street Place North
 - The assessment of compliance with this requirement needs to be predicated on the fact that this building has “flat” roofs with parapets. Within this context, as can be seen on the right, the 6th story is typically differentiated visually to approximate a mansard roof even though the exterior is, in fact a vertical wall. Clad with fish scale metal shingles, these elements will differentiate themselves from the stories below with their rich texture.
 - The Wall-Isaacs block is distinguished by a strong projecting cornice.
- Wall Street Place East
 - WSP East also has a flat roof. Building elevations are topped by a projecting cornice. The two stair towers feature mansard roofs.



Wall Street Place Northj typical bays on Isaacs Street



Wall Street Place East as viewed from the northwest

Base, Middle and Top Differentiation

As seen from these illustrations, both buildings are subdivided into a base, middle and top.

C. Building Facades

Design Broken into Horizontal and Vertical Rhythmic Parts

- Both buildings are divided into a base, a middle and a top. The middle is further articulated by vertical window columns aligned horizontally by floor. With these, this requirement is met.

Window Scale

- Windows have been subdivided by mullions to provide a human scale to these elements. For the Wall-Isaacs block, windows are 4 over 1 double hung sash with 10 pane sliders at the balconies. For the remainder of the project, casements are divided into two lites with sliders undivided.



Ground Floor Street Façade at least 75% Transparent

- The Applicant has provided a drawing analyzing the Transparency of the West Avenue portion of their storefront, representative of commercial spaces in their building.
- The Design Guidelines provide a diagram of a façade and a standard that their shall be a “Minimum 75% transparent surface at ground floor”. This standard raises several questions:

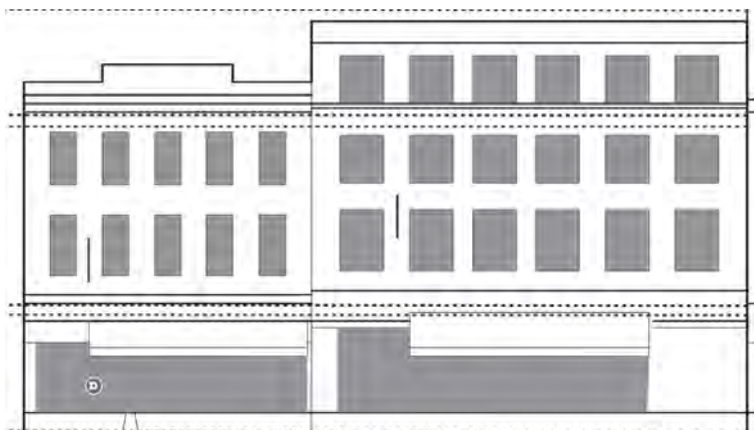


$$74' \text{ storefront} \\ 74 / 94.83 = 78.03\% \text{ OPEN}$$

1. Does this standard pertain to all street frontages or only commercial street frontages. While commercial space is desirable, it does not appear that there is a regulatory requirement that all ground floor streetfront space be commercial. It is the recommendation of this Report that only commercial space be held to the 75% rule.
2. Does this requirement specify that every element of storefront *individually* conform to the 75% requirement or can one aggregate all the storefront into one unit that in total meets the requirement. It is the Recommendation of this Report that aggregation is an acceptable approach to compliance.
3. The Guidelines diagram shows first floor areas as representative of the transparency desired. Of note, the transparency shown (approximately 80% aggregate over the

two buildings) privileges the transparency over the continuation of the solid-void window pattern above down to the street level.

It is worth referring to historical building examples in determining what the Guidelines intend. The two examples shown here date from the turn of the 20th century and show that storefront openness was more valued than the continuation of masonry piers down to sidewalk level. It is the recommendation of this Report that openness be given priority over the continuation of solid elements down to the sidewalk.



4. Do the Guidelines require that the Transparent portion count everything between the masonry piers as “transparent” (including window and door frames and mullions) or does transparent only refer to those elements that actually can be seen through? Here are a couple of test cases that explore the limits of the looser definition:
 - a. If “transparent” was defined as distinct from “being able to see through”, would frosted glass count as transparent? Would an opaque panel count? Would painted plywood count?
 - b. If transparent included window and door frames and mullions, would an opening whose width was 50% frames and mullions count as transparent? 25%? 10%?

It is the recommendation of this Report that only items that can actually be seen through undistorted be considered transparent.

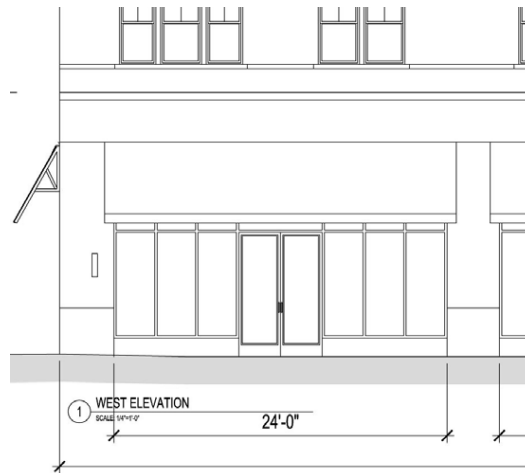


- Refocusing on the particulars of the Wall Street Place design, a representative commercial bay consists of a 24' opening between approximately 5' piers. For a rough approximation of transparency one might say counting the opening as fully transparent would yield 24' Transparent out of 29' of streetfront = 83% transparent (end piers and other elements would reduce this as the applicant has calculated). Within the 24' opening, there are:
 - (2) outer frame members @ 2" = 4"
 - (4) intermediate vertical mullions @ 2" = 4"
 - (2) door jambs @ 2" = 4"
 - (2) door leafs each with (2) 2 1/2" stiles = 10"
 - For a total of 24" of verticals or 2'-0"
 - The actual bay is then 24' - 2' or 22' Transparent out of 29' or 76% transparent. Again, this would be reduced as the Applicant shows by more opaque elements in other bays.

The amount of vertical mullions and doors in the Applicant's proposal are not an issue in this proposal in respect to the calculation of transparency. However, this is an issue that could come up in some future project and the Commission should be aware of it.

- As a separate issue, historical storefront typically has very wide glass panes for show windows (much wider than upper story windows) as shown in the examples on preceding pages and to the right and below. The appropriateness of these large windows is also shown by the example from the Applicants Material Board showing a large show window storefront.

The Applicant has provided and alternate a design of the project's show windows with significantly wider window panes for Commission consideration. It is the recommendation of this Report that this alternative with larger show windows be accepted.



Typical historic storefront with large show windows



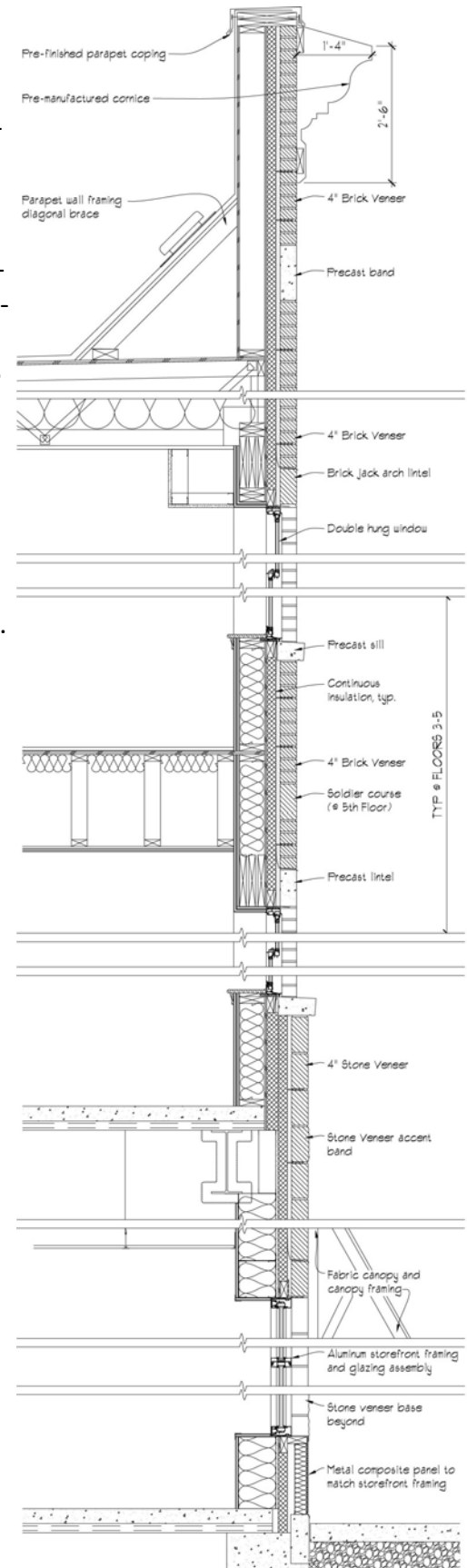
Storefront with large show windows from Applicants Material Board



Wall Street Façade with large show windows

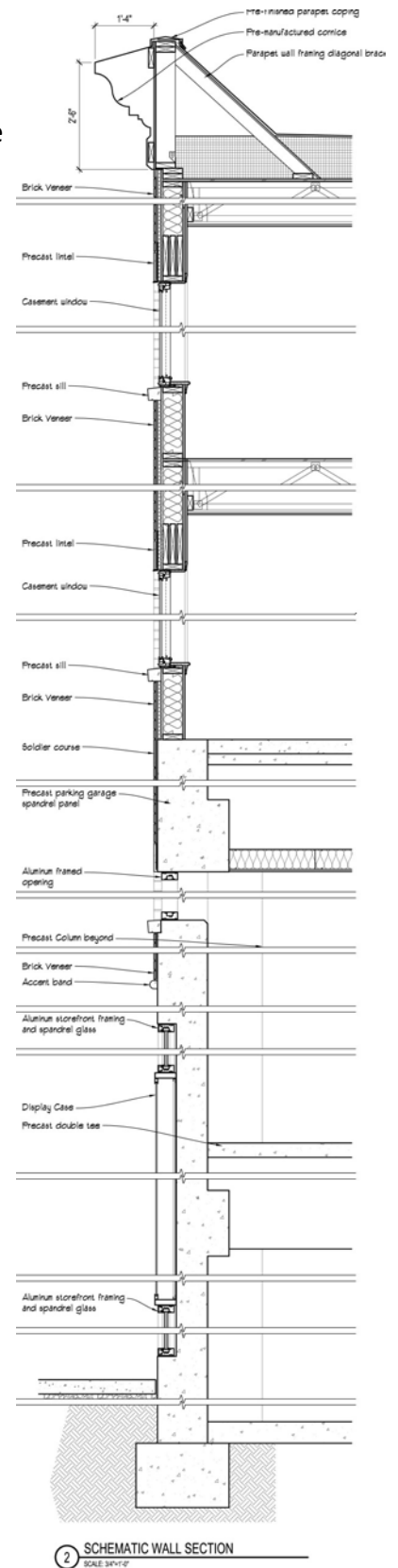
Render with Texture and Depth

- Wall Street Place North
 - The building is proposed to be clad in full 4" nominal depth cast stone on the 1st floor with 4" nom. brick on the stories above as shown in the wall section to the right. These materials are considered to be of appropriate quality for a building under these regulations. The 4" base veneer is particularly important as, historically, this type of construction is recognized as durable and appropriate for long-term low maintenance use in an urban environment. Elevations and the material board show a rusticated base within the 1st floor with smooth units above.
 - An extruded aluminum storefront window system with a powdercoat finish is proposed for the first floor with fiberglass windows for the upper floors.
 - The storefront wall section specifies a base panel which is not present in any elevations. This discrepancy needs to be reconciled. There should be at least a 12" masonry base course at the storefront to provide long term durability.
 - The windows shown in the wall sections are either double hung or casements, depending on the portion of the building cut. Individual windows have cast stone sills and lintels (generically referred to in the section as "precast") and a similar material stringcourse along with a brick stringcourse. There are brick jack arches over 5th floor windows.
 - A premanufactured cornice of unspecified material crowns the wall.
 - Both storefront and unit windows are recessed from the building façade plane by about 3". This, along with the projecting lintels and cornice provide a rendering in depth as required by the Guidelines.



Wall Section WSP North

- Wall Street Place East
 - The building is composed primarily of a cast in place concrete walled parking garage for its first two stories. Building elevations describe this surface as “textured”, by there is no explanation of what this is intended to be. A slightly projecting accent band is present on the Isaacs Street facade but not on other facades.
 - Above the concrete podium is thin brick veneered stud-wall with double hung windows, lintels and sills in the same vocabulary as WSP North. At certain locations the thin brick also covers a portion of the upper story of the parking garage as shown in the building elevations. Because thin brick is used, the windows are only recessed about 1”.
 - Capping the wall is a well proportioned and profiled pre-fabricated cornice of unspecified material.



Wall Section WSP East

would be responsible to install a two new manhole's and I do believe they would not fit in the Issacs Street roadway with all the other utilities ..." (emphasis added)

The two key clauses here are:

1. The owner (Applicant) would be responsible for the cost.
2. A belief (but not an absolute technical verification) that manholes would not fit somewhere in reasonable vicinity of 61 Wall.

It is the concern of this Report that the decision to place transformers above ground was not made on the grounds of demonstrated physical necessity and importantly, quite possibly no one in the decision making process was vigorously advocating for the primary objective of the Neighborhood Plan to have pedestrian friendly unobstructed sidewalks. Without an advocate for the objectives of the Neighborhood Plan in the decision making process, decisions on items such as transformers will always revert to the easiest solution of surface mounting; this is not the best solution from the perspective of the Neighborhood Plan.

It is recommendation of the Report that further discussions and investigations be made as to whether the transformers can be placed underground, and that the interests of the Neighborhood Plan be represented in these investigations by professionals independent of the project's design team and of the utility provider.

- No meter banks or other mechanical or utility apparatus is shown on the building exterior.

D. Historic Structures

This requirement is not applicable to the proposed project.

E. Sustainability / Green Design

There is no mention of Sustainability or Green Design in the Application.

It should be noted, however, that the inherent siting of this project within an urban environment, reuse of previously developed urban land, location of the project within easy pedestrian access to transit and to daily shopping functions, and more intense development of urban land, all are considered sustainable design strategies under the LEED (Leadership in Energy and Environmental Design) program, one well recognized standard for assessing sustainable design.

Recommendations Summary

Wall Street Place meets the major requirements of both Zoning and the Redevelopment Plan Guidelines as reviewed for this Report.

We therefore recommend this project's approval.

The following are items that have been noted as needing further clarification or revision and possible Commission and Agency approval when appropriate in the project's design process:

1. Provide details are provided for the crosswalks. Crosswalks are required to be differentiated with variations in paving materials. (see Design Guidelines, Site Design Specifications, B Site Access, Parking and Loading)
2. Details of the seating and entry areas along Isaacs SE need to be added including the enclosing walls, steps and ramps for the SW area and the adjacent building entry. The level of detail to be provided is to be consistent with that provide for site details in he Civil engineering submission and the wall sections previously submitted.
3. Street tree species is to be reviewed by the Tree Warden. (see Design Guidelines, Site Design Specifications, D Sidewalks, etc., Streetscape Amenities)
4. To conform to the pedestrian oriented standards set for the Urban Renewal Area and to provide adequate sidewalk illumination, provide City Standard Pedestrian light poles along Isaacs Street and a hybrid Roadway/Pedestrian light poles along Wall Street. (see Design Guidelines, Site Design Specifications, F Lighting)
5. That the design proceed with the larger show windows as discussed in (see Design Guidelines, Building Architectural Design, C. Building Facades, Ground Floor Transparency)
6. Provide the following: (see Design Guidelines, Building Architectural Design, C. Building Facades, Render with Texture and Depth)
 - a. A durable masonry base at least 12' in height at storefront sections.
8. Conduct further discussions and investigations as to whether the transformers can be placed underground. Include in these discussions and investigations professionals independent of the project's design team and of the utility provider whose responsibility it is to represent interests of the Neighborhood Plan. (see Design Guidelines, Building Architectural Design, C. Building Facades, Building Utility Visibility)

The following items should be considered as possible improvements to its design:

1. It is recommended that the three curbside parking spaces at the northern end of Wall Street before the intersection of Isaacs be replaced with an extension of the sidewalk and curb to provide a drop-off and entrance for Wall Street Place North as shown to right. (see Site Design Specifications, A. Building Orientation)