



REGULAR MEETING – HARBOR MANAGEMENT COMMISSION AGENDA

MAY 28, 2025, 6:00 PM
BY ZOOM VIRTUAL MEETING

To allow public access, anyone may access a meeting by telephone and/or Zoom, or a recording in the City of Norwalk YouTube channel. Specific instructions and links can be found at norwalkct.gov/meetings.



Members of the public may call in to participate. Callers will not be able to see the meeting participants. All participants will be muted upon entering the meeting. To speak, dial *9 on the phone and you will be called on by the host of the meeting during the public comment section. All speakers must state their name and address. Comments must be on a topic on the agenda, and are limited to three minutes. Anyone disrupting the orderly conduct of the meeting, including by using threatening, hateful, or sexually-explicit language, will be removed. Please find the information using the link above.



Members of the public who wish to provide "live comments" may also use the Zoom meeting platform. All participants will be muted upon entering the meeting. To speak, click the "raise your hand indicator" and you will be called by the host of the meeting during the public comment section. All speakers must state their name and address. Comments must be on a topic on the agenda, and are limited to three minutes. Anyone disrupting the orderly conduct of the meeting, including by using threatening, hateful, or sexually-explicit language, will be removed. Please find the information using the link above.



Members of the public who wish to provide public comment are encouraged to submit those via email in advance of the meeting. For these comments to be included into the record, they must be submitted by 12:00 p.m. the day of the meeting. Please email Amelia Williams at amelia.williams@norwalkct.gov with the subject line "Public Comment" to provide written public comment prior to the meeting.

- I. **CALL TO ORDER**
- II. **ROLL CALL**
- III. **PUBLIC PARTICIPATION**
- IV. **ACCEPTANCE OF MINUTES**
 - A. **Regular Meeting: April 23, 2025**
- V. **APPLICATION REVIEW COMMITTEE**
 - A. **POCD Amendment Referral: Affordable Housing Action Plan, continued from last meeting**
 - B. **163 Gregory Blvd - Pre-Submission Consultation: Construct a residential dock**
 - C. **18 Marion Ave - Pre-Submission Consultation: Construct a residential dock**

- D. 18 Marion Ave - [CAM Referral](#): Construct a new single family residence with associated site improvements on a vacant lot adjacent to Norwalk Harbor
- E. [King Industries, Inc.](#) - Renew a National Pollutant Discharge Elimination System Permit
- F. Canfield Island Bridge - COP: Repairs to the existing bridge to Canfield Island
- G. 22 Harbor View Ave - [CAM Referral](#): Raise an existing single family residence to be FEMA flood compliant adjacent to the Norwalk Harbor
- H. 66 Calf Pasture Beach Rd - Pre-Submission Consultation: Replace deteriorated Cove Ascension bulkhead and seawalls with steel bulkhead and new breakwater
- I. 9 Nylked Ter - COP: Retain repairs to the lower seawall
- J. 48 Calf Pasture Beach Rd - COP: repairs to an existing steel sheet pile bulkhead
- K. 86 Bluff Ave - COP: Rebuild dock and shoreline retaining wall
- L. Text Amendment Referral - Zoning Regulation Text Amendment #2025-35 R to Articles 4, 6, and 9

VI. **REPORTS**

- A. Chairperson
- B. Shellfish Commission
- C. Staff
 - 1. Harbor Master
 - 2. Consultant
- D. Committee
 - 1. Mooring and Harbor Safety
 - 2. Finance
 - 3. Plans and Recommendations
 - 4. Newsletter/Website
 - 5. Water Quality

VII. **ADJOURNMENT**



LWRD License Application Pre-Submission Consultation Form Harbor Management Commission

You need to complete and submit this form only if your town has a [Harbor Management Commission](#).

To the applicant- Prior to the submission of your license application to the Connecticut Department of Energy and Environmental Protection (DEEP) Land & Water Resources Division (LWRD), please complete Part I, below, and submit this form to your local harbor management commission (contact the town for the appropriate contact person) with a location map of your site and project plans. Once the commission returns the completed form to you, please submit it along with your license application to DEEP.

Part I: To be completed by APPLICANT

1. Applicant/Registrant Information

Name: Peter Cotaling

Mailing Address: 163 Gregory Blvd

City/Town: Norwalk

State: CT Zip Code: 06855

Business Phone: _____

Ext.: _____

Contact Person: _____

Title: _____

Business Phone: _____

Ext.: _____

E-mail: _____

2. Engineer/Surveyor/Agent Information (list as applicable)

Name: LandTech

Title: _____

Mailing Address: 518 Riverside Ave

City/Town: Westport

State: CT Zip Code: 06880

Business Phone: _____

Ext.: _____

Contact Person: Thomas Ryder

Title: Senior Biologist

Business Phone: 203-454-2110

Ext.: 120

E-mail: tryder@landtechconsult.com

Service Provided: Site plan and application preparation

3. Site Location:

Name of Site : 163 Gregory Blvd

Street Address: 163 Gregory Blvd

City/Town: Norwalk

State: CT Zip Code: 06855

Tax Assessor's Reference: Map 3

Block 75 Lot 35

Name of Waterbody: Charles Creek

4. Confirm location map and site plans are attached.

Date of plans: 1/8/25

5. Provide or attach a brief, but thorough description of the project.

The project is to construct a residential dock consisting of a 16 foot long by 4 foot wide fixed pier supported by 4 piles, a 36.5 foot long by 3 foot wide ramp and 20 foot long by 5 foot wide float with a 6 foot by 5 foot landing supported by two piles. The dock provides water access to Charles Creek.

Part II: To be completed by HARBOR MANAGEMENT COMMISSION

This consultation form is required to be submitted as part of an application for a Structures, Dredging & Fill license (Connecticut General Statutes (CGS) Section 22a-361) and/or Tidal Wetlands license (CGS Section 22a-32) to DEEP LWRD. The application has not yet been submitted to DEEP. Please review the enclosed materials and determine whether the project is consistent or inconsistent with your local Harbor Management Plan. You may also provide comments or recommendations regarding the proposal. The Harbor Management Commission may still provide written comments to the Commissioner during DEEP's public notice comment period. Should you have any questions regarding this process, please call LWRD at 860-424-3019. **Please return the completed form to the applicant within 60 days of receipt or consistency will be assumed. Do not send a copy of the form directly to DEEP as it is difficult to track without an application number.**

HARBOR MANAGEMENT COMMISSION DETERMINATION:

Check one of the following:

- The Commission has determined that the work as described in Part I of this form and attachments is **CONSISTENT** with the Harbor Management Plan.
- The Commission has determined that the work as described in Part I of this form and attachments is **INCONSISTENT** with the following section of the Harbor Management Plan: _____

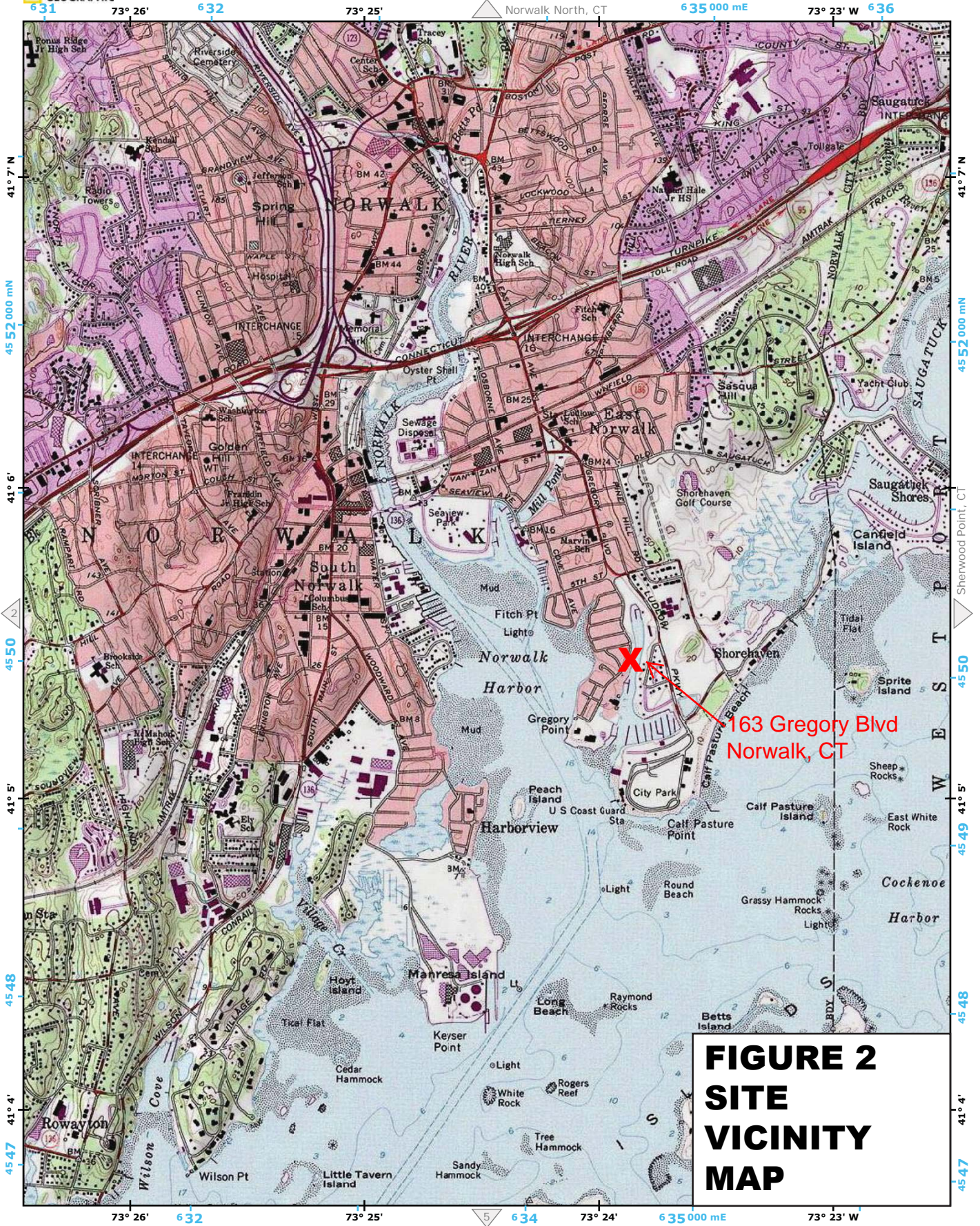
COMMENTS/RECOMMENDATIONS (or check here if attached:):

Signature of Commission Representative

Date

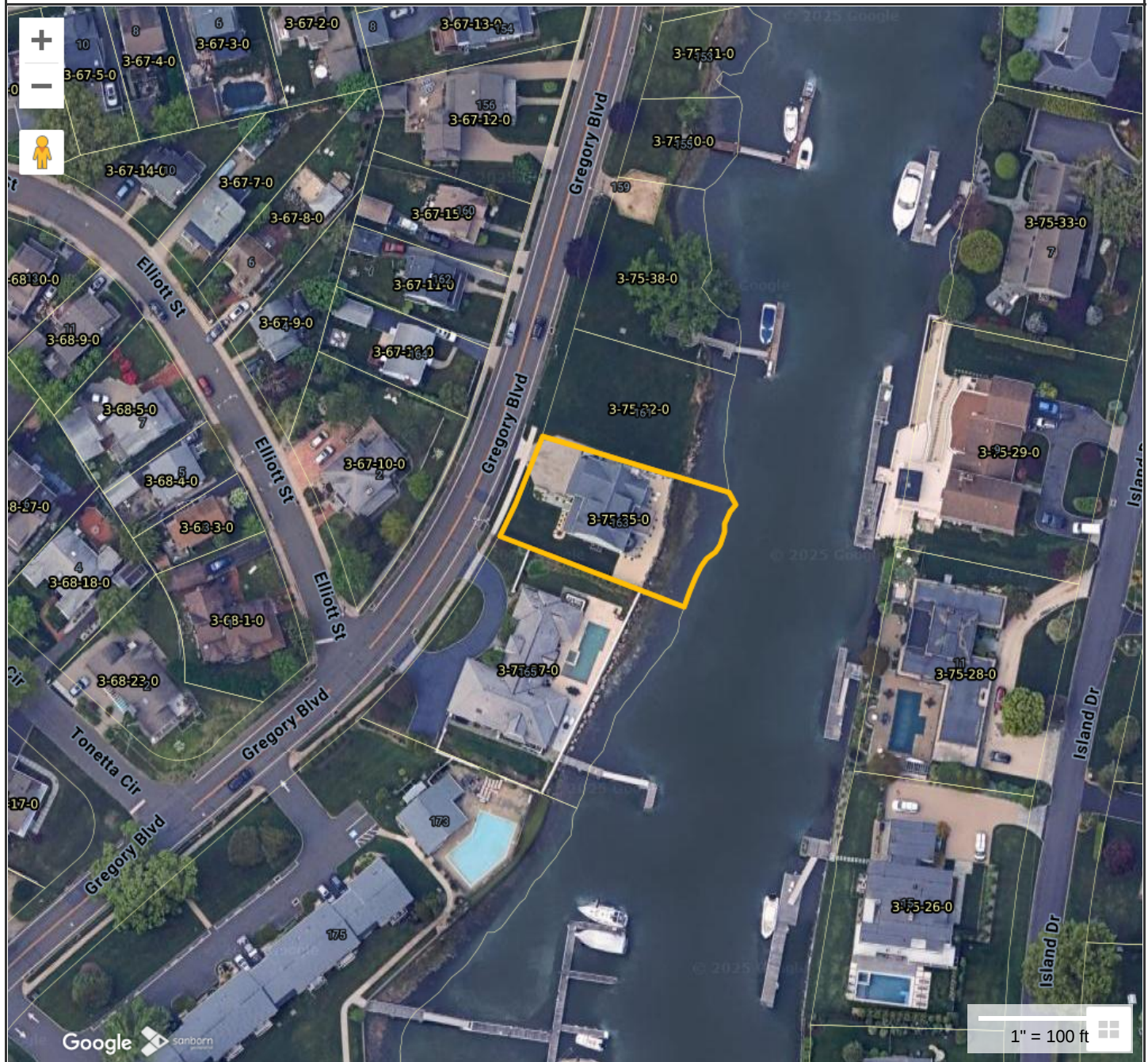
Print Name of Commission Representative

Title



**FIGURE 2
SITE
VICINITY
MAP**

163 GREGORY BOULEVARD, NORWALK, CT



Norwalk Information

ID	103-3-75-35-0
Site Address	163 GREGORY BLVD
Owner	COTALING PETER
Co-Owner	
Owner Address	163 GREGORY BLVD



MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT

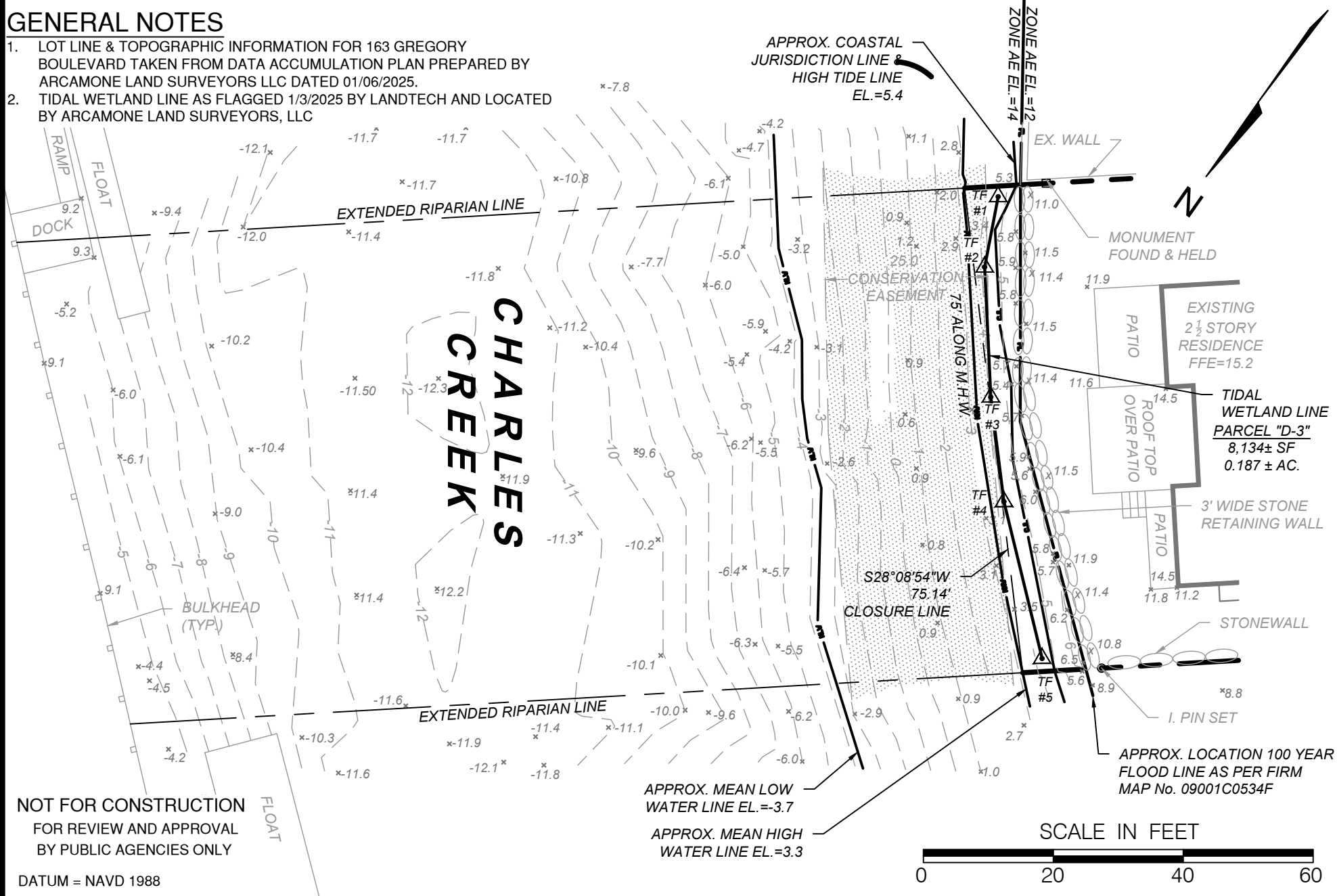
Regional Map Viewer makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.

FIGURE 2 ASSESSORS MAP

GENERAL NOTES

1. LOT LINE & TOPOGRAPHIC INFORMATION FOR 163 GREGORY BOULEVARD TAKEN FROM DATA ACCUMULATION PLAN PREPARED BY ARCAMONE LAND SURVEYORS LLC DATED 01/06/2025.
2. TIDAL WETLAND LINE AS FLAGGED 1/3/2025 BY LANDTECH AND LOCATED BY ARCAMONE LAND SURVEYORS, LLC



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DATUM = NAVD 1988

FIG-3

SCALE 1" = 20'	DATE 11/22/2025
DESIGNED BY SM	TITLE TN
PROJECT NO. 25000-01	

PREPARED FOR: PETER COTALING
PROJECT LOCATION: 163 GREGORY BOULEVARD NORWALK, CT
TITLE: PROPOSED IMPROVEMENTS FOR A NEW DOCK EXISTING CONDITIONS

LANDTECH

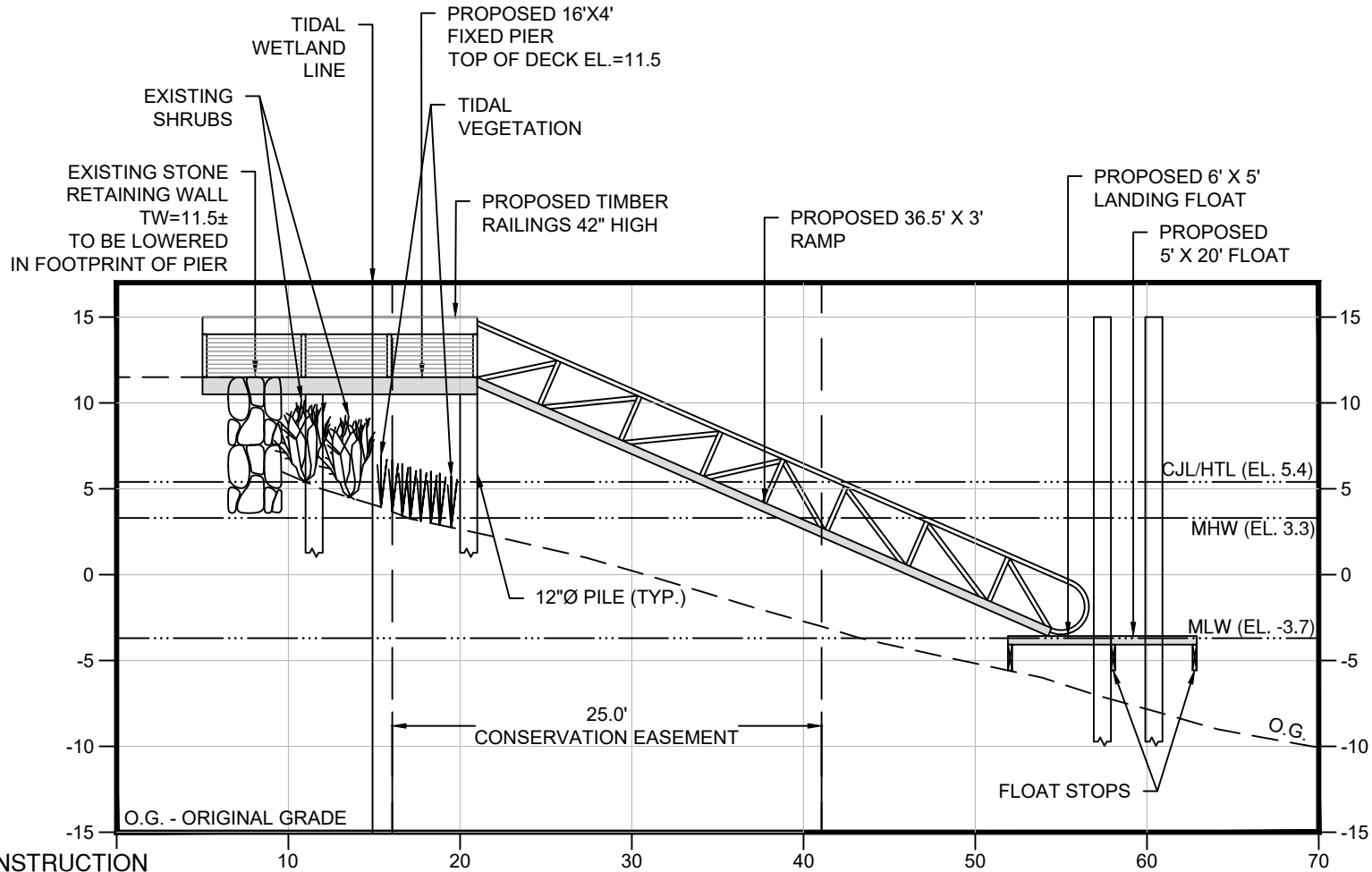
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REVISION DATE	ISSUE

GENERAL NOTES

1. LOT LINE & TOPOGRAPHIC INFORMATION FOR 163 GREGORY BOULEVARD TAKEN FROM DATA ACCUMULATION PLAN PREPARED BY ARCAMONE LAND SURVEYORS LLC DATED 01/06/2025.
2. TIDAL WETLAND LINE AS FLAGGED 1/3/2025 BY LANDTECH AND LOCATED BY ARCAMONE LAND SURVEYORS, LLC



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SECTION A-A
SCALE: 1" = 10'

SCALE IN FEET



DATUM = NAVD 1988

FIG-5

SCALE AS SHOWN S.M.	DATE 1/19/2025
DATE 1/19/2025	DATE 1/19/2025
DATE 1/19/2025	DATE 1/19/2025

PREPARED FOR: PETER COTALING
PROJECT LOCATION: 163 GREGORY BOULEVARD NORWALK, CT
TITLE: PROPOSED IMPROVEMENTS FOR A NEW DOCK SECTION A-A

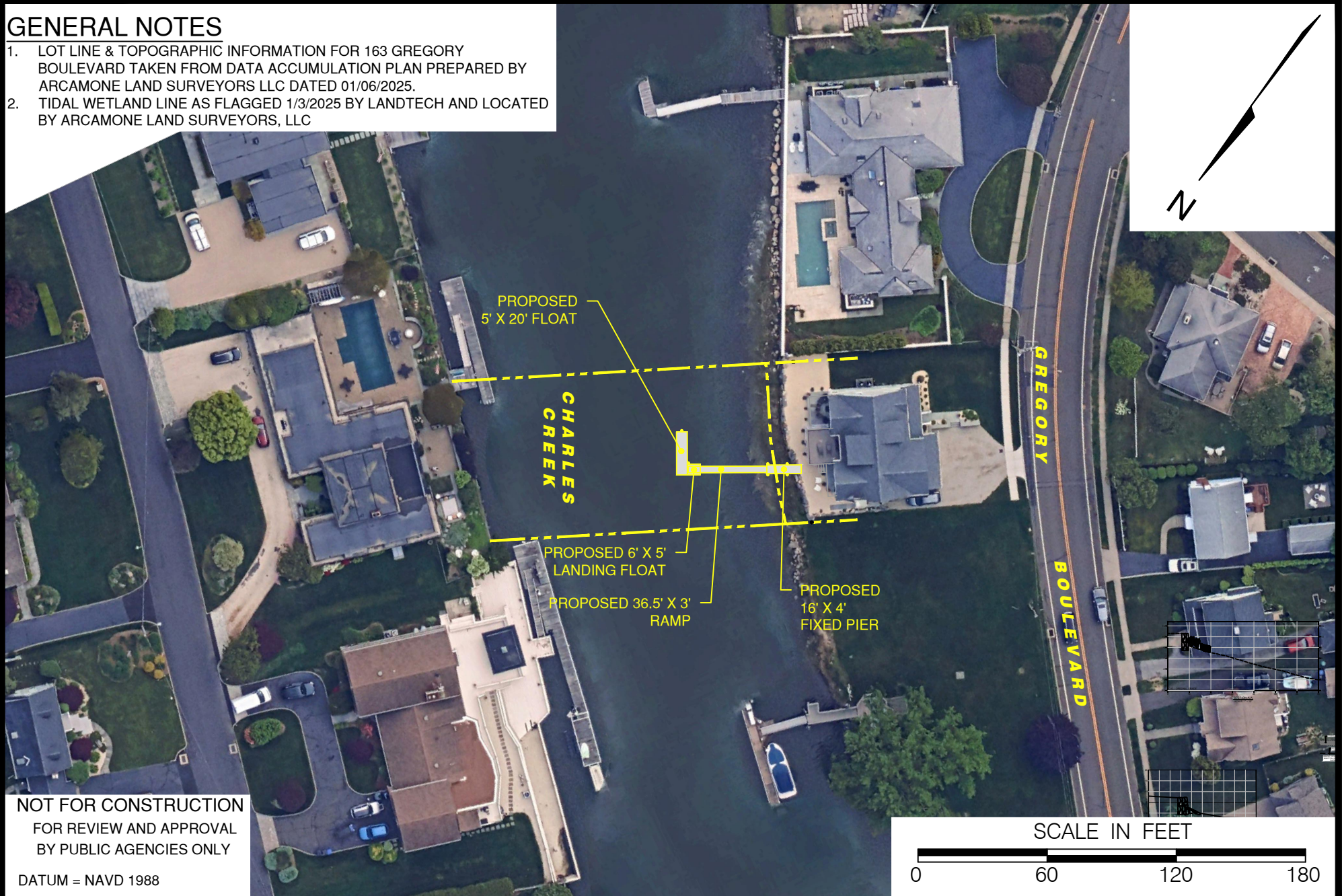
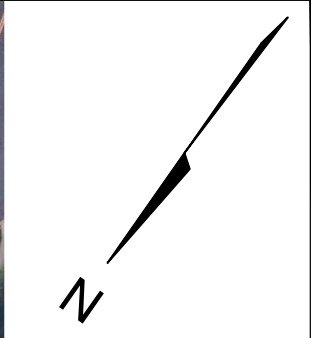
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2. TIDAL WETLAND LINE AS FLAGGED 1/3/2025 BY LANDTECH AND LOCATED BY ARCAMONE LAND SURVEYORS, LLC



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DATUM = NAVD 1988



FIG-6

SCALE 1" = 60'	DATE 11/19/2025
BY SM	TR TL
PROJECT NO. 25000-01	

PREPARED FOR: PETER COTALING
PROJECT LOCATION: 163 GREGORY BOULEVARD NORWALK, CT
TITLE: PROPOSED IMPROVEMENTS FOR A NEW DOCK AERIAL VIEW

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REVISION DATE	ISSUE

T:\1 - ACTIVE PROJECTS\25000-01 COTALING - 163 GREGORY BLVD., NORWALK\DRAWINGS\163 GREGORY BLVD. - DOCK FIGURES.DWG



LWRD License Application Pre-Submission Consultation Form Harbor Management Commission

You need to complete and submit this form only if your town has a [Harbor Management Commission](#).

To the applicant- Prior to the submission of your license application to the Connecticut Department of Energy and Environmental Protection (DEEP) Land & Water Resources Division (LWRD), please complete Part I, below, and submit this form to your local harbor management commission (contact the town for the appropriate contact person) with a location map of your site and project plans. Once the commission returns the completed form to you, please submit it along with your license application to DEEP.

Part I: To be completed by APPLICANT

1. Applicant/Registrant Information

Name: Mario Lopez, Jay Greco and Thomas Wormser

Mailing Address: ML Builders, PO Box 547

City/Town: New Canaan

State: CT Zip Code: 06840

Business Phone: _____

Ext.: _____

Contact Person: _____

Title: _____

Business Phone: _____

Ext.: _____

E-mail: _____

2. Engineer/Surveyor/Agent Information (list as applicable)

Name: LandTech

Title: _____

Mailing Address: 518 Riverside Ave

City/Town: Westport

State: CT Zip Code: 06880

Business Phone: _____

Ext.: _____

Contact Person: Thomas Ryder

Title: Senior Biologist

Business Phone: 203-454-2110

Ext.: 120

E-mail: tryder@landtechconsult.com

Service Provided: Site plan and application preparation

3. Site Location:

Name of Site : 18 Marion Ave

Street Address: 18 Marion Ave

City/Town: Norwalk

State: CT Zip Code: 06840

Tax Assessor's Reference: Map 3

Block 68 Lot 31

Name of Waterbody: Norwalk Harbor

4. Confirm location map and site plans are attached.

Date of plans: 12/4/24

5. Provide or attach a brief, but thorough description of the project.

The project is to construct a residential dock consisting of a 78 foot long by 4 foot wide fixed pier supported by 12 piles, a 32 foot long by 3 foot wide ramp and 17 foot long by 8 foot wide float with a 7 foot by 3 foot landing supported by four piles.

Part II: To be completed by HARBOR MANAGEMENT COMMISSION

This consultation form is required to be submitted as part of an application for a Structures, Dredging & Fill license (Connecticut General Statutes (CGS) Section 22a-361) and/or Tidal Wetlands license (CGS Section 22a-32) to DEEP LWRD. The application has not yet been submitted to DEEP. Please review the enclosed materials and determine whether the project is consistent or inconsistent with your local Harbor Management Plan. You may also provide comments or recommendations regarding the proposal. The Harbor Management Commission may still provide written comments to the Commissioner during DEEP's public notice comment period. Should you have any questions regarding this process, please call LWRD at 860-424-3019. **Please return the completed form to the applicant within 60 days of receipt or consistency will be assumed. Do not send a copy of the form directly to DEEP as it is difficult to track without an application number.**

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COMMENTS/RECOMMENDATIONS (or check here if attached:):

Signature of Commission Representative

Date

Print Name of Commission Representative

Title

Figure 1 - Site Vicinity Map

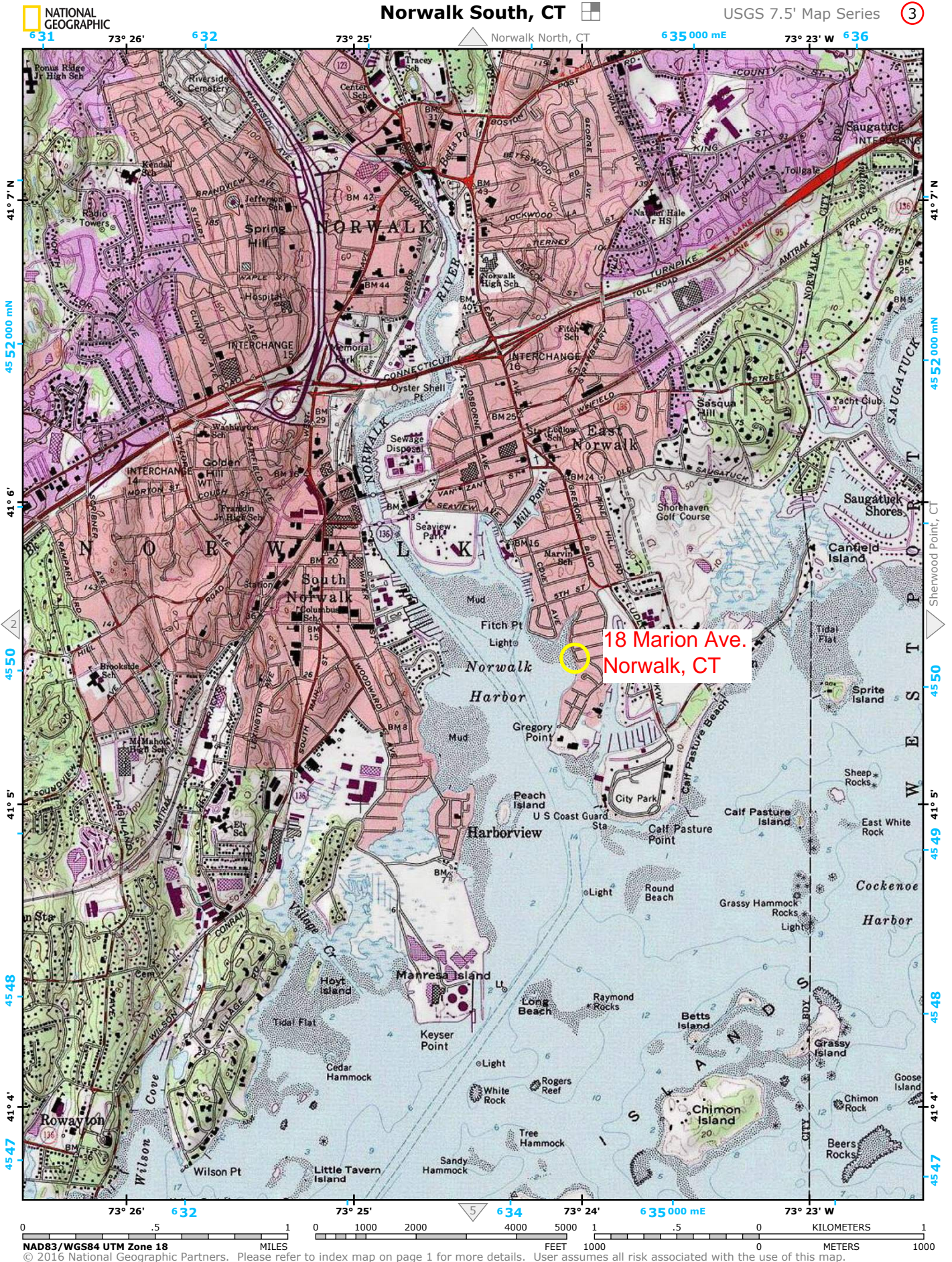
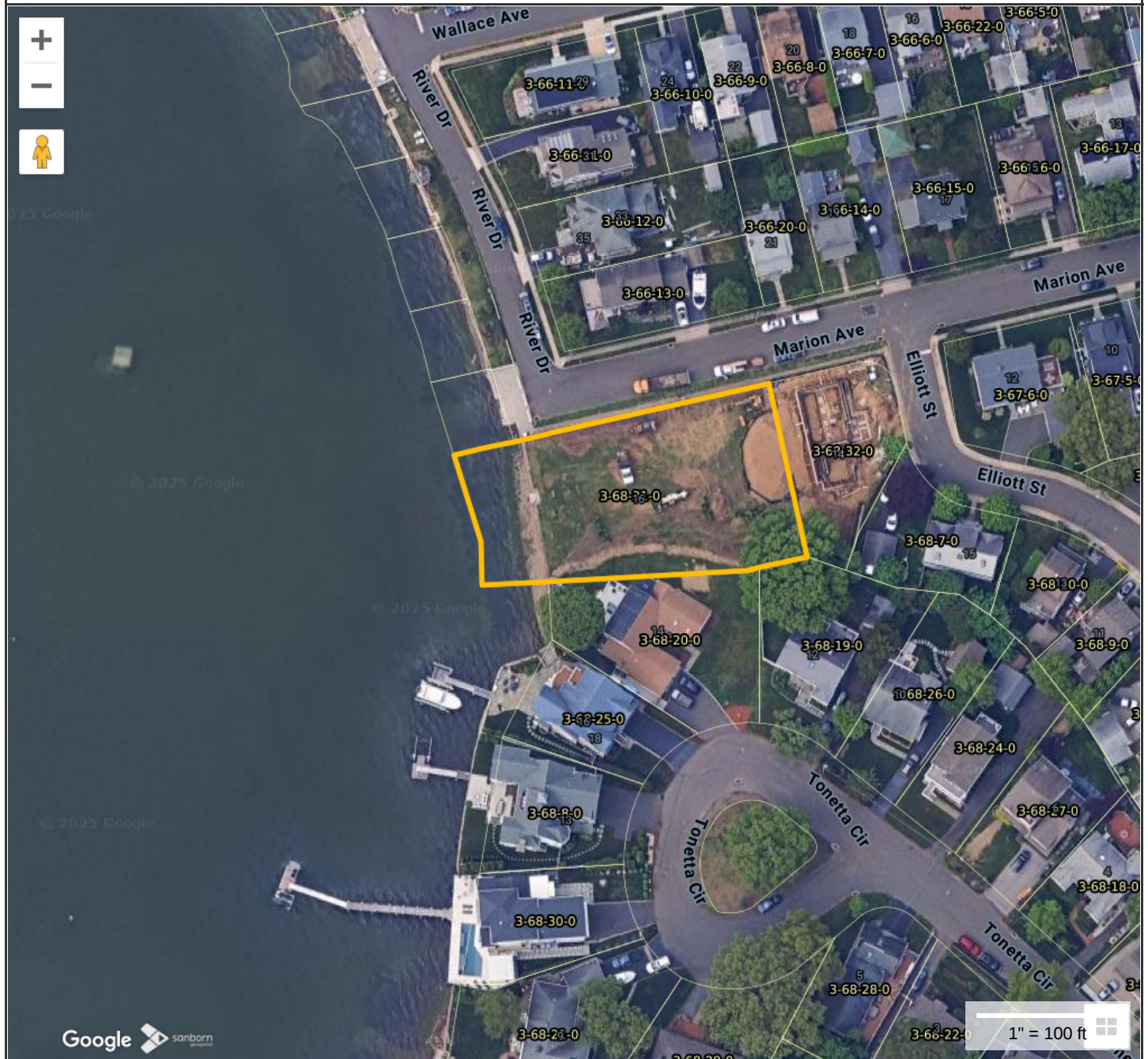


Figure 2 - Assessors Map - 18 Marion Ave. Norwalk, CT



Norwalk Information

ID	103-3-68-31-0
Site Address	16 MARION AVE
Owner	SCULLEY JOHN B
Co-Owner	-
Owner Address	21 GREENVIEW RD



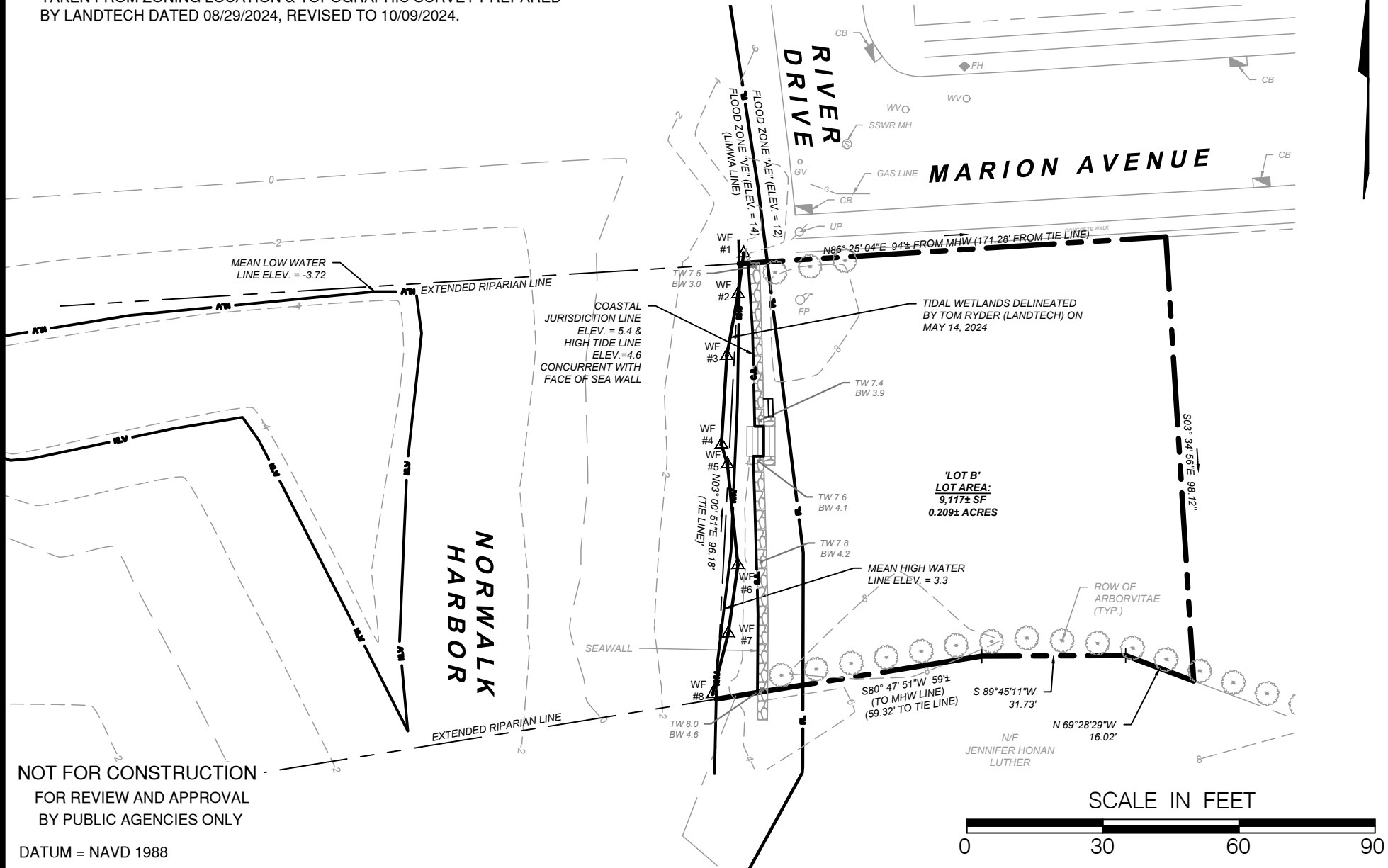
**MAP FOR REFERENCE ONLY
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Regional Map Viewer makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.

GENERAL NOTES

- LOT LINE & TOPOGRAPHIC INFORMATION FOR 18 MARION AVENUE
TAKEN FROM ZONING LOCATION & TOPOGRAPHIC SURVEY PREPARED
BY LANDTECH DATED 08/29/2024, REVISED TO 10/09/2024.



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SCALE IN FEET



T:\1- ACTIVE PROJECTS\24231-01- LOPEZ, GRECO - 18 MARION AVE., NORWALK\DRAWINGS\DOCK PLANS\18 MARION AVENUE - DOCK FIGURES.DWG

FIG-3

SCALE	DATE
1" = 30'	12/24/2024
DATE	DATE
12/24/2024	12/24/2024
DATE	DATE
12/24/2024	12/24/2024

PREPARED FOR:	MARIO LOPEZ & JAY FRECO
PROJECT LOCATION:	18 MARION AVENUE NORWALK, CT
TITLE:	PROPOSED IMPROVEMENTS FOR A NEW DOCK EXISTING CONDITIONS

LANDTECH

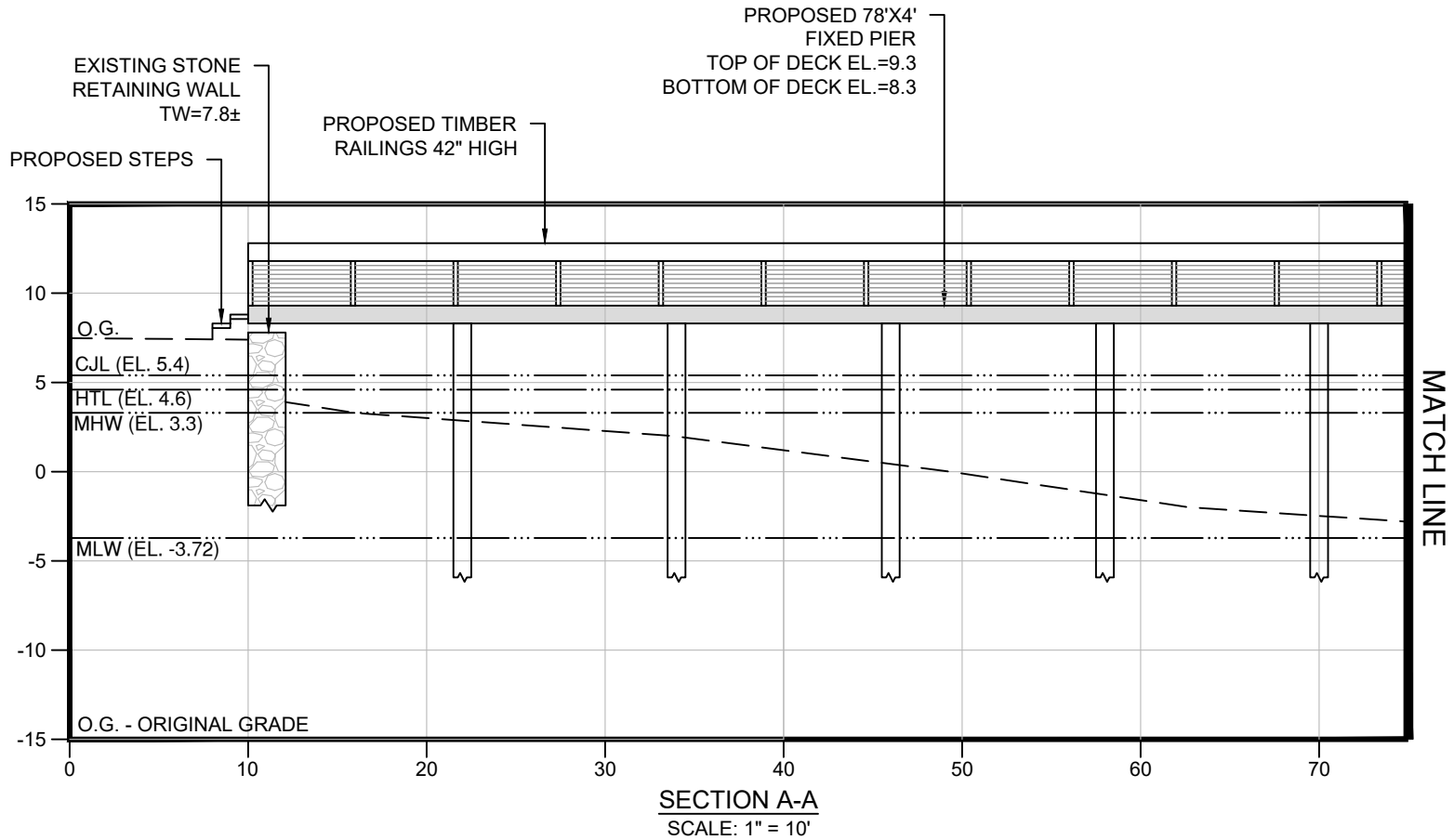
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GENERAL NOTES

- LOT LINE & TOPOGRAPHIC INFORMATION FOR 18 MARION AVENUE
TAKEN FROM ZONING LOCATION & TOPOGRAPHIC SURVEY PREPARED
BY LANDTECH DATED 08/29/2024, REVISED TO 10/09/2024.



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DATUM = NAVD 1988

SCALE IN FEET



FIG-5

SCALE	DATE
1" = 10'	12/24/2024
DATE	DATE
12/24/2024	12/24/2024
DATE	DATE
12/24/2024	12/24/2024

PREPARED FOR:	MARIO LOPEZ & JAY FRECO
PROJECT LOCATION:	18 MARION AVENUE NORWALK, CT
TITLE:	PROPOSED IMPROVEMENTS FOR A NEW DOCK SECTION A-A

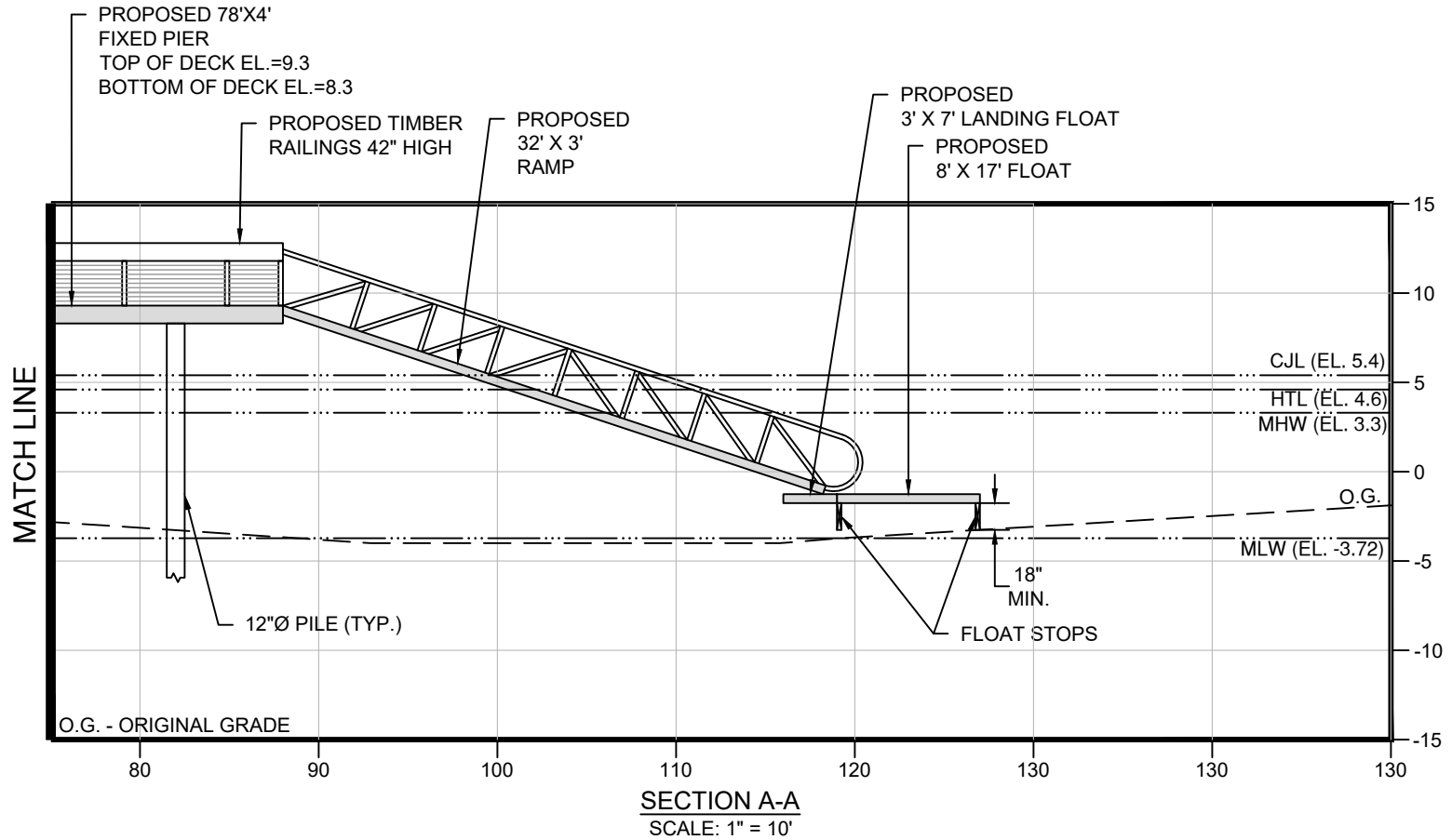
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REVISION DATE	ISSUE

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- LOT LINE & TOPOGRAPHIC INFORMATION FOR 18 MARION AVENUE
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BY LANDTECH DATED 08/29/2024, REVISED TO 10/09/2024.



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SCALE IN FEET



FIG-6

SCALE	DATE
1" = 10'	12/4/2024
DATE	DATE
12/4/2024	12/4/2024
DATE	DATE
12/4/2024	12/4/2024

PREPARED FOR:	MARIO LOPEZ & JAY FRECO
PROJECT LOCATION:	18 MARION AVENUE NORWALK, CT
TITLE:	PROPOSED IMPROVEMENTS FOR A NEW DOCK SECTION A-A

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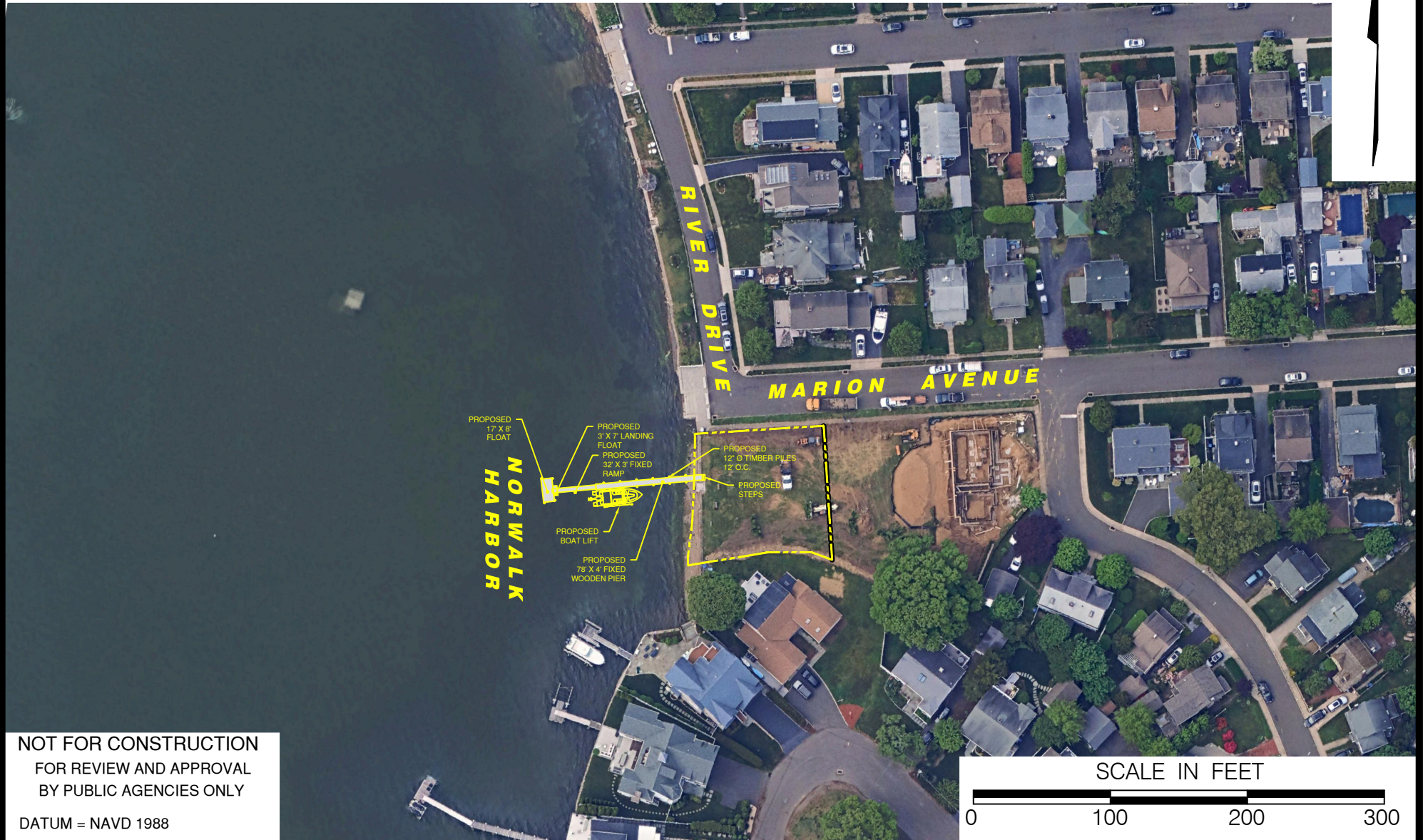
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BY LANDTECH DATED 08/29/2024, REVISED TO 10/09/2024.

N



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BY PUBLIC AGENCIES ONLY

DATUM = NAVD 1988

FIG-7

SCALE	DATE
1" = 100'	12/24/2024
DATE	DATE
12/24/2024	12/24/2024
DATE	DATE
12/24/2024	12/24/2024

PREPARED FOR:	MARIO LOPEZ & JAY FRECO
PROJECT NO.:	24231-01
PROJECT LOCATION:	18 MARION AVENUE NORWALK, CT
TITLE:	PROPOSED IMPROVEMENTS FOR A NEW DOCK AERIAL VIEW

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REVISION DATE	ISSUE

T:\11 ACTIVE PROJECTS\24231-01 LOPEZ, GRECO - 18 MARION AVE., NORWALK\DRAWINGS\DOCK PLANS\18 MARION AVENUE - DOCK FIGURES.DWG

James J. Bajek, LLC

Coastal and Fresh Water Permitting

John Pinto, Chair of Application Review Committee
Norwalk Harbor Management Commission
125 East Avenue, Room 129
Norwalk, CT 06851

April 21, 2025

RE: Canfield Island Bridge Repairs, Norwalk

Dear Mr. Pinto:

We are in the process of filing a Certificate of Permission application with the Connecticut DEEP for our client, Canfield Island Special Taxing District, to perform repairs at their existing bridge to Canfield Island. See attached inspection report which includes photographs of the necessary work areas.

This information is being provided to the Commission as part of the COP application requirement. We have also provided a copy of this information to the Norwalk Shellfish Commission at the suggestion of DEEP personnel due to the fact that the bridge is located in a natural shellfish bed area. The proposed work is shown on the attached plans and include the following:

Existing Bridge Support Pilings – A fiberglass reinforced plastic and carbon fiber sleeve will be installed around each piling to an approximate depth of 2 ft below the substrate, metals reinforcing rods will be inserted between the sleeve and each piling and an epoxy mortar will be injected through the sleeve into the voids.

Timber Cross-Bracing Replacement – The existing timber cross-bracing under the bridge will be replaced with steel cross-bracings.

Bridge Decking and Railings Replacement – The timber bridge decking and railings will be replaced.

The bridge is still fully functional but in need of these repairs as soon as possible. The repairs will be performed mainly by hand labor with the use of a work boats and work floats; a diver will be used for the underwater work. It is expected that this work will take approximately 100 days to complete. Please contact me if there are any questions regarding this application.

Sincerely,



Jim Bajek
James J. Bajek, LLC

Attachments as stated

cc: CT DEEP

Steven Bartush, Chairman
Norwalk Shellfish Commission
Dept. of Health
137 East Avenue
Norwalk, CT 06851

April 21, 2025

RE: Canfield Island Bridge Repairs, Norwalk

Dear Mr. Bartush:

We are in the process of filing a Certificate of Permission application with the Connecticut DEEP for our client, Canfield Island Special Taxing District, to perform repairs at their existing bridge to Canfield Island. See attached inspection report which includes photographs of the necessary work areas.

In a pre-application session with the CT DEEP they indicated that the bridge is located in a designated natural shellfish bed area and they recommended that we consult with your office regarding the proposed repairs. The proposed work is shown on the attached plans and include the following:

Existing Bridge Support Pilings – A fiberglass reinforced plastic and carbon fiber sleeve will be installed around each piling to an approximate depth of 2 ft below the substrate; metals reinforcing rods will be inserted between the sleeve and each piling and an epoxy mortar will be injected through the sleeve into the voids.

Timber Cross-Bracing Replacement – The existing timber cross-bracing under the bridge will be replaced with steel cross-bracings.

Bridge Decking and Railings Replacement – The timber bridge decking and railings will be replaced.

The bridge is still fully functional but in need of these repairs as soon as possible. The repairs will be performed mainly by hand labor with the use of a work boat and work floats; a diver will be used for the underwater work. It is expected that this work will take approximately 100 days to complete. Please contact me if there are any questions regarding this application.

Sincerely,



Jim Bajek
James J. Bajek, LLC

Attachment as stated

cc: Bill Mooney, NSC
CT DEEP

MAJOR STRUCTURAL REPAIRS TO EXISTING TIMBER FRAMED HS20 BRIDGE

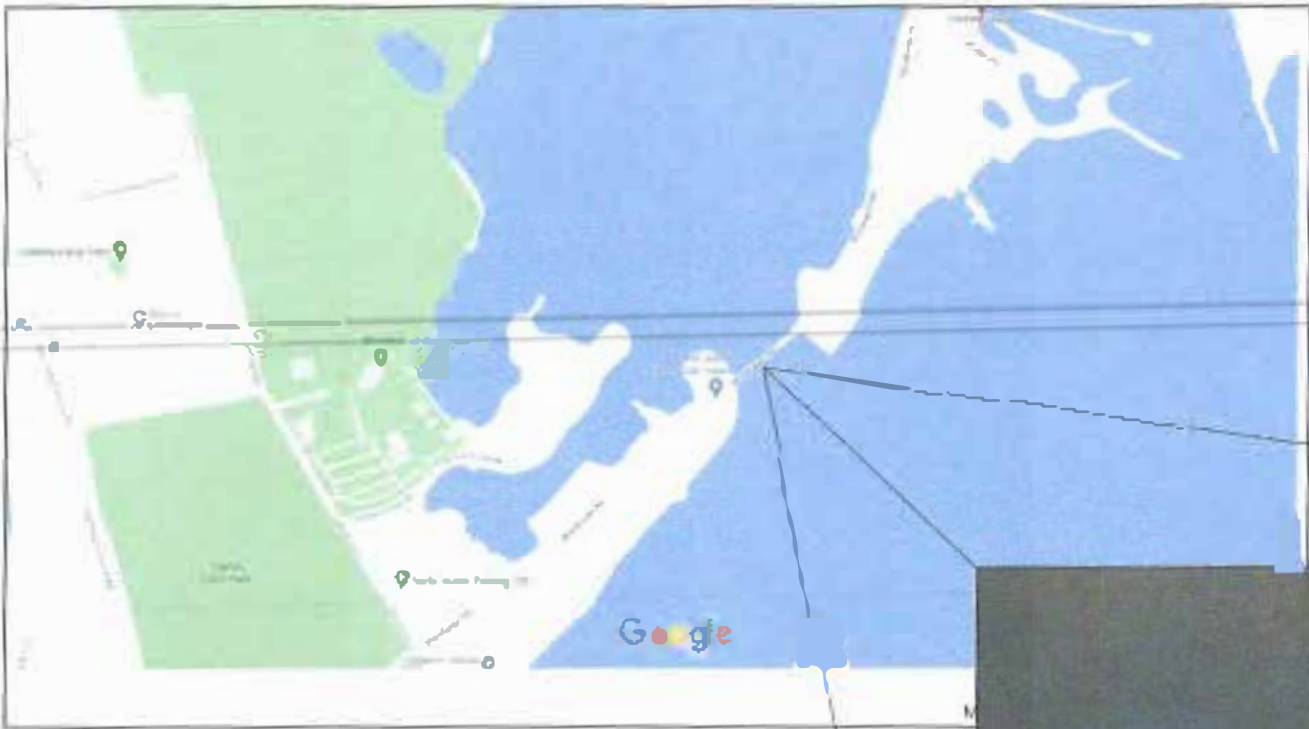


TABLE OF CONTENTS	
SHEET	TITLE
COVER	
EC.1-3	EXISTING CONDITIONS
CS.1	EXISTING TIMBER BRIDGE / SCOPE
CS.2	EXISTING BRIDGE SECTION
CS.3	CROSS LAMINATED TIMBER DECK
CS.4	FLITCH STRINGER & HOLD DOWN
CS.5	PILE CAP ASSEMBLY
CS.6	CROSS BRACING
CS.7	GENERAL NOTES & SCHEDULES
CS.8	STRUCTURAL WRAP ELEVATIONS
CS.9	STRUCTURAL WRAP DETAIL

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GMCE PLLC
 9 Coryville FE
 15 Oak Hill Road
 100001
 100001
 100001
 100001



CANFIELD ISLAND SPECIAL SERVICES TAXING DISTRICT
 32 SHOREVIEWEN ROAD
 NORWALK CT 06855

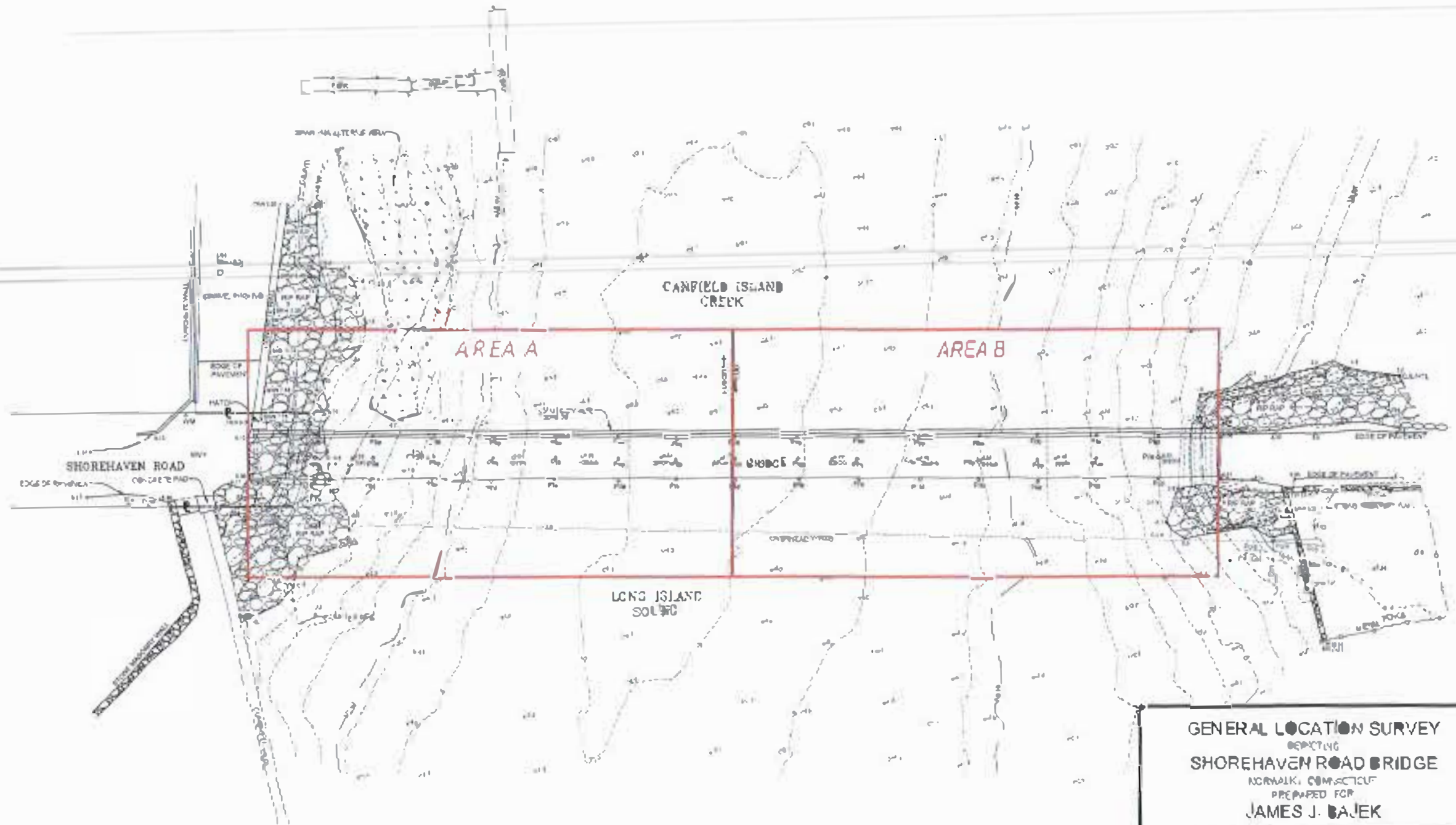
DATE: APRIL 4, 2025

COVER
 MAJOR REPAIRS
 CANFIELD ISLAND BRIDGE

SCALE
 AS INDICATED


SHEET

COVER



HIGH TIDE LINE = 5.4
 COASTAL JURISDICTION LINE = 5.4
 MEAN HIGH WATER = 3.3
 MEAN LOW WATER = -3.8

GENERAL LOCATION SURVEY
 REPORTING
SHOREHAVEN ROAD BRIDGE
 NORWALK, CONNECTICUT
 PREPARED FOR
JAMES J. BAJEK



REDNISS & MEAD


1000 Main Street
Norwalk, CT 06851
Tel: 203.841.1111
www.redniss.com

Scale: 1" = 20'

Date: 04/01/2025

Project: SHOREHAVEN ROAD BRIDGE

Client: JAMES J. BAJEK



GLS

1000 Main Street
Norwalk, CT 06851
Tel: 203.841.1111
www.gls.com

GMCE PLLC
 19 Old Mill Road
 Norwalk, CT 06851
 Tel: 203.841.1111
 www.gmce.com



CANFIELD ISLAND SPECIAL
 SERVICES TAXING DISTRICT
 32 SHOREHAVEN ROAD
 NORWALK CT 06851

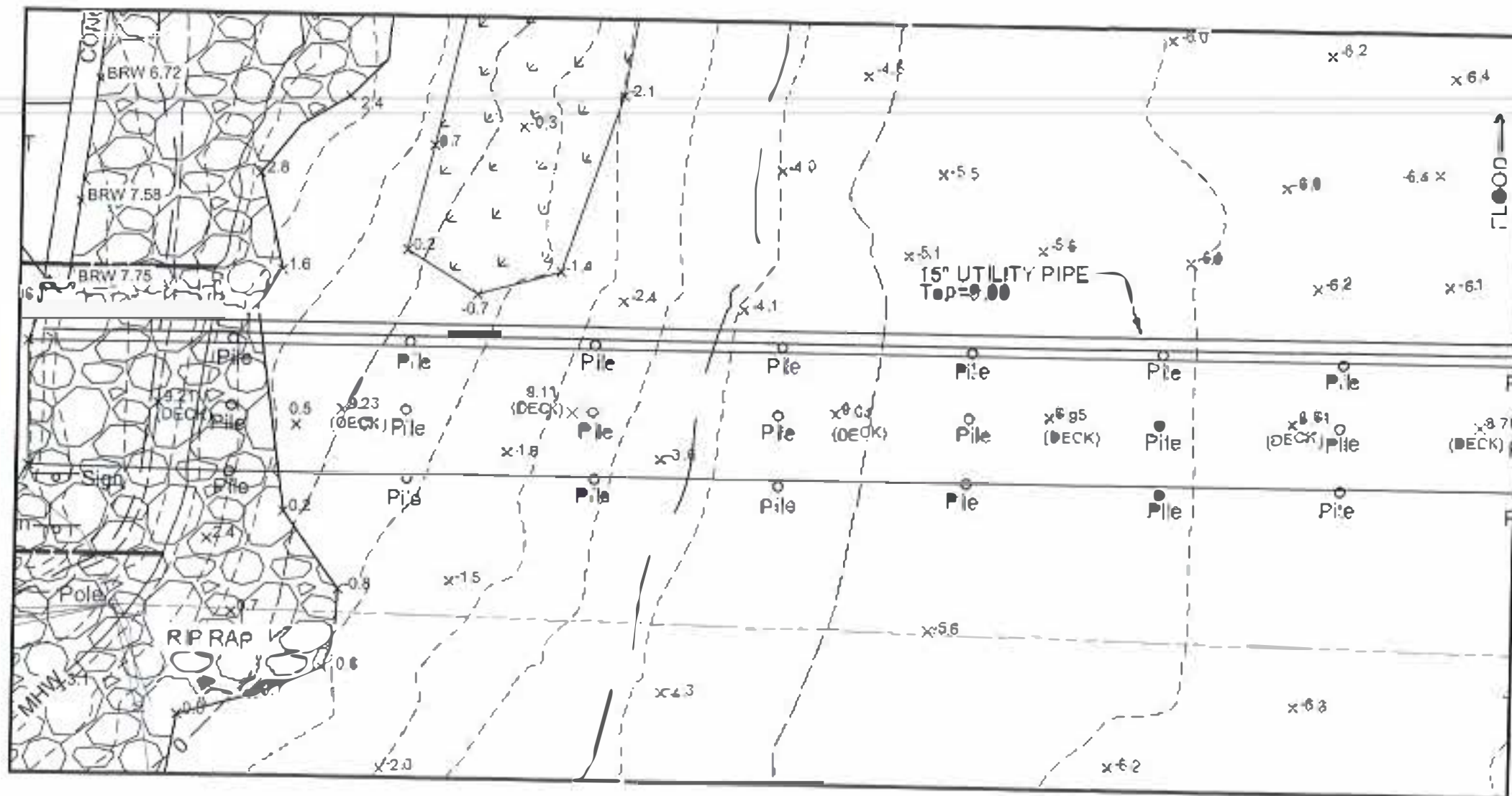
DATE: APRIL 4, 2025

EXISTING CONDITIONS KEY PLAN
 MAJOR REPAIRS
 CANFIELD ISLAND BRIDGE

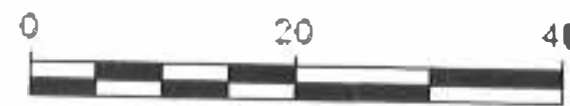
SCALE AS INDICATED

SHEET

EC.1



HIGH TIDE LINE = 5.4
 COASTAL JURISDICTION LINE = 5.4
 MEAN HIGH WATER = 3.3
 MEAN LOW WATER = -3.8



GMCE, PLLC
 600 Main St
 06460
 401-404-5455



CANFIELD ISLAND SPECIAL
 SERVICES TAXING DISTRICT
 32 SHOREHAVEN ROAD
 NORWALK CT 06855

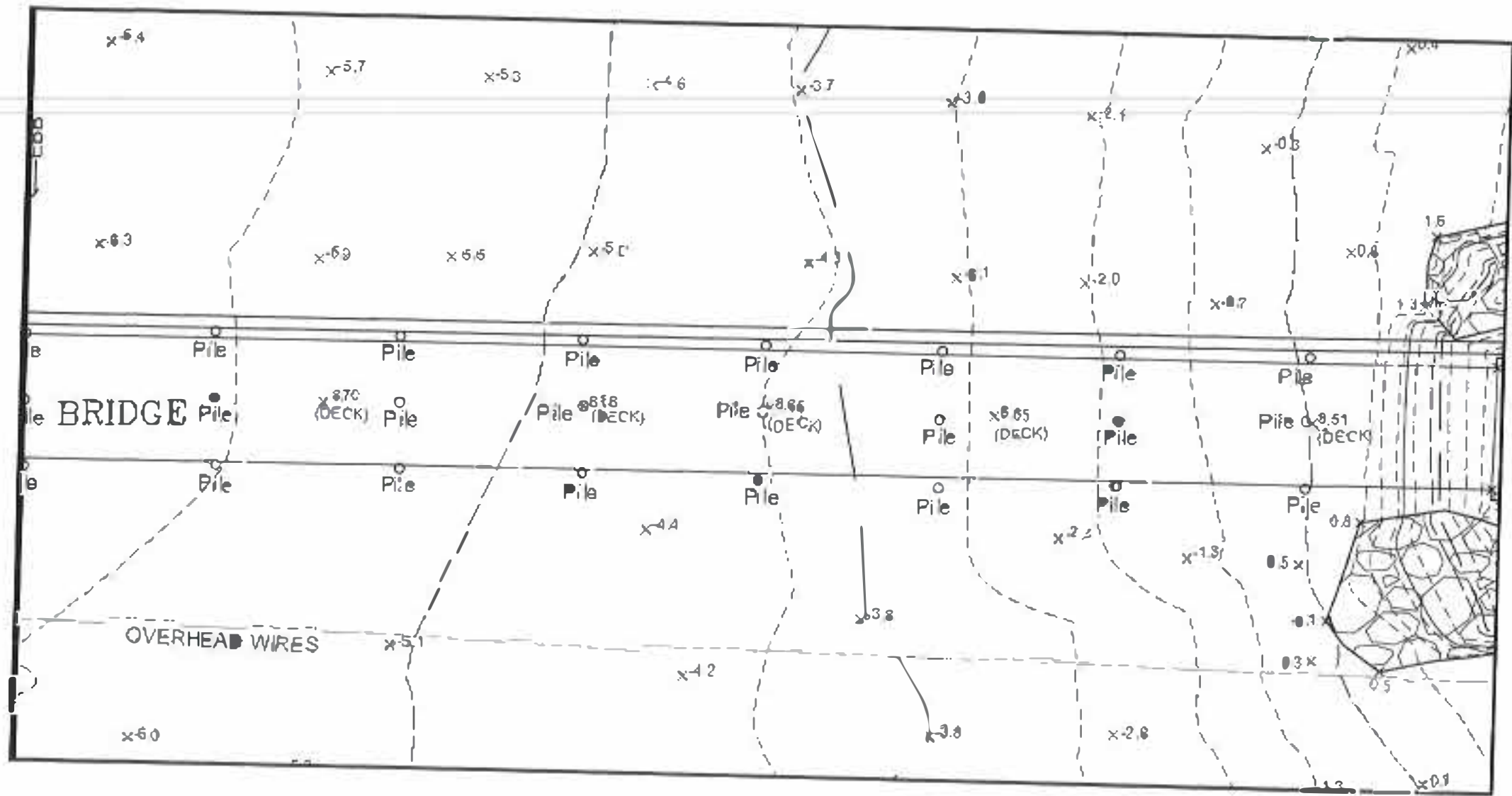
DATE: APRIL 4, 2025

EXISTING CONDITIONS AREA A
 MAJOR REPAIRS
 CANFIELD ISLAND BRIDGE

SCALE
 1:20

SHEET

EC.2



HIGH TIDE LINE = 5.4
 COASTAL JURISDICTION LINE = 5.4
 MEAN HIGH WATER = 3.3
 MEAN LOW WATER = 3.8



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 www.gmce.com
 203.442.4455

CANFIELD ISLAND SPECIAL
 SERVICES TAXING DISTRICT
 32 SHOREHAVEN ROAD
 NORWALK CT 06855

DATE: APRIL 4, 2025

EXISTING CONDITIONS AREA B
 MAJOR REPAIRS
 CANFIELD ISLAND BRIDGE

SCALE
 1:20

SHEET

EC.3



A PLAN 513' BRIDGE DECK
 CS.1 AS INDICATED



B PLAN BRIDGE FRAMING & PILES
 CS.1 AS INDICATED



C NORTH ELEVATION
 CS.1 AS INDICATED

SCOPE OF WORK

1. GENERAL STRUCTURAL STEEL FIBERGLASS REINFORCED PLASTIC (FRP) AND CARBON FIBER IMPROVEMENTS TO AN EXISTING HS20 RATED TIMBER BRIDGE WHILE KEEPING THE EXISTING BRIDGE OPERATIONAL THROUGHOUT PHASED IMPLEMENTATION
2. STRUCTURAL STEEL FLITCH GALVANIZED STRUCTURAL STEEL MEMBERS TO EXISTING TIMBER FRAMED MEMBERS TO IMPROVE PERFORMANCE, DURABILITY, AND STRENGTH WITH MINIMAL DISRUPTION TO THE ENVIRONMENT AND IN KEEPING WITH FEDERAL HIGHWAY ADMINISTRATION GOALS FOR MAXIMIZING ENVIRONMENTAL JUSTICE
3. PILE WRAPS REINFORCED STRUCTURALLY REINFORCED FRP PILE WRAPS WITH CARBON FIBER REINFORCING ROOS TO IMPROVE LATERAL STABILITY AND PROTECT PILES FROM INVASIVE SPECIES OF MARINE BORING WILDLIFE
4. DECK, REPLACE EXISTING PLANK DECK WITH CROSS LAMINATED STRUCTURAL DIAPHRAGM ADDING STRENGTH TO RESIST LATERAL AND VEHICULAR FORCES

SCOPE OF WORK (CONT)

5. CROSS BRACING REPLACE EXISTING TIMBER FRAMED CROSS BRACING WITH STRUCTURAL STEEL AND REMOVE LOWER RIBBON TO REDUCE DRAG COEFFICIENT OF THE BRIDGE TO VELOCITY WAVE ACTION
6. WATERPROOFING ADD WATERPROOFING MEMBRANE TO DECK TO PROTECT STRUCTURAL ELEMENTS FROM DECAY AND DETERIORATION DUE TO DRY ROT
7. TRAVEL LANE CHANGE ORIENTATION OF RUNNING BOARDS IN LINE WITH TIRE MOVEMENTS TO REDUCE AMBIENT NOISE ON THE ENVIRONMENT AND VIBRATION ACTING ON THE BRIDGE
8. MAINTAIN BRIDGE OPERATIONS THROUGHOUT PHASED IMPLEMENTATION OF THE PROJECT WITH MAX 8-HOUR CLOSURES DURING DECK REPLACEMENT WORK

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60 COPY 452074
 120 COPY 452075
 120 COPY 452076
 120 COPY 452077
 120 COPY 452078
 120 COPY 452079
 120 COPY 452080
 120 COPY 452081
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CANFIELD ISLAND SPECIAL SERVICES TAXING DISTRICT
 32 SHOREHAVEN ROAD
 NORWALK CT 06855

DATE: APRIL 4, 2025

EXISTING TIMBER BRIDGE / SCOPE MAJOR REPAIRS
 CANFIELD ISLAND BRIDGE

SCALE AS INDICATED

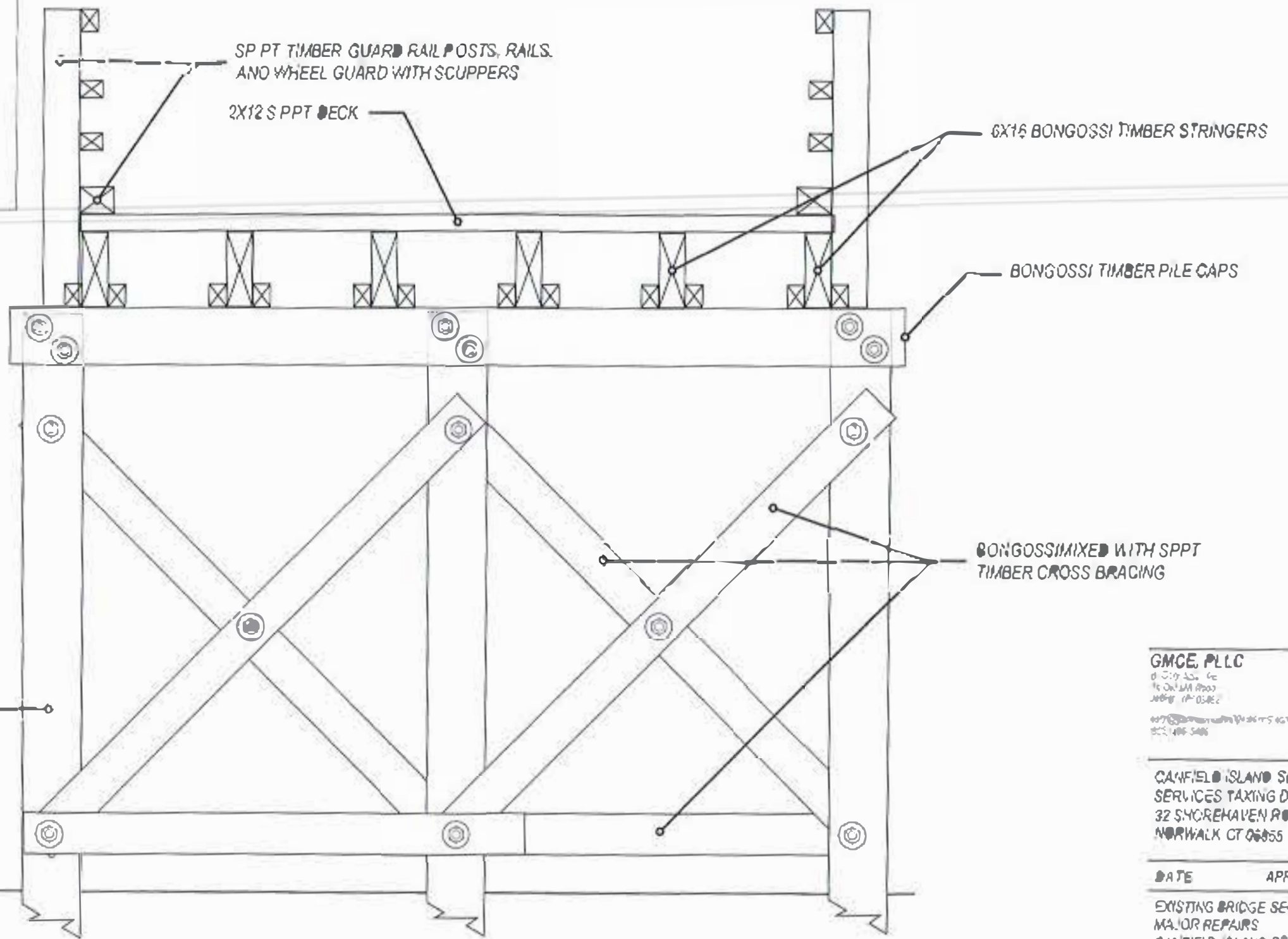
SHEET

CS.1

NOTE

1. ASSUMED MECHANICAL PROPERTIES OF EXISTING CHLOROCARDIUM RODIEI (AKA 'GREENHEART') PILES

1.1 DENSITY: 63 LBS/CF
 1.2 JANKA HARDNESS: 2,530 LBF
 1.3 MODULUS OF ELASTICITY (STIFFNESS): 3,573,000 PSI
 1.4 MODULUS OF RUPTURE (BENDING): 26,900 PSI
 1.5 CRUSHING STRENGTH: 13,200 PSI



CJL
5.4

MHW
3.3

CHLOROCARDIUM RODIEI
"GREENHEART" PILES

MUDLINE
VARIES

MLW
-3.8

BONGOSSI MIXED WITH SPPT
TIMBER CROSS BRACING



HIGH TIDE LINE = 5.4
 COASTAL JURISDICTION LINE = 5.4
 MEAN HIGH WATER = 3.3
 MEAN LOW WATER = -3.8

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CANFIELD ISLAND SPECIAL
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 32 SHOREHAVEN ROAD
 NORWALK, CT 06855

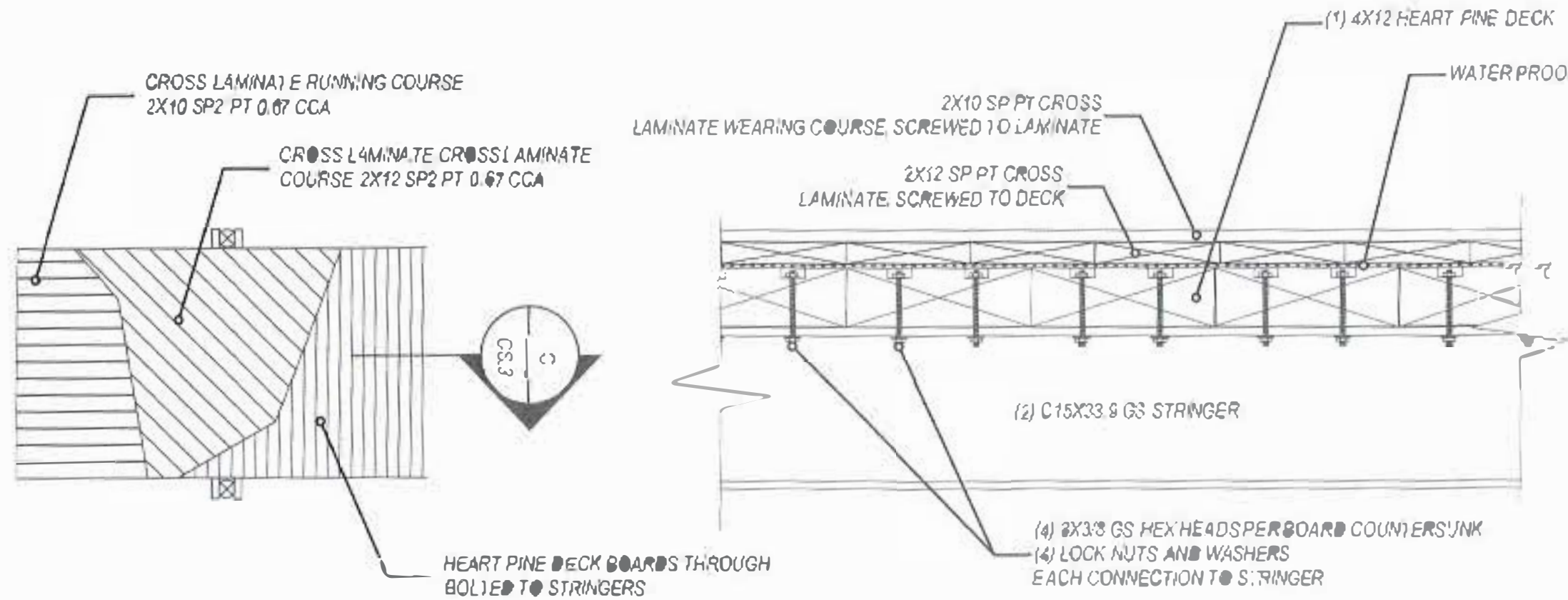
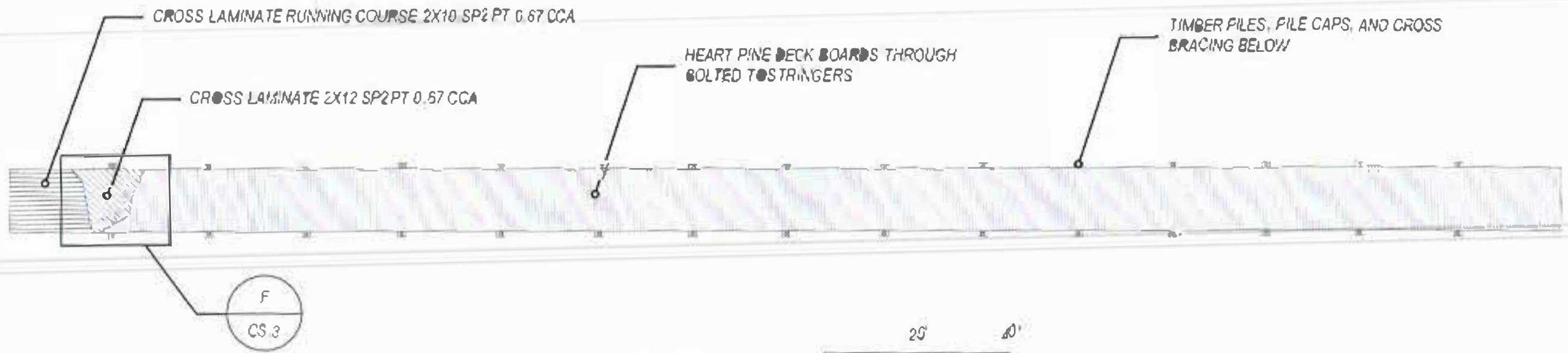
DATE APRIL 4, 2021

EXISTING BRIDGE SECTION
 MAJOR REPAIRS
 CANFIELD ISLAND BRIDGE

SCALE
 AS INDICATED

SHEET

CS.2



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 www.gmce-engineers.com



CANFIELD ISLAND SPECIAL SERVICES TAXING DISTRICT
 32 SHOREHAM PIEN ROAD
 NORWALK CT 06855

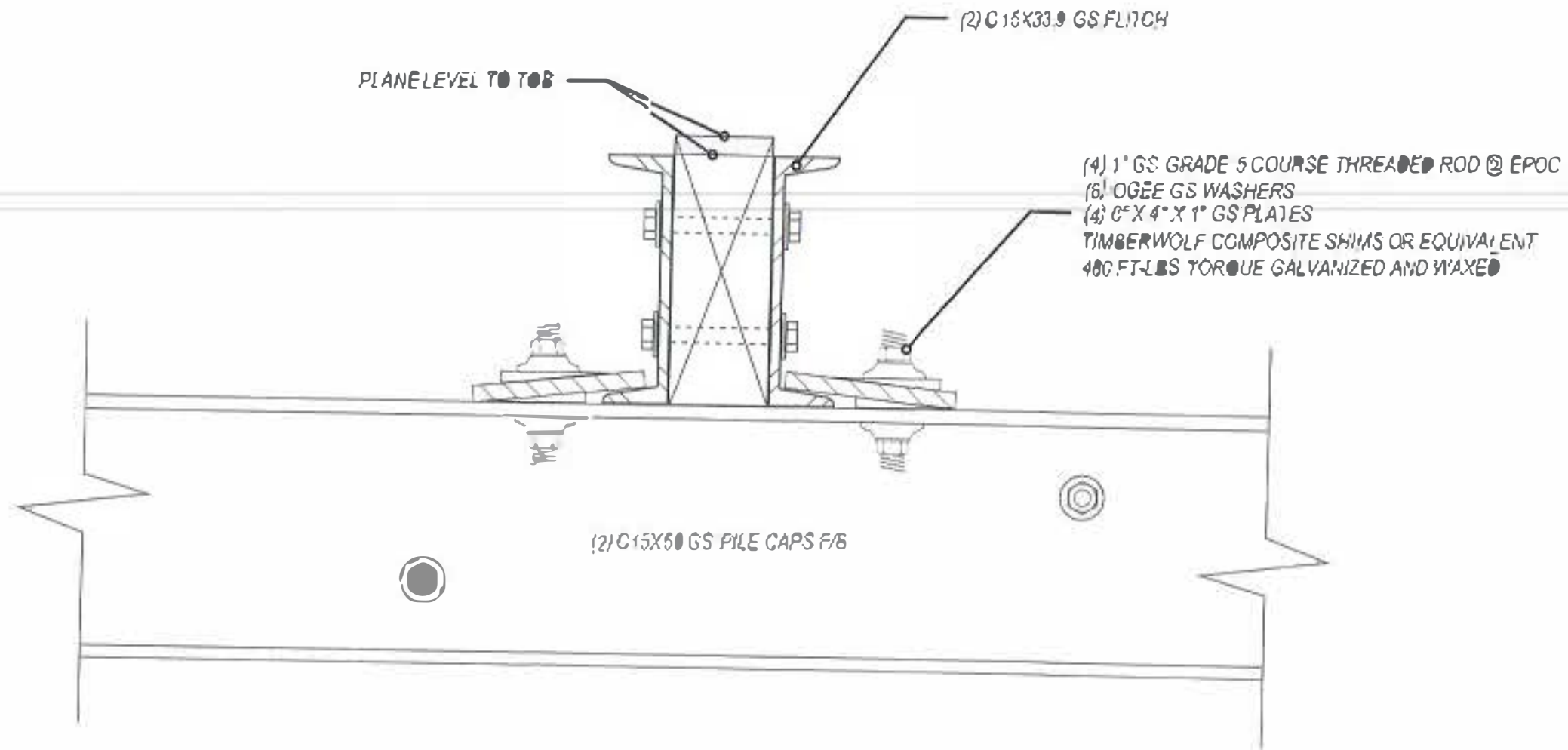
DATE: APRIL 4, 2025

CROSS LAMINATED TIMBER DECK
 MAJOR REPAIRS
 CANFIELD ISLAND BRIDGE

SCALE
 AS INDICATED

SHEET

CS.3



H SECTION, STRINGER FLITCH & HOLD DOWN
 CS 4 1"

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 Wallingford, CT 06495
 860.291.1111
 860.291.1111



GANFIELD ISLAND SPECIAL SERVICES TOWN OF GANFIELD
 32 SHOREHAVEN ROAD
 NORWALK CT 06855

DATE: APRIL 4, 2025

FLITCH STRINGER & HOLD DOWN
 MAJOR REPAIRS
 GANFIELD ISLAND BRIDGE

SCALE
 1:1

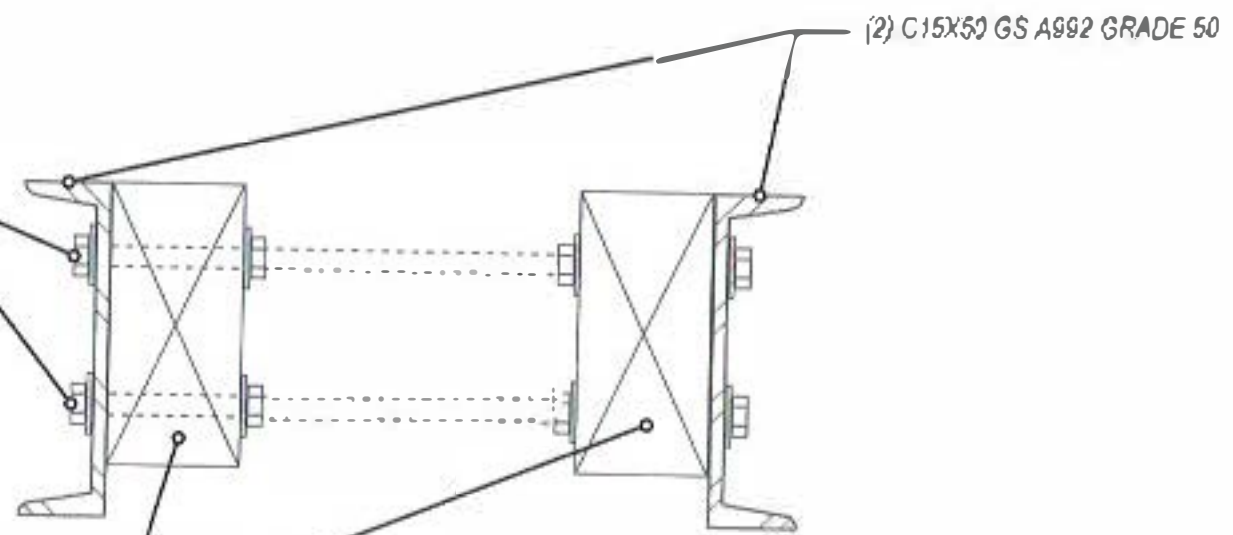
SHEET

CS.4



(2) C 15X50 GS A992 GRADE 50

(2) 18"X2" GS THREADED @ EACH PILE
 CL PILE W/4" VERTICAL STAGGER
 (4) SS NUTS TYP
 (4) SS Ogee WASHERS TYP



(2) C 15X50 GS A992 GRADE 50

18"X1" GS THREADED ROD @ 2'-0" OC STAGGERED
 (6) SS NUTS TYP
 (6) SS Ogee WASHERS TYP
 (2) EACH END

EXISTING 4-1/2"X12"
 BONGASSI PILE CAPS



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CAMPFIELD ISLAND SPECIAL SERVICES TAXING DISTRICT
 32 SHORHAVEN ROAD
 NORWALK CT 06855

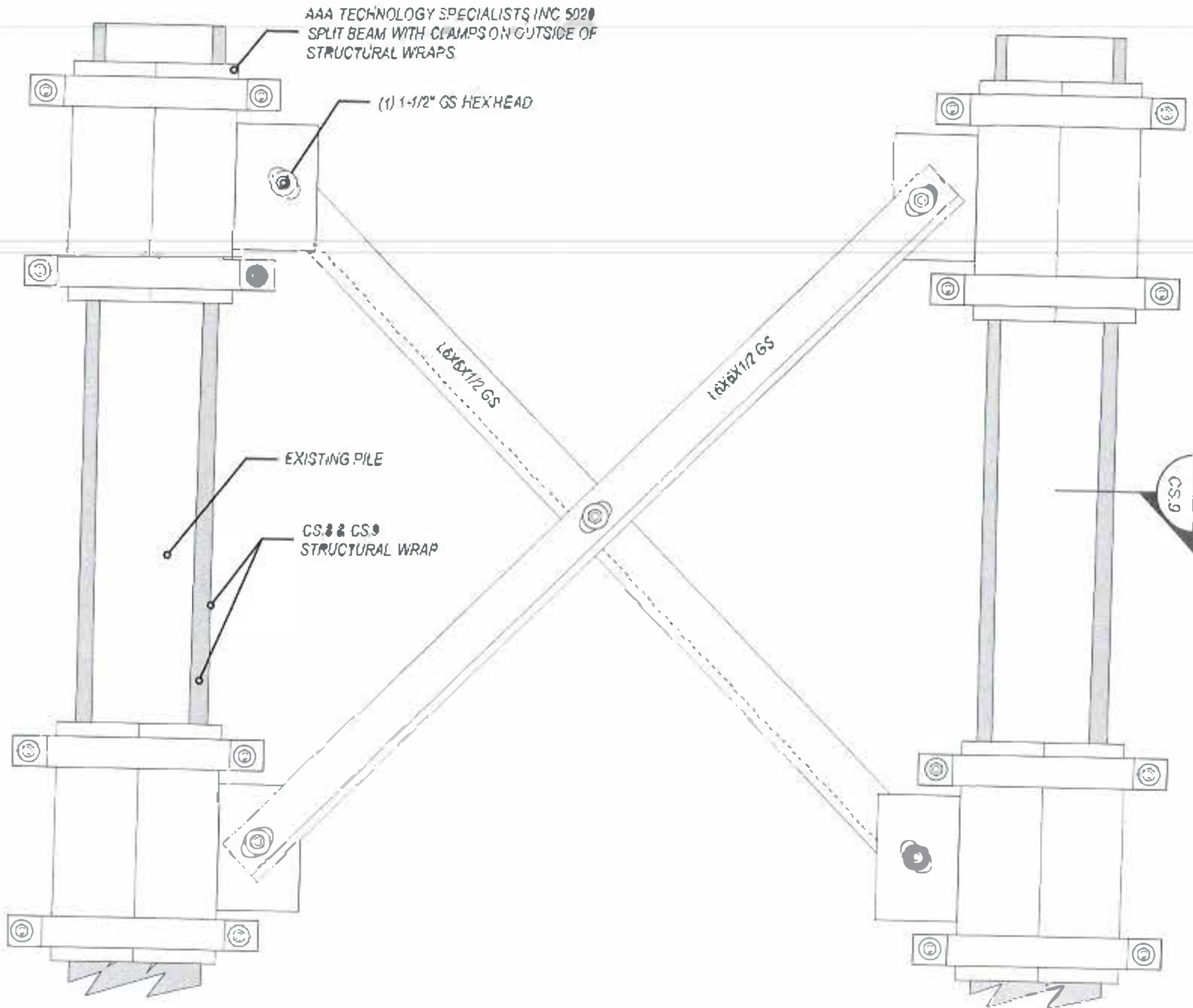
DATE: APRIL 4, 2025

PILE CAP & ASSEMBLY
 MAJOR REPAIRS
 CAMPFIELD ISLAND BRIDGE

SCALE
 AS INDICATED

SHEET

CS.5



AAA TECHNOLOGY SPECIALISTS INC 5020
 SPLIT BEAM WITH CLAMPS ON OUTSIDE OF
 STRUCTURAL WRAPS

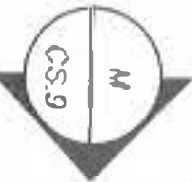
(1) 1-1/2" GS HEXHEAD

EXISTING PILE

CS#2 & CS#9
 STRUCTURAL WRAP

1 1/2" GS

1 1/2" GS



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CANFIELD ISLAND SPECIAL
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 32 SHOREHAVEN ROAD
 NORWALK CT 06855

GATE: APRIL 4, 2025

CROSS BRACING
 MAJOR REPAIRS
 CANFIELD ISLAND BRIDGE

SCALE
 AS INDICATED

SHEET

CS.6

GENERAL NOTES

1. SUBMIT SHOP DRAWINGS DETAILING FABRICATION OF STRUCTURAL STEEL COMPONENTS. INCLUDE DETAILS OF CUTS, CONNECTIONS, SPLICES, CAMBER, HOLES, AND OTHER PERTINENT DATA. INDICATE WELDS BY STANDARD AWS SYMBOLS, DISTINGUISHING BETWEEN SHOP AND FIELD WELDS AND SHOW SIZE, LENGTH, AND TYPE OF EACH WELD. INDICATE TYPE, SIZE, AND LENGTH OF BOLTS, DISTINGUISHING BETWEEN SHOP AND FIELD BOLTS. IDENTIFY HIGH-STRENGTH BOLTED SLIP-CRITICAL, DIRECT-TENSION, OR TENSIONED SHEAR BEARING CONNECTIONS. INCLUDE SHOP DRAWINGS SIGNED AND SEALED BY A QUALIFIED PROFESSIONAL ENGINEER RESPONSIBLE FOR THEIR PREPARATION.

2. COMPLY WITH AISC SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN; AISC SPECIFICATION FOR ALLOWABLE STRESS DESIGN OF SINGLE ANGLE MEMBERS, AND ASTM A 8 SPECIFICATION FOR GENERAL REQUIREMENTS FOR ROLLED STEEL PLATES, SHAPES, SHEET PILING, AND BARS FOR STRUCTURAL USE.

3. WELDING NOT PERMITTED ON THE BRIDGE DECK OR OVER OPEN WATER.

4. MATERIALS:

4.1 ALL STEEL HOT DOUBLE-DIPPED GALVANIZED.

4.2 STRUCTURAL STEEL PLATES, ANGLES, CHANNELS AND BARS: ASTM A 36.

4.3 WIDE FLANGE SHAPES: ASTM A 992, GRADE 50.

4.4 COLD-FORMED STRUCTURAL STEEL TUBING: ASTM A 500, GRADE B.

4.5 STEEL PIPE: ASTM A 53, TYPE E OR S, GRADE B.

4.6 HIGH-STRENGTH BOLTS, NUTS, AND WASHERS: ASTM A 325, TYPE 1, HEAVY HEX STEEL STRUCTURAL BOLTS, HEAVY HEX CARBON-STEEL NUTS, AND HARDENED CARBON-STEEL WASHERS.

5. SHOP CUT EDGE(S) WHERE REQUIRED TO FIT INTO EXISTING CONDITION. PRE-MEASURE TYPICAL CONDITION FOR EACH STRINGER AND COORDINATE SHOP DRAWINGS WITH STRINGERS PRIOR TO FABRICATION AND GALVANIZATION.

6. COORDINATE DRILLING FOR DRILLING THROUGH EXISTING 12" BONGASSI PILE CAPS.

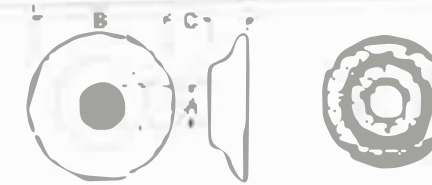
7. WATERPROOFING MEMBRANE 65-MIL W.R. MEADOWS MEL-DECK BRIDGE DECKING SYSTEM FOR UNTREATED TIMBER DECK BRIDGES MEETING ASTM D 6153, TYPE III OR EQUIVALENT.

8. DECK SCREWS. INSTALL 2X12 SP PT RUNNERS CONTIGUOUS OVER THE WIDTH AND LENGTH OF BRIDGE USING SPECIFIED FASTENERS. STAGGER S/4 IPE WEARING COURSE WITH SEAMS OF 2X12 SP PT RUNNERS.

8.1 2X12 SP PT, (3) SIMPSON 4X3-8 GS HEX HEAD TYPE C @ 1'-0" OC (SKU SDWH27409G).

8.2 S/4 IPE, (3) SIMPSON TYPE 305 SS #10X2-1.2 @ 1'-0" OC DECK DRIVE™ DHPD HARDWOOD SCREWS (SKU DHPDSS212MB).

8.3 COUNTER SINK OR OVER-DRILL AND SINK ALL SCREWS MIN 1/8" BELOW SURFACE OF BOARDS.



Bolt Size	A	B	T	Weight in Pounds Per 100 Pieces
	Top Outside Diameter	Bottom Outside Diameter	Thickness	
1/2	1-3/8	2-3/8	3/2	48
5/8	1-5/8	2-5/8	5/8	52
3/4	1-7/8	3	3/4	71
7/8	2	3-1/2	7/8	85
1	2-1/2	4	1	150
1-1/8	2-7/8	4-1/4	1-1/8	249
1-1/4	3-1/2	5-1/4	1-1/4	306
1-1/2	4	6-1/2	1-1/2	417

Reference ASTM A 490 - Standard Specification for Alloy Steel Castings

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 Jeffrey, VA 22652
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 (PO BOX 608-3455)



CAMPFIELD ISLAND SPECIAL SERVICES TAXING DISTRICT
 32 SHOREHAVEN ROAD
 NORWALK CT 06855

DATE: APRIL 4, 2025

GENERAL NOTES & SCHEDULES
 MAJOR REPAIRS
 CAMPFIELD ISLAND BRIDGE

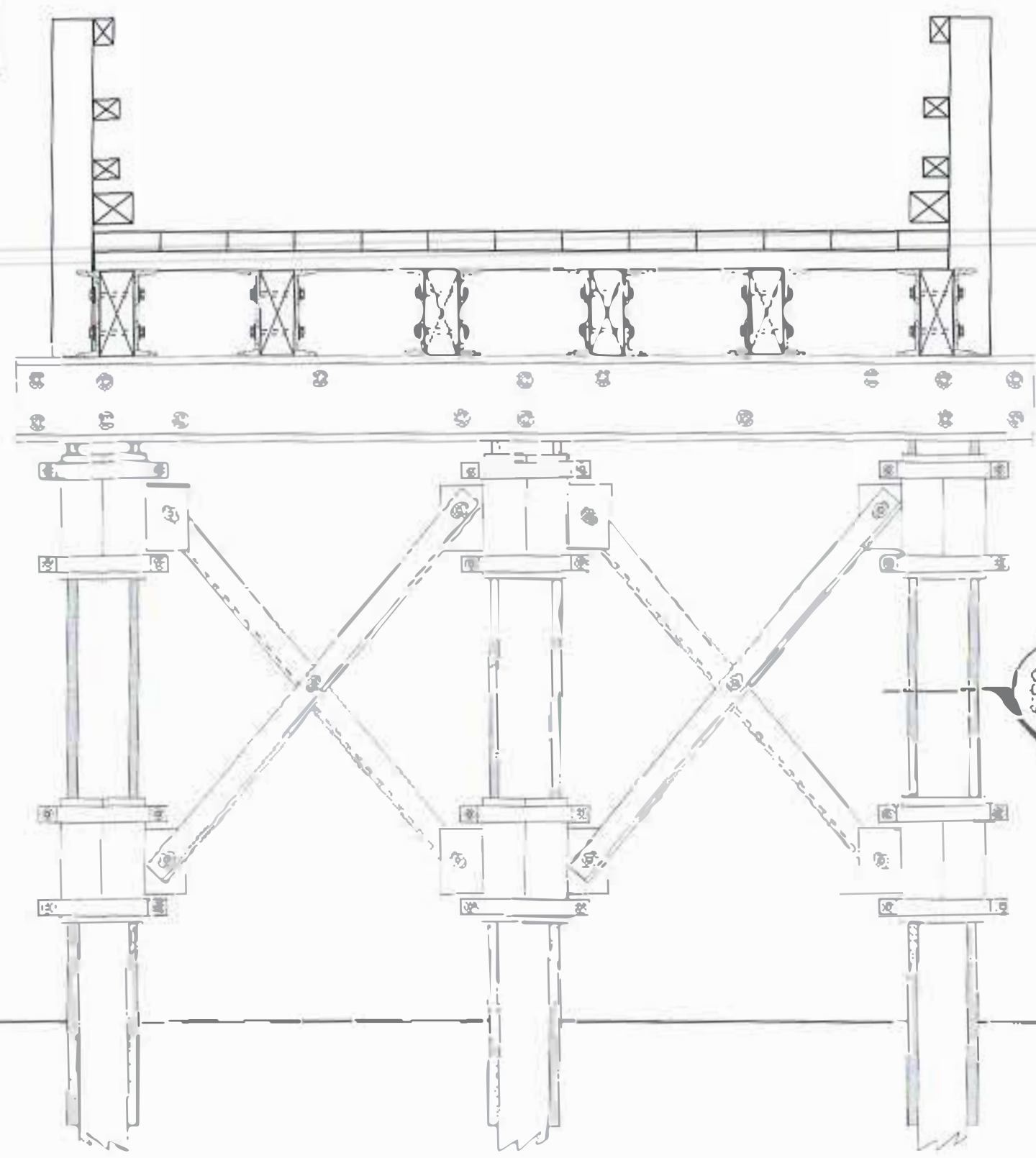
SCALE
 AS INDICATED

SHEET

CS.7

HIGH TIDE LINE = 5.4
 COASTAL JURISDICTION LINE = 5.4
 MEAN HIGH WATER = 3.3
 MEAN LOW WATER = -3.8

- NOTES**
1. LIMITS EXTEND STRUCTURAL WRAP FROM TOP OF PILE TO 2'-0" BELOW THE EXISTING MUDLINE.
 2. SIKADUR FIBERGLASS REINFORCED PLASTIC (FRP) SLEEVES
 3. EPOXY MORTAR SIKADUR 35 HI-MOD LV LPL MIN 6,000 PSI 28-DAY COMPRESSIVE STRENGTH.
 4. INJECTION GEL SIKADUR ANCHORFIX-3 AND ANCHORFIX-4 IF REQUIRED.
 5. CARBON FIBER RODS 3/8" SIKA CARBODUR OR EQUIVALENT NON-FERRIS INERT, NON-CORROSIVE AND CHEMICALLY STABLE STRUCTURAL MATERIAL APPROVED BY ENGINEER.



C/L
5.4

MHW
3.3

MUDLINE
VARIES

MLW
-3.8

X EAST SECTION ELEVATIONS (TYP)
 CS.8 3'-8"



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 Norman, OK 73069
 (405) 762-1111



CANFIELD ISLAND SPECIAL SERVICES TAXING DISTRICT
 52 SHORE AVENUE
 NORWALK, CT 06855

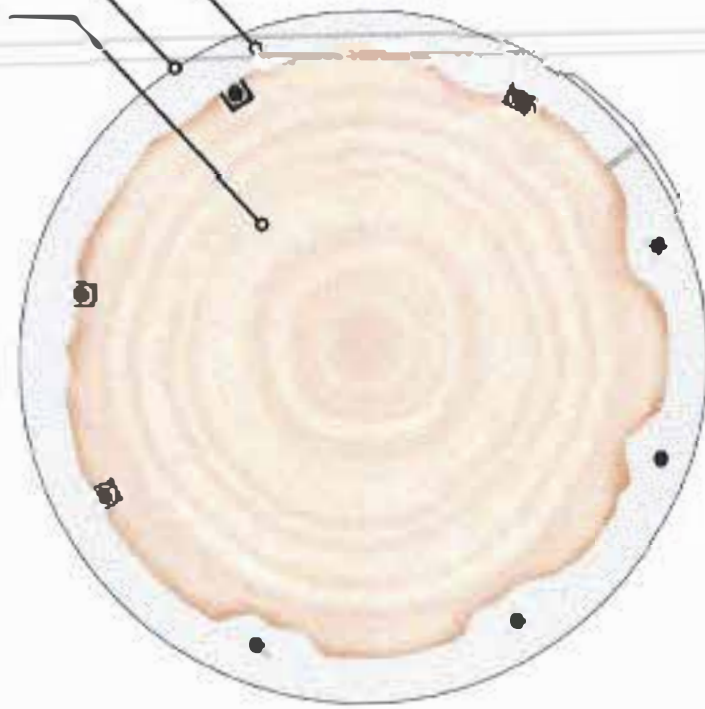
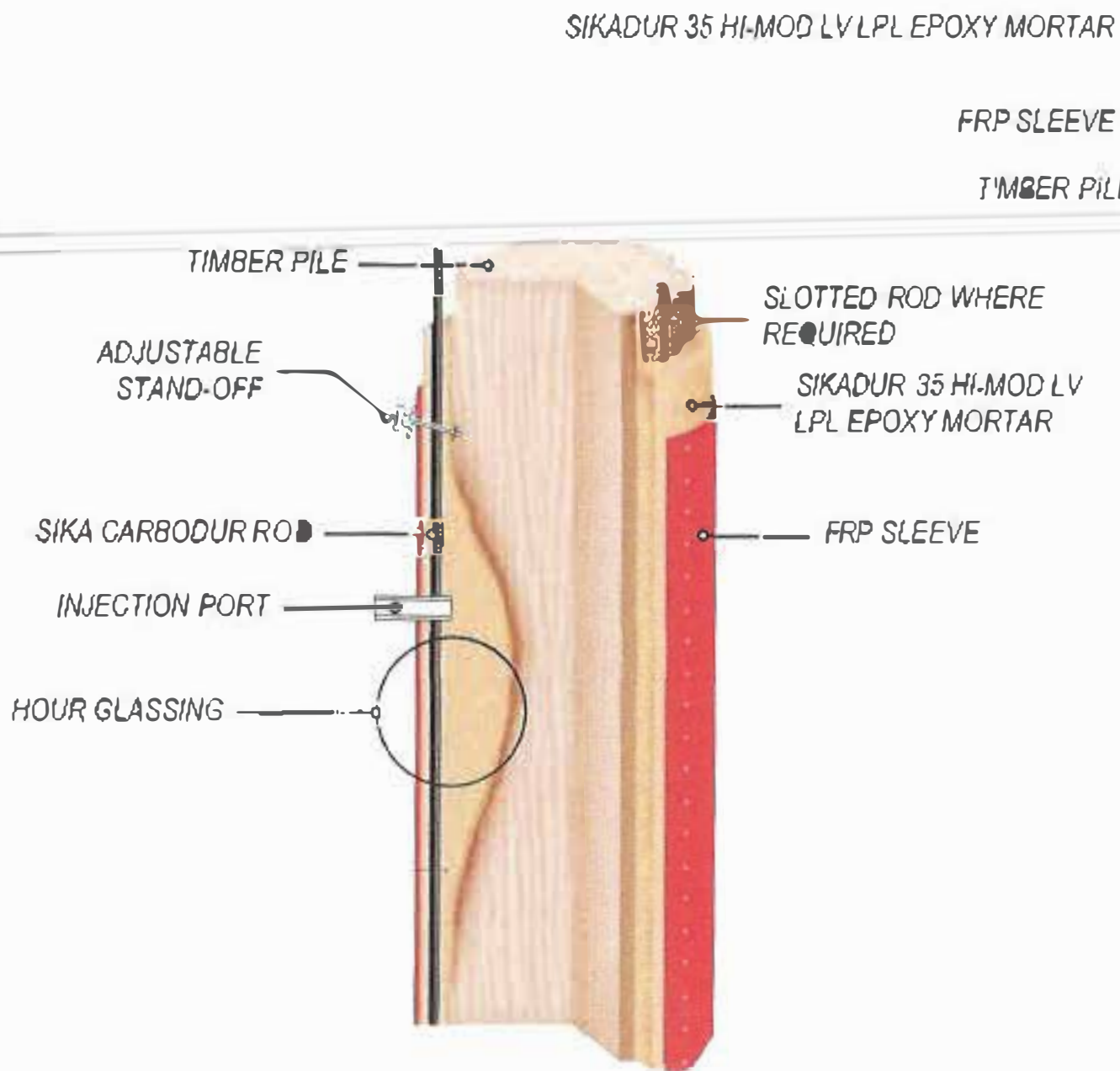
DATE: APRIL 4, 2025

STRUCTURAL WRAP ELEVATIONS
 MAJOR REPAIRS
 CANFIELD ISLAND BRIDGE

SCALE
 AS INDICATED

SHEET

CS.8



- NOTES**
1. LIMITS EXTEND STRUCTURAL WRAP FROM TOP OF PILE TO 2'-0" BELOW THE EXISTING MUDLINE
 2. SIKADUR FIBERGLASS REINFORCED PLASTIC (FRP) SLEEVES.
 3. EPOXY MORTAR, SIKADUR 35 HI-MOD LV LPL MIN 6,000 PSI 28-DAY COMPRESSIVE STRENGTH
 4. INJECTION GEL, SIKADUR ANCHORFIX 3 AND ANCHORFIX 4 IF REQUIRED.
 5. CARBON FIBER RODS, 3/8" SIKA CARBODUR OR EQUIVALENT NON-FERRIS INERT, NON-CORROSIVE, AND CHEMICALLY STABLE STRUCTURAL MATERIAL APPROVED BY ENGINEER.

U SECTION STRUCTURAL PILE WRAP (TYP)
CS 2 1-1/2"

L SECTION STRUCTURAL PILE WRAP (TYP)
CS 0 3/4"

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CANFIELD ISLAND SPECIAL SERVICES TAXING DISTRICT
 32 SHOREHAVEN ROAD
 NORWALK CT 06855

DATE APRIL 4, 2025

STRUCTURAL WRAP DETAIL
 MAJOR REPAIRS
 CANFIELD ISLAND BRIDGE

SCALE AS INDICATED

SHEET

CS.9



Connecticut Department of
Energy & Environmental Protection
Bureau of Water Protection & Land Reuse
Land & Water Resources Division

LWRD License Application Transmittal Form

CPPU USE ONLY	
App #s:	_____

	_____ -DIV
	_____ -FM/E
Doc #:	_____
Check #:	_____

The Land & Water Resources Division (LWRD) License Application* consists of this Transmittal Form and the program-specific form. All application forms can be found on the Department of Energy & Environmental Protection (DEEP) website at Land Use Permits and General Permits (ct.gov). Submit application forms per instructions provided in Part VII of this transmittal form.

Part I: License Type and Fee Information

The table below lists various License types issued by DEEP LWRD. If more than one license is necessary for a project, complete only one Transmittal Form. Complete as many Program Forms as applicable for the project. Check the boxes below that correspond with the LWRD license(s) being requested.

Type of License	Program Form	Fee	DEEP USE ONLY
Licenses for Activities in Aquifer Protection Areas			
<input type="checkbox"/> Aquifer Protection Area Registration Check one: <input type="checkbox"/> New <input type="checkbox"/> Modification ¹ of # _____ (no fee) <input type="checkbox"/> Renewal of # _____	A	\$625	[#996]
<input type="checkbox"/> Aquifer Protection Area Permit Check one: <input type="checkbox"/> New <input type="checkbox"/> Modification ¹ of # _____ (no fee) <input type="checkbox"/> Renewal of # _____	B	\$1,250	[#995]
¹ Note that if you are seeking a <i>modification</i> , you should consult the Aquifer Protection Program at 860-424-3019 prior to application submittal to determine whether a registration form is necessary.			
Licenses for Activities in Tidal Waters			
<input type="checkbox"/> Structures, Dredging & Fill ²	C	\$660	[#439]
<input type="checkbox"/> Structures, Dredging & Fill ² and Tidal Wetlands (TW)	C	\$660	[#1058]
<input type="checkbox"/> Structures, Dredging & Fill ² and Section 401 Water Quality Certificate (WQC) ³	C	\$660	[#1769]
<input type="checkbox"/> Structures, Dredging & Fill ² ; TW; and Section 401 WQC ³	C	\$660	[#1772]
<input checked="" type="checkbox"/> Certificate of Permission (if applicable, WQC will be included) ² For projects larger than 825 square feet, provide Attachment A with an additional fee. Refer to the <u>instructions</u> (page 4) for fee calculations.	D	\$375	[#410]
³ For activities requiring a Sec.404 Permit from United States Army Corps of Engineers (USACE).			
General Permit Registration for Coastal Maintenance			
<input type="checkbox"/> Marina and Mooring Field Reconfiguration	E	\$700	[#992]
<input type="checkbox"/> Remedial Activities Required by Order	F	\$700	[#427]
<input type="checkbox"/> Residential Modification to FEMA Standards	G	\$100	[#423]
<input type="checkbox"/> Reconstruction of Permitted Structures	H	\$300	[#1741]
General Permit Registration for Minor Coastal Structures			
<input type="checkbox"/> 4/40 Docks/Access Stairs	I	\$700	[#426]
<input type="checkbox"/> Non-Harbor Moorings	J	\$250	[#422]
General Permit Registration for Dolphin Cove			
<input type="checkbox"/> Structures, Fill, Obstructions, or Encroachments in Dolphin Cove Lagoon, Stamford	K	\$100	[#420]

Part I: License Type and Fee Information (continued)

Type of License	Program Form	Fee	DEEP USE ONLY
For Federal Agency Activities Only: <input type="checkbox"/> Section 401 Water Quality Certificate (Tidal)	C	None	[#1186]
Licenses for Activities in Non-Tidal Waters			
<input type="checkbox"/> Section 401 Water Quality Certificate (Individual) ³	L	None	[#1195]
<input type="checkbox"/> Pre-Construction Notification, USACE General Permits for CT ³	L	None	[#1188]
<input type="checkbox"/> Inland Wetlands and Watercourses ⁴	L	None	[#365]
<input type="checkbox"/> Inland Wetlands and Watercourses ⁴ and WQC ³	L	None	[#2225]
³ For activities requiring a Sec.404 Permit from USACE. ⁴ For State Agency Activities OR Activities Conducted on State Owned/Controlled Lands.			
For State Agency Activity Conducted on State Owned/Controlled Lands Only: General Permit Registration for Water Resources Construction Activities			
<input type="checkbox"/> Activities 1-4: Maintenance Plans	M	\$2,500	[#2243]
<input type="checkbox"/> Activities 5-7: Infrastructure and Public Works Projects	N	\$2,500	[#2244]
<input type="checkbox"/> Activity 8: Activities Authorized Under a Corps General Permit (Must be submitted after receiving PCN approvals and Flood Management, if applicable.)	O	\$1,250	[#2245]
<input type="checkbox"/> Activity 9: Conservation Activities	O	\$1,250	[#2246]
Additional Licenses for Activities These licenses may be combined with Tidal or Non-Tidal Waters licenses.			
Water Diversion – Non-consumptive			
<input type="checkbox"/> Watershed < 0.5 sq. mi.	L	\$2,050	[#457]
<input type="checkbox"/> Watershed ≥ 0.5 sq. mi and < 2.0 sq. mi.	L	\$4,000	[#456]
<input type="checkbox"/> Watershed ≥ 2.0 sq. mi.	L	\$6,250	[#455]
For State Agency Activity/Activities Receiving Funding Through a State Agency:			
<input type="checkbox"/> Flood Management Certification	P	None	[#1185]
<input type="checkbox"/> Flood Management Certification with Exemption Request	P	None	[#1185]
Fee from Attachment A, if applicable			
Total		\$ 375.00	

*For processing purposes, the terms Application and Applicant are synonymous with the terms Registration and Registrant.

In addition to applicable boxes above, check here if your application is:

- eligible for a municipal 50% discount;
- for work in tidal waters and being submitted pursuant to CGS section 22a-361(a)(2)(d) to address a violation; or
- receiving state funding including federal funding administered by the state (to help determine need for Flood Management Certification); or
- being submitted by a state agency, therefore the fee will be paid by Inter-Agency Transfer of Funds. State Agencies should submit the registration or application package without the registration/application fee.

Part II: Project and Site Information

1a. Project: Provide a brief description of project/activity/work: **The application is to reinforce deteriorated support pilings at the Canfield Island Bridge**

1b. Site Name and Location

Name of Site: Canfield Island Bridge

Address of Site: _____ City/Town: Norwalk State: CT Zip Code: 06855

Parcel Location/Tax Assessor's Reference: Map _____ Block _____ Lot _____

GPS Coordinates/Latitude and Longitude: Provide the exact location of proposed activity, in degrees/minutes/seconds or in decimal degrees: Latitude: 41 05 ' 36 . 06 "N Longitude: 73 23 ' 09 . 79 "W

Parcel/Easement size: If the project is located on a parcel, indicate parcel acreage: N/A acres

If the project is located on a utility/transportation right-of-way or easement, indicate dimensions or acres: _____

Part III: Applicant Information

- If an applicant is a corporation, limited liability company, limited partnership, limited liability partnership, or a statutory trust, they must be registered with the Secretary of State. If applicable, the applicant's name shall be stated **exactly** as it is registered with the Secretary of State. Please note, for those entities registered with the Secretary of State, the registered name will be the name used by DEEP. This information can be accessed at the Secretary of State's database (CONCORD) at portal.ct.gov/SOTS.
- If an applicant is an individual, provide the legal name (include suffix) in the following format: First Name; Middle Initial; Last Name; Suffix (Jr, Sr., II, III, etc.).
- Once an authorization has been received, if there are any changes or corrections to your company/facility or individual mailing or billing address or contact information, please complete and submit the Request to Change Company/Individual Information to the address indicated on the form.

1. Applicant/Registrant* Information

Name: Canfield Island Special Services Taxing District

Mailing Address: _____

City/Town: Norwalk State: CT Zip Code: _____

Business Phone: _____ Ext.: _____

Contact Person: _____ Phone: _____ Ext: _____

E-mail Address†: _____

†Email is Required. By providing this e-mail address you are agreeing to receive official correspondence from DEEP, at this electronic address, concerning the subject application. Please remember to check your security settings to be sure you can receive e-mails from "ct.gov" addresses. Also, please notify DEEP if your e-mail address changes.

If co-applicant(s), check this box and attach co-applicant information as Attachment B following this form.

a) Applicant Type (check one):

individual federal agency state agency municipality tribal

business entity (if a business entity, complete i through iii below):

i) business type: corporation limited liability company limited partnership
 limited liability partnership statutory trust Other: _____

ii) provide Secretary of the State business ID #: _____
This information can be accessed at database (CONCORD): portal.ct.gov/SOTS

iii) check here if your business is **NOT** registered with the Secretary of State's Office.

*For processing purposes, the terms Application and Applicant are synonymous with the terms Registration and Registrant.

Part III: Applicant Information (continued)

b) Applicant's interest in property at which the proposed activity is located:

- site owner option holder lessee facility owner
 easement holder operator other (specify): _____

2. List billing contact, if different than the applicant:

Name: _____
Mailing Address: _____
City/Town: _____ State: _____ Zip Code: _____
Business Phone: _____ Ext.: _____
Contact Person: _____ Title: _____
E-mail: _____

3. Primary contact for departmental correspondence and inquiries if different than applicant:

Name: James J Bajek, LLC
Mailing Address: 4570 Bowen Bayou Road
City/Town: Sanibel State: FL Zip Code: 33957
Business Phone: 603-930-4549 Ext.: _____
Contact Person: Jim Bajek Title: Environmental Consultant
E-mail: jjbajek@comcast.net

4. Site/Property Owner*, if different than applicant:

Name: _____
Mailing Address: _____
City/Town: _____ State: _____ Zip Code: _____
Business Phone: _____ Ext.: _____
Contact Person: _____ Title: _____
E-mail: _____

*If the applicant is not the owner, submit written permission from the owner as Attachment C

5. Facility Owner, if different than applicant:

Name: _____
Mailing Address: _____
City/Town: _____ State: _____ Zip Code: _____
Business Phone: _____ Ext.: _____
Contact Person: _____ Title: _____
E-mail: _____

6. Facility Operator, if different than applicant:

Name: _____
Mailing Address: _____
City/Town: _____ State: _____ Zip Code: _____
Business Phone: _____ Ext.: _____
Contact Person: _____ Title: _____

E-mail: _____

Part III: Applicant Information (continued)

7. Attorney or other representative, if applicable.

Firm Name: _____

Mailing Address: _____

City/Town: _____

State: _____ Zip Code: _____

Business Phone: _____

Ext.: _____

Attorney: _____

Title: _____

E-mail: _____

8. Engineer(s), surveyor(s) and/or other consultant(s) employed or retained to assist in preparing the application and designing or constructing the activity.

Name: Gap Mountain Consulting Engineers, PLLC

Mailing Address: 19 Old Mill Road

City/Town: Jaffrey

State: NH Zip Code: 03452

Business Phone: _____

Ext.: _____

Contact Person: Cory Attra

Title: Professional Engineer

E-mail: cory@gapmountainengineering.com

Service Provided: Repair Design Plans

Part IV: Pre-Application Coordination

If pre-application coordination occurred, provide DEEP LWRD staff contact information:

Staff Name: Emily Herz

Date: 1-22-2025

Part V: Supporting Documents

As applicable, check the box by the attachments listed to indicate that they have been submitted. When submitting any supporting documents, please label the documents as indicated in this part (e.g., Attachment A, etc.) and be sure to include the applicant's name as indicated on this application form. Attach the materials below following this transmittal form.

- Attachment A Structures, Dredging and Fill fee calculation worksheet (if applicable)
- Attachment B Co-applicant information sheet (if applicable)
- Attachment C Written permission from land owner (if applicant is not the owner)
- Attachment D Additional signature sheet (if applicable)

Part VI: Applicant Certification

The applicant(s) and any individual(s) responsible for actually preparing the application must sign this section. An application will be considered insufficient unless all required signatures are provided.

"I have personally examined and am familiar with the information submitted in the LWRD application and all attachments thereto, and I certify that based on reasonable investigation, including my inquiry of the individuals responsible for obtaining the information, the submitted information is true, accurate and complete to the best of my knowledge and belief.

I understand that a false statement in the submitted information may be punishable as a criminal offense, in accordance with section 22a-6 of the General Statutes, pursuant to section 53a-157b of the General Statutes, and in accordance with any other applicable statute.

I certify that the LWRD application is on complete and accurate forms as prescribed by the commissioner without alteration of the text.

I certify that I have complied with all notice requirements, if applicable, as listed in Section 22a-6g of the General Statutes."

Eric Rose

4/15/2025

Signature of Applicant

Date

Eric Rose

President, Canfield Island
Special Taxing District

Name of Applicant (print or type)

Title (if applicable)

Jim Bajek

4/15/2025

Signature of Preparer (if different than above)

Date

Jim Bajek

Permitting Agent

Name of Preparer (print or type)

Title (if applicable)

- Check here if additional signatures are required. If so, please reproduce this sheet and attach signed copies to this sheet as Attachment D. You must include signatures of any person preparing any report or parts thereof required in this application (i.e., professional engineers, surveyors, soil scientists, consultants, etc.).

Part VII: Application Submission

Instructions for submitting an application to DEEP LWRD:

1. Please submit a hardcopy of **only** this completed License Application Transmittal Form and fee, to:

**CENTRAL PERMIT PROCESSING UNIT
DEPARTMENT OF ENERGY & ENVIRONMENTAL PROTECTION
79 ELM STREET
HARTFORD, CT 06106-5127**

Applications will not be processed without the fee. Fee shall be non-refundable and shall be paid by check or money order to the Connecticut Department of Energy & Environmental Protection. State Agencies should submit the applicable registration/application package **without** the application fee and check the box in Part I to indicate the fee will be paid by Inter-Agency Transfer of Funds.

2. Upon receipt of the Transmittal Form and fee, the Central Permit Processing Unit (CPPU) will e-mail a confirmation receipt letter to you containing the DEEP assigned application number.
3. Upon receipt of the email from CPPU, electronically submit the full application package with the remaining required forms:
 - a. Send an empty/blank email to DEEP.LWRDRegulatorySubmittals@ct.gov
 - b. An automated email response will contain instructions for uploading this Transmittal Form and applicable Program Forms, management plans, or additional supporting documents of your application to the LWRD File Transfer Protocol (FTP) website.
 - c. Follow directions contained in the email for uploading the application sections.

If you are not capable of submitting the application electronically or if you have other questions or concerns regarding



Connecticut Department of
 Energy & Environmental Protection
 Bureau of Water Protection & Land Reuse
 Land & Water Resources Division

LWRD License Application Form D

Certificate of Permission

All sections of the LWRD application, when applicable, must be posted to the DEEP LWRD FTP site as instructed on Part VII of the LWRD Transmittal Form. See [LWRD Application Instructions](#) for general guidance.

Application Number (as assigned in CPPU e-mail): _____
 Applicant Name (same name used on Part III of the LWRD Transmittal Form): Canfield Island Special Taxing District

Part I: Pre-Submission Consultations

The application process requires preliminary coordination and input from other agencies/groups depending on the activity and the location. Consultations with other agencies must occur prior to application submission. Please allow 6-8 weeks for the necessary coordination. For this application, the applicant should start with these consultations, as applicable (See Part VII for further guidance).

Attachments:

20 NDDB	23 Fisheries
21 Wildlife- osprey	24 Aquaculture
22 Dredging Projects	26 Shellfish Commission (for beach nourishment/groin replacement only)

Part II: Notifications

If your town has a [Harbor Management Commission](#), submit a copy of this completed application by certified mail to the Commission and submit the certified mail receipt as Attachment 6 following this form.

Part III: Site and Resource Information

1. SITE ADDRESS

Address: Canfield Island Bridge City/Town: Norwalk State: CT Zip Code: 06855

Part III: Site and Resource Information (continued)

2. MUNICIPAL ZONING

Is the proposed work consistent with municipal zoning requirements?

Yes No If no, explain: _____

3. WATERBODY/WATERCOURSES/WETLANDS

List names of all waters impacted by the proposed activity: Canfield Island Creek/LIS

4. INDIAN LANDS

Is the activity that is the subject of this application located on federally recognized Indian lands? Yes No

5. AQUIFER PROTECTION AREAS

Is the site located within a mapped Level A or Level B [Aquifer Protection Area](#), as defined in CGS section 22a-354a through 22a-354bb?

Yes No If yes, check one: Level A or Level B

If Level A, are any of the [regulated activities](#), as defined in RCSA section 22a-354i-1(34), conducted on this site? Yes No If yes, and your business is **not** already registered with the Aquifer Protection Program, contact the [aquifer protection agent](#) or DEEP to take appropriate action.

For more information on the Aquifer Protection Area Program, contact the program at 860-424-3019 or visit the website at www.ct.gov/deep/aquiferprotection. See [LWRD Application Instructions](#) for further guidance.

6. CONSERVATION OR PRESERVATION RESTRICTIONS

Will the activity which is the subject of this application be located within a conservation or preservation restriction area? Yes No

If yes, provide proof of written notice of this application to the holder of such restriction, and/or or a letter from the holder of such restriction verifying that this application is in compliance with the terms of the restriction, as Attachment 8.

7. LICENSE HISTORY

Indicate the number and date of issuance of any previous state permits or certificates issued by DEEP or USACE which authorized work at the site, and the names to whom they were issued.

<i>License/Permit/COP Authorization Number and Name of Agency</i>	<i>Date Issued</i>	<i>Name of Permittee/ Certificate Holder</i>	<i>Brief Description of Work Authorized</i>
<u>CTDEEP SD-H-87-182</u>	<u>8-14-1987</u>	<u>Norwalk Shorehaven Association</u>	<u>Replace & Maintain Bridge</u>
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

8. SOIL AND/OR GROUNDWATER REMEDIATION

Does the site work include soil and/or groundwater remediation? Yes No

If yes, please provide reference documentation including a) plan views of the site showing the area of contamination and b) a summary of remediation with chemical analysis, clean-up status, and remediation program identification, as Attachment 9.

Part III: Site and Resource Information (continued)

9. ENFORCEMENT HISTORY

Is this application associated with a formal or informal enforcement action that is pending with DEEP?

Yes No

If yes, please provide the enforcement action reference number and name of the DEEP staff contact:

Enforcement Action #: _____

DEEP Division/Program: _____

DEEP Staff Contact: _____

If the property was the subject of any historical enforcement actions known to the applicant, explain:

10. Regulatory Limit – See [Reference Guide for Regulatory Jurisdiction](#) for further explanation if necessary.

Indicate the landward extent of the State's regulatory jurisdiction by checking one box:

Coastal Jurisdiction Line (CJL) – for CJL information, refer to the [Coastal Jurisdiction Fact Sheet and Chart](#)

Mean High Water (MHW) – for projects located upstream of a tide gate, dam or weir (structure must be shown on project plans).

Tidal Wetland Boundary – To be used if tidal wetlands are located landward of CJL or MHW. Include one foot above local extreme high water, if applicable.

11. Tidal Elevations

Provide site elevations for CJL, MHW, Mean Low Water (MLW) and the High Tide Line (HTL)* in NAVD88. For general elevation reference and conversion, please refer to [USACE Tidal Flood Profiles](#); [CO-OPS Map - NOAA Tides & Currents](#); or, [Online Datum: Vertical Datums Transformation](#).

CJL = 5.4' MHW = 3.3' MLW = -3.8' HTL = 5.4'

*The HTL is necessary for USACE jurisdiction and required as part of the USACE application.

Part III: Site and Resource Information (continued)

12. Coastal Resource Impact Table

Check the applicable boxes below to identify coastal resources to be impacted by the proposed activity at the project site. Describe the impacts, as applicable. For definitions, refer to the [Connecticut Coastal Management Manual](#).

Resource Type	square feet			Describe Impacts
	Permanent impact	Temporary impact	Mitigation	
<input type="checkbox"/> Beaches/Dunes below HTL below CJL				N/A
<input type="checkbox"/> Tidal Wetlands				Identify if existing vegetation is salt, brackish or freshwater wetland. A maximum of 100 s.f. of temporary wetland impacts may be considered. The wetland impact must be completely restored, preferably in-place, but absolutely on-site. Plan details of the existing and proposed impact area must include the temporary storage location of the plants. N/A
<input type="checkbox"/> Nearshore waters				No impact
Resource Type	Describe Impacts (temporary and Permanent)			
<input checked="" type="checkbox"/> Benthic Habitat	Minimal impact from pile wraps to 2 ft below bottom			
<input type="checkbox"/> Intertidal Flats	N/A			
<input type="checkbox"/> Submerged Aquatic Vegetation (SAV)	N/A			
<input type="checkbox"/> Rocky Shorefront	Include rocky intertidal areas. N/A			
<input checked="" type="checkbox"/> Finfish	Minimal impact: finfish will avoid work area during activities			
<input type="checkbox"/> Wildlife	No impact			
<input checked="" type="checkbox"/> Shellfish Areas	Maps available at The Aquaculture Mapping Atlas . Minimal impact to Natural Shellfish Beds			
<input type="checkbox"/> Coastal Hazard Area	Discuss FEMA compliance. N/A			
<input type="checkbox"/> Bluffs/Escarpments	Describe impacts associated with flood and erosion control structures. N/A			
<input type="checkbox"/> Islands	If new access is proposed, describe how island resources will be impacted. N/A			
<input type="checkbox"/> Coastal Flooding	Describe how tide gates/fill/seawall height increases will impact flooding. N/A			
<input type="checkbox"/> Water Circulation Patterns	Describe impacts from groins/abutments/jetties. N/A			
<input type="checkbox"/> Drainage Patterns	Describe impacts from impervious surfaces/outfalls/weep holes and stormwater modifications. N/A			
<input type="checkbox"/> Visual Quality	Only applies to public views of statewide scenic significance N/A			
<input checked="" type="checkbox"/> Water Quality	Discuss sediment and erosion controls, water handling, and stormwater treatment. Minimal impact during pile wrap installation into ocean bottom			

Part IV: Project Information

1. Describe, briefly, the *existing* structures within state regulatory jurisdiction, and their conditions and uses at the site of the proposed work. **Provide photographs showing resources and existing site conditions as Attachment 10.**

The Canfield Island Bridge was last reconstructed in 1987 and is in need of some major repairs. This bridge is the only way for vehicular access to and from the island. See attached Inspection Report which includes photographs of the existing conditions and recommended repairs.

2a. Describe the proposed regulated work and activities in a detailed narrative, including the number and dimensions of structures and the volume and area of fill or excavations. See [LWRD Application Instructions](#) for required information.

The proposed regulated work includes installing fiberglass reinforced plastic and carbon fiber to each of the existing 45 timber support pilings; metal reinforcing rods will be inserted at appropriate locations then epoxy mortar will be injected through the jacket into the voids around each piling; also the existing timber cross-bracings will be replaced with steel crossbracings; the bridge decking planks will also be replaced as well as the bridge railings.

b. Describe the construction activities involved for the project in detail, including methods, sequencing, equipment and any alternative construction methods that might be employed. For coastal dredging projects, identify the type of equipment with bucket and barge capacity and, for upland disposal, provide containment facility details (See [Reference for Coastal/Tidal Dredging](#)).

The proposed work will be accomplished mainly by hand labor utilizing a work boat and floats for the above water activities under the bridge; a diver will conduct the underwater part of the work.

c. Describe any erosion and sedimentation or turbidity control installation and maintenance schedule and plans in detail. Such plans should be prepared in accordance with the [2002 Connecticut Guidelines for Soil Erosion and Sediment Control](#), as revised, established pursuant to CGS section 22a-328.

It is our understanding that no erosion, sedimentation or turbidity controls will be needed for the proposed work.

d. Anticipated date of project initiation: The applicant wants to begin as soon as the authorization is in hand

Indicate the length of time needed to complete the project and identify any anticipated time restrictions: It is estimated that it will take about 100 days to complete all proposed work

3. After all measures to eliminate or minimize adverse resource impacts have been incorporated in the proposed project describe why any adverse impacts that remain should be deemed acceptable by the Land & Water Resources Division. For projects involving stormwater management, low-impact development practices should be incorporated to the greatest extent practicable. Explain any reasons for not using a low-impact development practice. See [LWRD Application Instructions](#) for further guidance.

The overall impacts of this project will be minimal and the bridge needs this work conducted as soon as possible.

4. The proposed work is associated with which of the following uses? (Check all that apply.)

- | | |
|---|--|
| <input type="checkbox"/> Marine commercial/industrial use including aquaculture | <input type="checkbox"/> Flood and erosion control |
| <input type="checkbox"/> Residential boating access | <input checked="" type="checkbox"/> Public access |
| <input type="checkbox"/> Shared residential boating access | <input checked="" type="checkbox"/> Infrastructure improvement |
| <input type="checkbox"/> Other – explain: _____ | |

Part IV: Project Information (continued)

5. If the site is a marina or yacht club, provide the following:
- Number of boat slips and moorings: N/A (should be consistent with plans submitted as Attachment 14)
 - Type of marine sanitation service provided at the facility. _____
 - Check here to confirm that at least one plan view notes the location of upland support including adequate parking, a marina office, and restrooms.
 - Check the applicable services provided:

<input type="checkbox"/> boat repair/maintenance	<input type="checkbox"/> winter storage
<input type="checkbox"/> gas/fuel hook-up	<input type="checkbox"/> electric hook-up
<input type="checkbox"/> fishing amenities	<input type="checkbox"/> boating and/or equipment sales
6. If local/municipal review has or will require a Coastal Site Plan Review for activities at this site, please explain the associated upland work. N/A
7. If modifications are proposed to a pre-1995 flood and erosion control structure (FECS), please confirm:
- | | |
|--------------------------|---|
| N/A | Confirm |
| <input type="checkbox"/> | <input type="checkbox"/> FECS modifications will not support an increase in upland fill |
| <input type="checkbox"/> | <input type="checkbox"/> Seawall height increase is less than 12.0" and justified in Part IV, question 3. |
| <input type="checkbox"/> | <input type="checkbox"/> If FECS consists of riprap or revetment, no more than 10% volume of new stone is proposed |
| <input type="checkbox"/> | <input type="checkbox"/> No more than 12"-18" of new waterward encroachment for bulkhead replacement/repair with appropriate justification for the encroachment in Item 3, above. New encroachment should be measured from the outermost bulkhead whaler or piling. |
8. Check here if the proposed work is related to a pre-1939, pre-1987 (installed above MHW), and/or pre-1995 structure, and provide photographs, including dates, to document the date of installation as Attachment 11 following this form.

Part V: Engineering Support Documentation and Certification

Certain types of projects require documentation of engineering design. If you answer yes to one of the questions below, you must submit a completed [Engineering Report Cover Sheet](#) (DEEP-LWRD-APP-001R) as Attachment 18 along with the relevant engineering report(s).

1. Does the proposed activity include engineered structures such as bridges, culverts, stormwater management systems, detention basins, and/or flood & erosion control structures?
- Yes No

2. Is the proposed activity located in a FEMA-designated Riverine or Coastal Floodplain?

Yes No

If yes, provide documentation in the Engineering Report which demonstrates that the project is in compliance with FEMA's National Flood Insurance Program requirements and the local flood ordinance for the municipality.

NOTE – Only the following activities in the Coastal Floodplain require engineering: buildings, flood and erosion control structures; public access facilities; and, tide regulating structures. See Engineering Report Cover Sheet for further guidance.

3. Is the proposed activity located in a FEMA-designated Floodway Yes No

If yes, the Engineering Report must include a statement signed by a registered professional engineer that there is no-rise. This documentation must be supported by technical data that is derived from a standard step-backwater computer model utilizing source data from the Flood Insurance Rate Map (FIRM) or Flood Boundary and Floodway Map (FBFM).

If a No-rise Certification form is available through the municipality, please include it in the Engineering Report. For further information on No-Rise Certification, see [No-Rise Certification for Floodways | FEMA.gov](#)

The *Engineering Report Cover Sheet* shall be signed and sealed by a Professional Engineer licensed in the State of Connecticut. Supporting documentation as identified in the checklist may consist of engineering studies and other documentation, as appropriate, in order to describe the hydrologic and hydraulic effects of the proposed actions.

Part VI: Certificate of Permission Eligibility

Check all applicable boxes to confirm eligibility.

Pursuant to Connecticut General Statutes (CGS) Section 22a-363b(a) and (b):

Previously Authorized Structures or Activities

- A. Substantial maintenance or repair of existing structures, fill, obstructions or encroachments authorized pursuant to CGS section 22a-33 or 22a-361 or installed prior to June 24, 1939, CGS section 22a-363b(c).
- B. Maintenance dredging of areas which have been dredged and continuously maintained and serviceable as authorized pursuant to CGS section 22a-33 or 22a-361.
- C. Minor alterations or amendments to permitted activities consistent with the original permit.
- D. Placement or reconfiguration of piers, floats, docks, and moorings within existing waterward boundaries of recreational marinas or yacht clubs which have been authorized pursuant to CGS section 22a-33 or 22a-361.

Pre-1995 Structures or Activities

- E. Retention of activities completed prior to January 1, 1995.
- F. Minor alterations to activities completed prior to January 1, 1995.
- G. Substantial maintenance of any structures, fill, obstructions or encroachments in place prior to January 1, 1995, and continuously maintained and serviceable since such time.

Pre-1987 Structures

- H. Substantial maintenance or repair of structures, fill, obstructions or encroachments placed landward of the mean high waterline and waterward of the coastal jurisdiction line, completed prior to October 1, 1987, and continuously maintained and serviceable since said date.

Other Activities

- I. The removal of derelict structures or vessels.
- J. Placement of temporary structures for water-dependent uses as defined in CGS section 22a-93.
- K. Open water marsh management, tidal wetland restoration, resource restoration or enhancement activity, as defined in CGS subsection (a) of section 22a-361, including beach nourishment, and conservation activities undertaken by or under the supervision of the Department of Energy & Environmental Protection.

Pursuant to CGS Sec. 22a-363h:

- L. Living shoreline projects with consent from LWRD staff.

Part VI: Supporting Documents (continued)

- Attachment 22** **Dredging Consultation Form**
(REQUIRED for dredging activities only.)
If dredging is proposed, please refer to [Reference for Coastal/Tidal Dredging](#) and submit a completed [Dredging Consultation Form](#).

- Attachment 23** **Fisheries Consultation Form**
If your project involves maintenance dredging, beach nourishment (may be required for groin replacement), or cofferdam installation, submit a completed [Fisheries Consultation Form \(DEEP-FISH APP007\)](#). Note: Fisheries consultation is **not required** for disposal only of dredge sediment at one of the open water sites (generally NY dredge projects).

- Attachment 24** **Department of Agriculture/Bureau of Aquaculture Consultation**
If your project involves maintenance dredging or beach nourishment (may be required for groin replacement), submit a completed [Department of Agriculture/Bureau of Aquaculture Consultation Form](#). Consultation is not required for towns north of Orange and Derby/Ansonia on the Housatonic River system; Lyme and Essex on the Connecticut River; and Norwich and Preston on the Thames River.

- Attachment 26** **Shellfish Commission Consultation Form**
If your town has a [Shellfish Commission](#) and your project includes beach nourishment (may be required for groin replacement), submit a completed [Shellfish Commission Consultation Form](#).

- Attachment 41** [Applicant Compliance Information Form](#) (DEEP-APP002) **REQUIRED**
- Attachment 42** [Applicant Background Information Form](#) (DEEP-APP-008) **REQUIRED**
- Attachment 43** **Other Information:** Any other applicable information the applicant deems relevant or is required by DEEP.



LWRD License Application Pre-Submission Consultation Form Harbor Management Commission

You need to complete and submit this form only if your town has a [Harbor Management Commission](#).

To the applicant- Prior to the submission of your license application to the Connecticut Department of Energy and Environmental Protection (DEEP) Land & Water Resources Division (LWRD), please complete Part I, below, and submit this form to your local harbor management commission (contact the town for the appropriate contact person) with a location map of your site and project plans. Once the commission returns the completed form to you, please submit it along with your license application to DEEP.

Part I: To be completed by APPLICANT

1. Applicant/Registrant Information

Name: Norwalk Cove Marina, Inc.
 Mailing Address: 48 Calf Pasture Beach Road
 City/Town: Norwalk State: CT Zip Code: 06855
 Business Phone: _____ Ext.: _____
 Contact Person: Mr. Rob Gardella Title: _____
 Business Phone: _____ Ext.: _____
 E-mail: RobG@norwalkcove.com

2. Engineer/Surveyor/Agent Information (list as applicable)

Name: John Hilts Title: Application Preparer
 Mailing Address: Post Office Box 47
 City/Town: Rowayton State: CT Zip Code: 06853-0047
 Business Phone: 475-441-1244 Ext.: _____
 Contact Person: _____ Title: _____
 Business Phone: _____ Ext.: _____
 E-mail: mrhilts@erols.com
 Service Provided: Preparation of permit applications

3. Site Location:

Name of Site : Cove Ascension Bulkhead and Breakwater
 Street Address: 66 Calf Pasture Beach Road
 City/Town: Norwalk State: CT Zip Code: 06855
 Tax Assessor's Reference: Map 24SW Block 75 Lot 1, 2 & 17
 Name of Waterbody: Norwalk Harbor

4. Confirm location map and site plans are attached.

Date of plans: 12/06/23

5. Provide or attach a brief, but thorough description of the project.

Replace deteriorated bulkhead and seawalls with steel bulkhead; excavate sand and place in geotubes within new breakwater; replace deteriorated wave wall with steel sheet and stone breakwater.

Part II: To be completed by HARBOR MANAGEMENT COMMISSION

This consultation form is required to be submitted as part of an application for a Structures, Dredging & Fill license (Connecticut General Statutes (CGS) Section 22a-361) and/or Tidal Wetlands license (CGS Section 22a-32) to DEEP LWRD. The application has not yet been submitted to DEEP. Please review the enclosed materials and determine whether the project is consistent or inconsistent with your local Harbor Management Plan. You may also provide comments or recommendations regarding the proposal. The Harbor Management Commission may still provide written comments to the Commissioner during DEEP's public notice comment period. Should you have any questions regarding this process, please call LWRD at 860-424-3019. **Please return the completed form to the applicant within 60 days of receipt or consistency will be assumed.**

HARBOR MANAGEMENT COMMISSION DETERMINATION:

Check one of the following:

- The Commission has determined that the work as described in Part I of this form and attachments is **CONSISTENT** with the Harbor Management Plan.
- The Commission has determined that the work as described in Part I of this form and attachments is **INCONSISTENT** with the following section of the Harbor Management Plan: _____

COMMENTS/RECOMMENDATIONS (or check here if attached:):

Signature of Commission Representative

Date

Print Name of Commission Representative

Title



VICINITY MAP

FROM U.S.G.S. NORWALK SOUTH QUADRANGLE MAP

SCALE: 1:24000

PURPOSE: EROSION CONTROL & WAVE ATTENUATION
 DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988
 ADJACENT PROPERTY OWNER: CITY OF NORWALK
 APPLICATION PREPARED BY: JOHN HILTS P.O. BOX 47, ROWAYTON, CT 06853

PROPOSED REPLACEMENT OF BULKHEAD AND WAVE WALL IN NORWALK
 HARBOR AT 66 CALF PASTURE BEACH ROAD, NORWALK, FAIRFIELD COUNTY, CT
 APPLICANT: NORWALK COVE MARINA, INC.
 DATE: 12/06/23 SHEET 1 OF 6 REVISION NUMBER: DATE:



A S S E S S O R ' S M A P

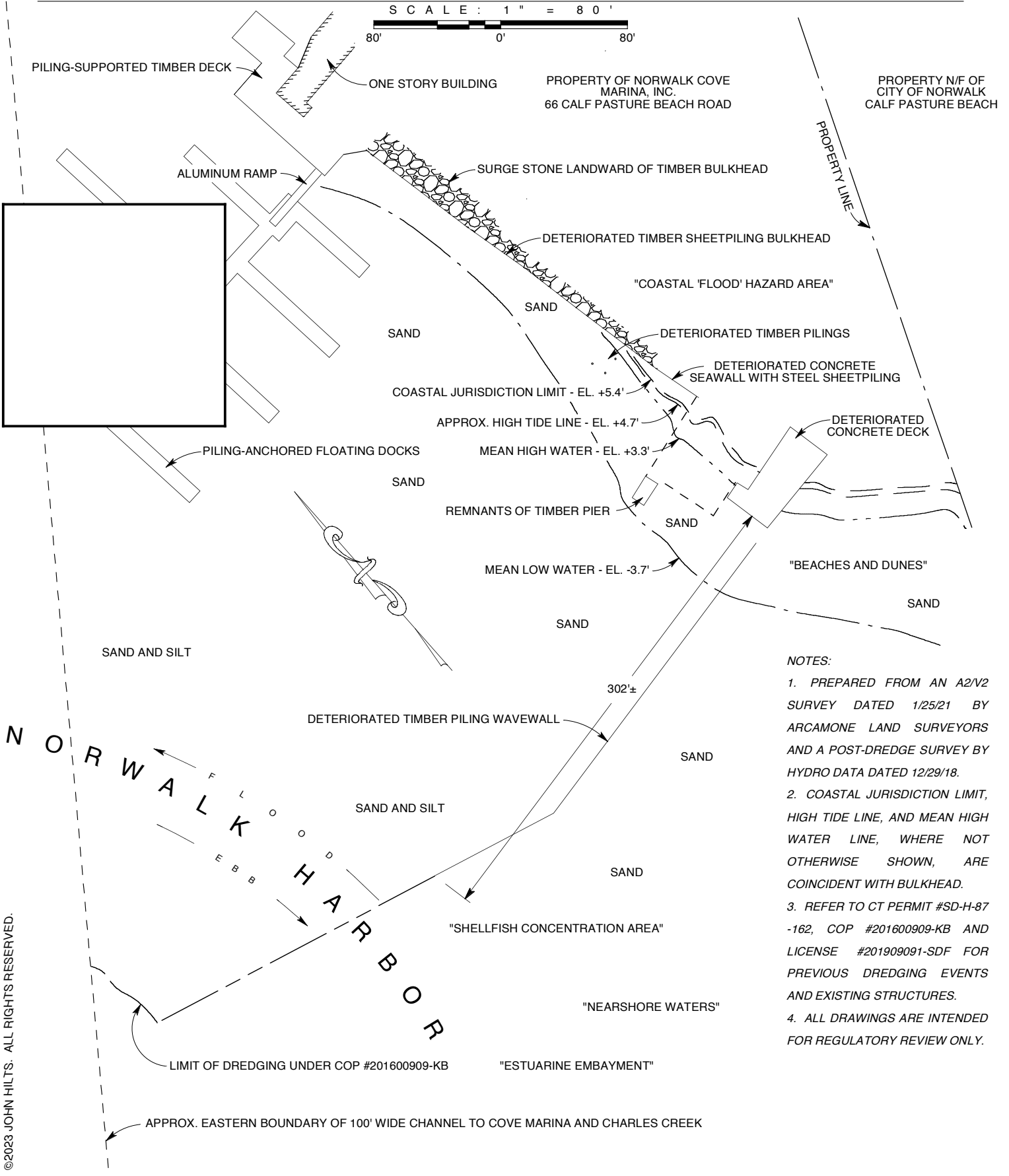
FROM NORWALK G.I.S

MAP 24SW BLOCK 75 PARCELS 1,2 & 17

PURPOSE: EROSION CONTROL & WAVE ATTENUATION
DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988
ADJACENT PROPERTY OWNER: CITY OF NORWALK
APPLICATION PREPARED BY: JOHN HILTS P.O. BOX 47, ROWAYTON, CT 06853

PROPOSED REPLACEMENT OF BULKHEAD AND WAVE WALL IN NORWALK HARBOR AT 66 CALF PASTURE BEACH ROAD, NORWALK, FAIRFIELD COUNTY, CT
APPLICANT: NORWALK COVE MARINA, INC.
DATE: 12/06/23 SHEET 2 OF 6 REVISION NUMBER: DATE:

EXISTING GENERAL PLAN VIEW

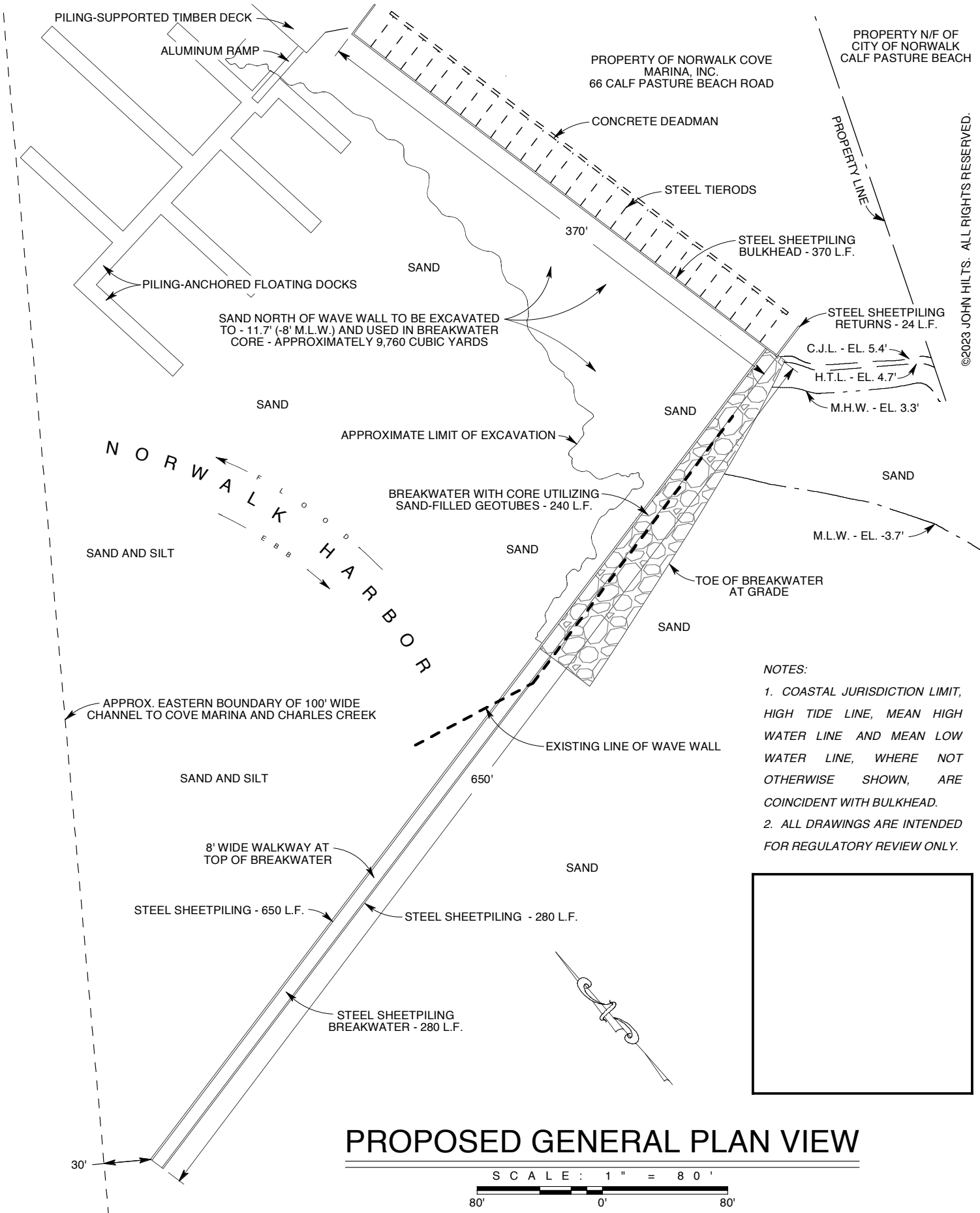


- NOTES:**
1. PREPARED FROM AN A2/V2 SURVEY DATED 1/25/21 BY ARCAMONE LAND SURVEYORS AND A POST-DREDGE SURVEY BY HYDRO DATA DATED 12/29/18.
 2. COASTAL JURISDICTION LIMIT, HIGH TIDE LINE, AND MEAN HIGH WATER LINE, WHERE NOT OTHERWISE SHOWN, ARE COINCIDENT WITH BULKHEAD.
 3. REFER TO CT PERMIT #SD-H-87-162, COP #201600909-KB AND LICENSE #201909091-SDF FOR PREVIOUS DREDGING EVENTS AND EXISTING STRUCTURES.
 4. ALL DRAWINGS ARE INTENDED FOR REGULATORY REVIEW ONLY.

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PURPOSE: EROSION CONTROL & WAVE ATTENUATION
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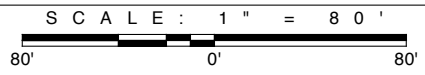
PROPOSED REPLACEMENT OF BULKHEAD AND WAVE WALL IN NORWALK HARBOR AT 66 CALF PASTURE BEACH ROAD, NORWALK, FAIRFIELD COUNTY, CT
 APPLICANT: NORWALK COVE MARINA, INC.
 DATE: 12/06/23 SHEET 1 OF 6 REVISION NUMBER: DATE:



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NOTES:
 1. COASTAL JURISDICTION LIMIT, HIGH TIDE LINE, MEAN HIGH WATER LINE AND MEAN LOW WATER LINE, WHERE NOT OTHERWISE SHOWN, ARE COINCIDENT WITH BULKHEAD.
 2. ALL DRAWINGS ARE INTENDED FOR REGULATORY REVIEW ONLY.

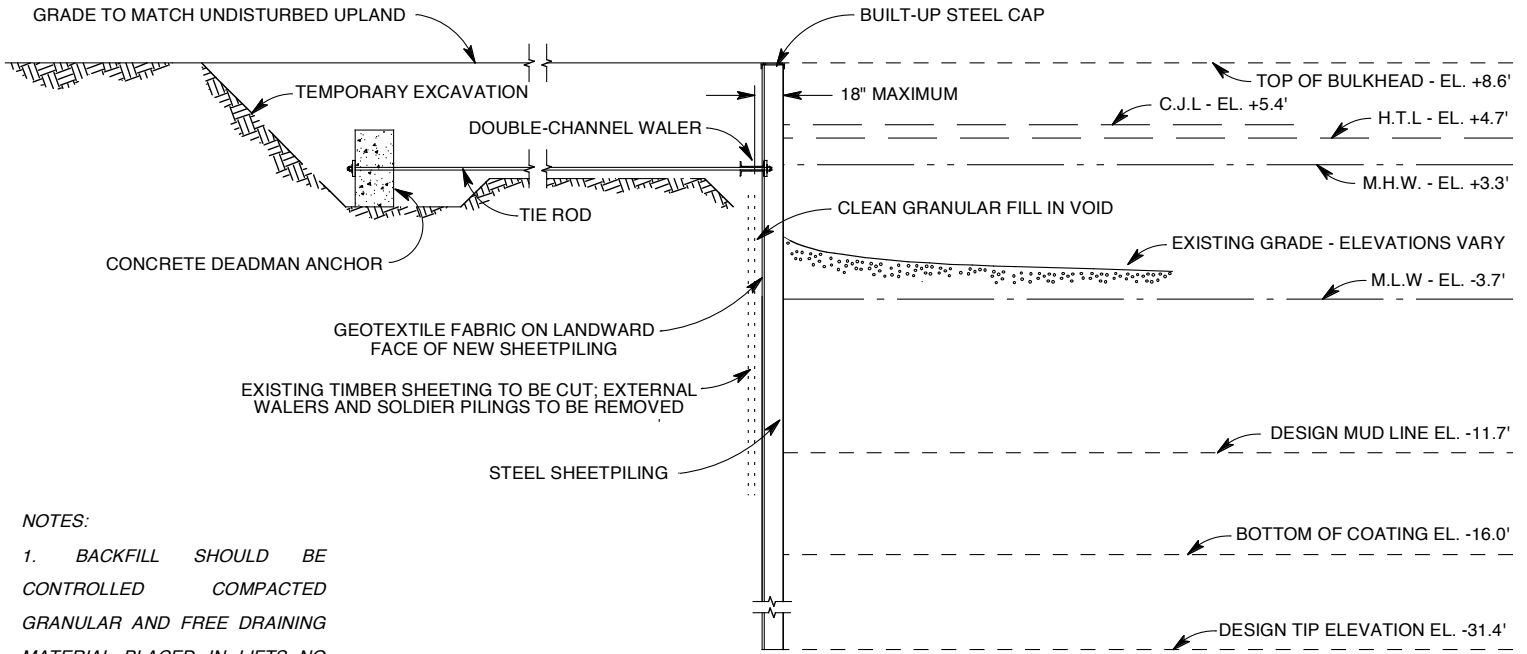
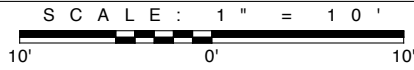
PROPOSED GENERAL PLAN VIEW



PURPOSE: EROSION CONTROL & WAVE ATTENUATION
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 APPLICATION PREPARED BY: JOHN HILTS P.O. BOX 47, ROWAYTON, CT 06853

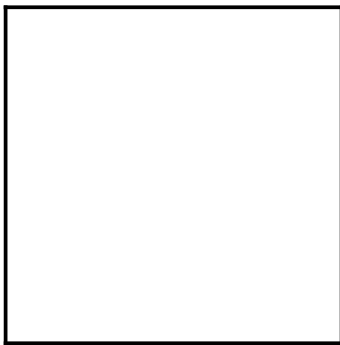
PROPOSED REPLACEMENT OF BULKHEAD AND WAVE WALL IN NORWALK HARBOR AT 66 CALF PASTURE BEACH ROAD, NORWALK, FAIRFIELD COUNTY, CT
 APPLICANT: NORWALK COVE MARINA, INC.
 DATE: 12/06/23 SHEET 4 OF 6 REVISION NUMBER: DATE:

PROPOSED BULKHEAD SECTION



NOTES:

1. BACKFILL SHOULD BE CONTROLLED COMPACTED GRANULAR AND FREE DRAINING MATERIAL PLACED IN LIFTS NO GREATER THAN 1.0'.
2. DRAWING IS INTENDED FOR REGULATORY REVIEW ONLY.

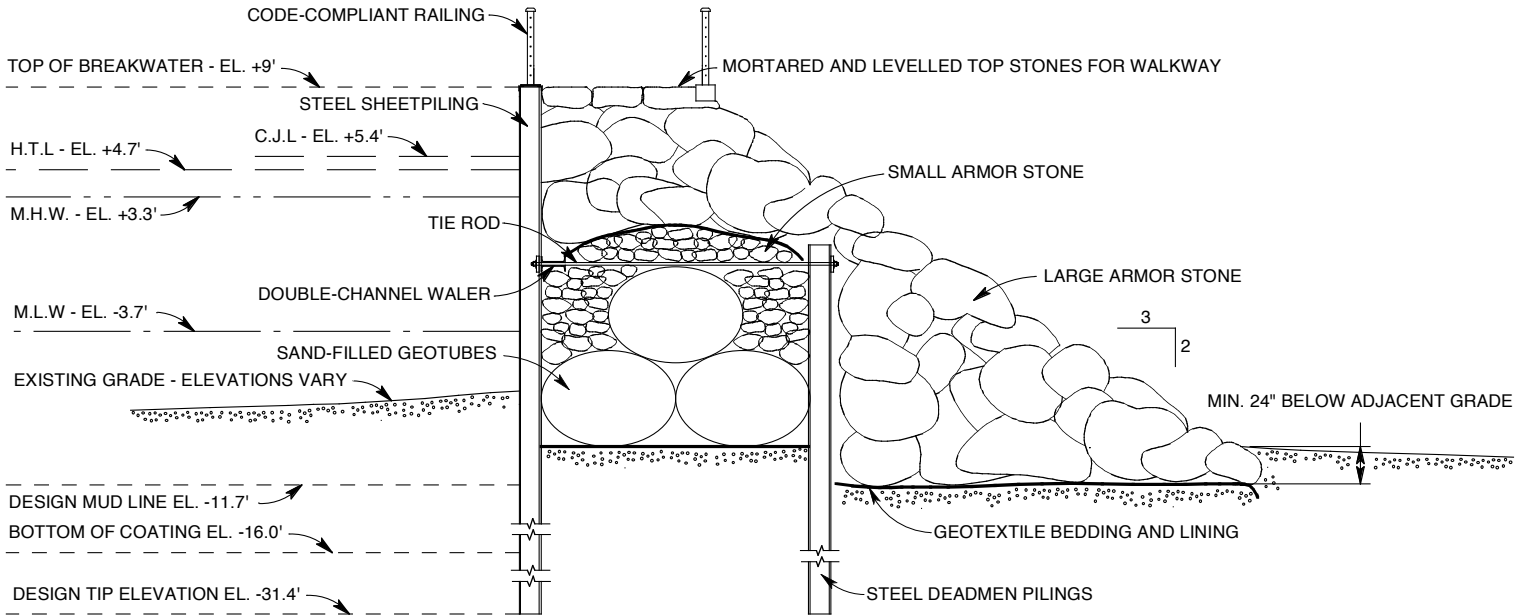
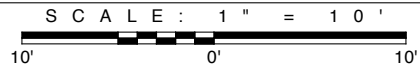


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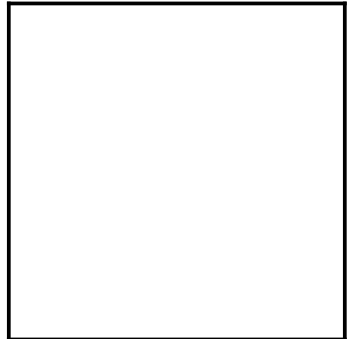
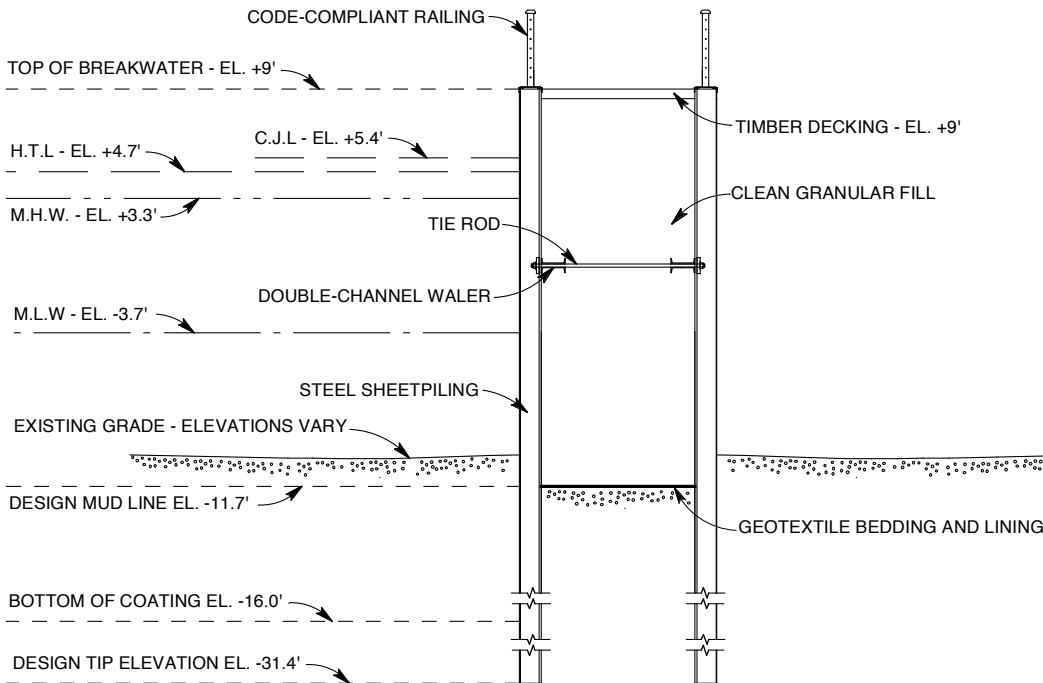
PURPOSE: EROSION CONTROL & WAVE ATTENUATION
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 DATE: 12/06/23 SHEET 5 OF 6 REVISION NUMBER: DATE:

STONE / GEOTUBE BREAKWATER SECTION



STEEL SHEETPIILING BREAKWATER SECTION



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NOTE: DRAWING IS FOR REGULATORY REVIEW ONLY.

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STATE OF CONNECTICUT DEPARTMENT OF
ENERGY & ENVIRONMENTAL PROTECTION
LAND AND WATER RESOURCE DIVISION
BUREAU OF WATER PROTECTION AND LAND REUSE
CERTIFICATE OF PERMISSION APPLICATION

APPLICANT:

Thomas Juterbock
Seawall Repair
9 Nylked Terrace, Norwalk, CT 06853

April 2025

Prepared By:



**611 Access Road
Stratford, CT 06615
Tel: (203) 377-0663
Fax: (203) 375-6561**

Project No. 2025011

Table of Contents

<u>Section</u>	<u>Attachment</u>	<u>Description</u>	<u>Form</u>
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3	10	Site Photographs	
4	11	Photographic Documentation	
5	14	Project Plans	
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SECTION 1

LWRD License Application Form D





Connecticut Department of
Energy & Environmental Protection
Bureau of Water Protection & Land Reuse
Land & Water Resources Division

LWRD License Application Form D

Certificate of Permission

All sections of the LWRD application, when applicable, must be posted to the DEEP LWRD FTP site as instructed on Part VII of the LWRD Transmittal Form. See [LWRD Application Instructions](#) for general guidance.

Application Number (as assigned in CPPU e-mail): _____

Applicant Name (same name used on Part III of the LWRD Transmittal Form): _____

Part I: Pre-Submission Consultations

The application process requires preliminary coordination and input from other agencies/groups depending on the activity and the location. Consultations with other agencies must occur prior to application submission. Please allow 6-8 weeks for the necessary coordination. For this application, the applicant should start with these consultations, as applicable (See Part VII for further guidance).

Attachments:

- | | |
|----------------------|---|
| 20 NDDB | 23 Fisheries |
| 21 Wildlife- osprey | 24 Aquaculture |
| 22 Dredging Projects | 26 Shellfish Commission (for beach
nourishment/groin replacement only) |

Part II: Notifications

If your town has a [Harbor Management Commission](#), submit a copy of this completed application by certified mail to the Commission and submit the certified mail receipt as Attachment 6 following this form.

Part III: Site and Resource Information

1. SITE ADDRESS

Address: _____ City/Town: _____ State: _____ Zip Code: _____

Part III: Site and Resource Information (continued)

2. MUNICIPAL ZONING

Is the proposed work consistent with municipal zoning requirements?

Yes No If no, explain:

3. WATERBODY/WATERCOURSES/WETLANDS

List names of all waters impacted by the proposed activity:

4. INDIAN LANDS

Is the activity that is the subject of this application located on federally recognized Indian lands? Yes No

5. AQUIFER PROTECTION AREAS

Is the site located within a mapped Level A or Level B [Aquifer Protection Area](#), as defined in CGS section 22a-354a through 22a-354bb?

Yes No If yes, check one: Level A or Level B

If Level A, are any of the [regulated activities](#), as defined in RCSA section 22a-354i-1(34), conducted on this site? Yes No If yes, and your business is **not** already registered with the Aquifer Protection Program, contact the [aquifer protection agent](#) or DEEP to take appropriate action.

For more information on the Aquifer Protection Area Program, contact the program at 860-424-3019 or visit the website at www.ct.gov/deep/aquiferprotection. See [LWRD Application Instructions](#) for further guidance.

6. CONSERVATION OR PRESERVATION RESTRICTIONS

Will the activity which is the subject of this application be located within a conservation or preservation restriction area? Yes No

If yes, provide proof of written notice of this application to the holder of such restriction, and/or a letter from the holder of such restriction verifying that this application is in compliance with the terms of the restriction, as Attachment 8.

7. LICENSE HISTORY

Indicate the number and date of issuance of any previous state permits or certificates issued by DEEP or USACE which authorized work at the site, and the names to whom they were issued.

<i>License/Permit/COP Authorization Number and Name of Agency</i>	<i>Date Issued</i>	<i>Name of Permittee/ Certificate Holder</i>	<i>Brief Description of Work Authorized</i>
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

8. SOIL AND/OR GROUNDWATER REMEDIATION

Does the site work include soil and/or groundwater remediation? Yes No

If yes, please provide reference documentation including a) plan views of the site showing the area of contamination and b) a summary of remediation with chemical analysis, clean-up status, and remediation program identification, as Attachment 9.

Part III: Site and Resource Information (continued)

9. ENFORCEMENT HISTORY

Is this application associated with a formal or informal enforcement action that is pending with DEEP?

Yes No

If yes, please provide the enforcement action reference number and name of the DEEP staff contact:

Enforcement Action #: _____

DEEP Division/Program: _____

DEEP Staff Contact: _____

If the property was the subject of any historical enforcement actions known to the applicant, explain:

10. Regulatory Limit – See [Reference Guide for Regulatory Jurisdiction](#) for further explanation if necessary.

Indicate the landward extent of the State’s regulatory jurisdiction by checking one box:

- Coastal Jurisdiction Line (CJL)**– for CJL information, refer to the [Coastal Jurisdiction Fact Sheet and Chart](#).
- Mean High Water (MHW)** – for projects located upstream of a tide gate, dam or weir (structure must be shown on project plans).
- Tidal Wetland Boundary**– To be used if tidal wetlands are located landward of CJL or MHW. Include one foot above local extreme high water, if applicable.

11. Tidal Elevations

Provide site elevations for CJL, MHW, Mean Low Water (MLW) and the High Tide Line (HTL)* in NAVD88. For general elevation reference and conversion, please refer to [USACE Tidal Flood Profiles](#); [CO-OPS Map - NOAA Tides & Currents](#); or, [Online VDatum: Vertical Datums Transformation](#).

CJL = _____ MHW = _____ MLW = _____ HTL = _____

*The HTL is necessary for USACE jurisdiction and required as part of the USACE application.

Part III: Site and Resource Information (continued)

12. Coastal Resource Impact Table

Check the applicable boxes below to identify coastal resources to be impacted by the proposed activity at the project site. Describe the impacts, as applicable. For definitions, refer to the [Connecticut Coastal Management Manual](#).

Resource Type	square feet			Describe Impacts
	Permanent impact	Temporary impact	Mitigation	
<input type="checkbox"/> Beaches/Dunes below HTL below CJL	30			
<input type="checkbox"/> Tidal Wetlands				Identify if existing vegetation is salt, brackish or freshwater wetland. A maximum of 100 s.f. of temporary wetland impacts may be considered. The wetland impact must be completely restored, preferably in-place, but absolutely on-site. Plan details of the existing and proposed impact area must include the temporary storage location of the plants.
<input type="checkbox"/> Nearshore waters				
Resource Type	Describe Impacts (temporary and permanent)			
<input type="checkbox"/> Benthic Habitat				
<input type="checkbox"/> Intertidal Flats				
<input type="checkbox"/> Submerged Aquatic Vegetation (SAV)				
<input type="checkbox"/> Rocky Shorefront	Include rocky intertidal areas.			
<input type="checkbox"/> Finfish				
<input type="checkbox"/> Wildlife				
<input type="checkbox"/> Shellfish Areas	Maps available at The Aquaculture Mapping Atlas .			
<input type="checkbox"/> Coastal Hazard Area	Discuss FEMA compliance.			
<input type="checkbox"/> Bluffs/Escarpments	Describe impacts associated with flood and erosion control structures.			
<input type="checkbox"/> Islands	If new access is proposed, describe how island resources will be impacted.			
<input type="checkbox"/> Coastal Flooding	Describe how tide gates/fill/seawall height increases will impact flooding.			
<input type="checkbox"/> Water Circulation Patterns	Describe impacts from groins/abutments/jetties.			
<input type="checkbox"/> Drainage Patterns	Describe impacts from impervious surfaces/outfalls/weep holes and stormwater modifications.			
<input type="checkbox"/> Visual Quality	Only applies to public views of statewide scenic significance.			
<input type="checkbox"/> Water Quality	Discuss sediment and erosion controls, water handling, and stormwater treatment.			

Part IV: Project Information

1. Describe, briefly, the *existing* structures within state regulatory jurisdiction, and their conditions and uses at the site of the proposed work. **Provide photographs showing resources and existing site conditions as Attachment 10.**

The existing site includes a stone and mortar seawall with a length of 243' and a width of 1.5' that runs along the waterfront with a top elevation of approximately +9.8' NAVD88. Waterward of this seawall is a stone revetment. On the southern end of the property, there is a small beach area, and waterward of the main seawall is a 44' long by 4.5' wide lower concrete seawall / knee wall with a top elevation ranging from +7.4' to +6.2' NAVD88. The height of the lower seawall measured from grade varies from 2.5' to 3.2'. The lower seawall extends a minimum of 1' below grade at its Southern end, where a small test hole was dug by hand. The lower seawall has been in continuous existence since at least 1938 (see photograph #1, section 4), therefore the approximate age of the seawall is at least 87 years. The full extent of the wall geometry below grade is unknown and limited to the 1' deep test pit. At the southernmost part of the property, there is a set of stairs connecting the beach to the upland part of the property.

- 2a. Describe the proposed regulated work and activities in a detailed narrative, including the number and dimensions of structures and the volume and area of fill or excavations. See [LWRD Application Instructions](#) for required information.

The applicant is requesting permission to retain repairs to the lower seawall. There were no repairs or modifications to the existing upper stone and mortar wall or revetment. The pre-repair lower seawall was made of concrete and was approximately 43' long x 3.75' wide x 2.75' tall and was significantly deteriorated. Please see attached photographs #6 and #7 for pre-repair conditions. The repair made to the lower section of seawall involved the installation of steel reinforcing on the top and waterward faces. The reinforcing was arranged in a grid pattern and affixed to the faces with steel reinforcing doweled into the concrete. Forms were set consisting of plywood and timber around the pre-repair structure. Concrete was then poured into the forms. The concrete was poured in a manner to fill any cracks and voids in the pre-repair structure. Pre-repair dimensions have been estimated based on photographic evidence as well as site information previously collected by RACE Coastal Engineering, Inc. The volume of concrete used in the repair has been estimated to be approximately 7.5 cubic yards, based on a comparison of the approximate pre-repair and post repair dimensions.

- b. Describe the construction activities involved for the project in detail, including methods, sequencing, equipment, and any alternative construction methods that might be employed. For coastal dredging projects, identify the type of equipment with bucket and barge capacity and, for upland disposal, provide containment facility details (See [Reference for Coastal/Tidal Dredging](#)).

The construction of the repair was performed by laborers using hand and power tools. First, the reinforcement was installed as described in the response to question 2a. Then, a small trench approximately 8" wide was dug along the waterward faces and ends of the lower seawall. Timber formwork was constructed around the seawall. Concrete was then poured to fill any voids and cover the reinforcing. Finally, after the concrete cured, formwork was removed. The site was restored to conditions similar to those prior to the repair.

- c. Describe any erosion and sedimentation or turbidity control installation and maintenance schedule and plans in detail. Such plans should be prepared in accordance with the [2002 Connecticut Guidelines for Soil Erosion and Sediment Control](#), as revised, established pursuant to CGS section 22a- 328.

No erosion controls were needed for this repair.

- d. Anticipated date of project initiation: Project was completed 7/9/2024

Indicate the length of time needed to complete the project and identify any anticipated time restrictions:

N/A

3. After all measures to eliminate or minimize adverse resource impacts have been incorporated in the proposed project, describe why any adverse impacts that remain should be deemed acceptable by the Land & Water Resources Division. For projects involving stormwater management, low-impact development practices should be incorporated to the greatest extent practicable. Explain any reasons for not using a low-impact development practice. See [LWRD Application Instructions](#) for further guidance.

The primary justification of this project is that it constitutes a repair of an existing structure which has been maintained for many decades. The repair involved minor alterations to the dimensions of the structure. In addition, the lower seawall helps to stabilize the stone and mortar wall landward of it.

4. The proposed work is associated with which of the following uses? (Check all that apply.)

- | | |
|---|---|
| <input type="checkbox"/> Marine commercial/industrial use including aquaculture | <input checked="" type="checkbox"/> Flood and erosion control |
| <input type="checkbox"/> Residential boating access | <input type="checkbox"/> Public access |
| <input type="checkbox"/> Shared residential boating access | <input type="checkbox"/> Infrastructure improvement |
| <input type="checkbox"/> Other – explain: | |

Part IV: Project Information (continued)

5. If the site is a marina or yacht club, provide the following:
- Number of boat slips and moorings: N/A (should be consistent with plans submitted as Attachment 14)
 - Type of marine sanitation service provided at the facility. N/A
 - Check here to confirm that at least one plan view notes the location of upland support including adequate parking, a marina office, and restrooms.
 - Check the applicable services provided:

<input type="checkbox"/> boat repair/maintenance	<input type="checkbox"/> winter storage
<input type="checkbox"/> gas/fuel hook-up	<input type="checkbox"/> electric hook-up
<input type="checkbox"/> fishing amenities	<input type="checkbox"/> boating and/or equipment sales
6. If local/municipal review has or will require a Coastal Site Plan Review for activities at this site, please explain the associated upland work. N/A
7. If modifications are proposed to a pre-1995 flood and erosion control structure (FECS), please confirm:
- | | |
|-------------------------------------|---|
| N/A | Confirm |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> FECS modifications will not support an increase in upland fill |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> Seawall height increase is less than 12.0" and justified in Part IV, question 3. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> If FECS consists of riprap or revetment, no more than 10% volume of new stone is proposed |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> No more than 12"-18" of new waterward encroachment for bulkhead replacement/repair with appropriate justification for the encroachment in Item 3, above. New encroachment should be measured from the outermost bulkhead whaler or piling. |
8. Check here if the proposed work is related to a pre-1939, pre-1987 (installed above MHW), and/or pre-1995 structure, and provide photographs, including dates, to document the date of installation as Attachment 11 following this form.

Part V: Engineering Support Documentation and Certification

Certain types of projects require documentation of engineering design. If you answer yes to one of the questions below, you must submit a completed [Engineering Report Cover Sheet](#) (DEEP-LWRD-APP-001R) as Attachment 18 along with the relevant engineering report(s).

1. Does the proposed activity include engineered structures such as bridges, culverts, stormwater management systems, detention basins, and/or flood & erosion control structures?
- Yes No

2. Is the proposed activity located in a FEMA-designated Riverine or Coastal Floodplain?

Yes No

If yes, provide documentation in the Engineering Report which demonstrates that the project is in compliance with FEMA's National Flood Insurance Program requirements and the local flood ordinance for the municipality.

NOTE – Only the following activities in the Coastal Floodplain require engineering: buildings, flood and erosion control structures; public access facilities; and, tide regulating structures. See Engineering Report Cover Sheet for further guidance.

3. Is the proposed activity located in a FEMA-designated Floodway Yes No

If yes, the Engineering Report must include a statement signed by a registered professional engineer that there is no-rise. This documentation must be supported by technical data that is derived from a standard step-backwater computer model utilizing source data from the Flood Insurance Rate Map (FIRM) or Flood Boundary and Floodway Map (FBFM).

If a No-rise Certification form is available through the municipality, please include it in the Engineering Report. For further information on No-Rise Certification, see [No-Rise Certification for Floodways | FEMA.gov](#)

The *Engineering Report Cover Sheet* shall be signed and sealed by a Professional Engineer licensed in the State of Connecticut. Supporting documentation as identified in the checklist may consist of engineering studies and other documentation, as appropriate, in order to describe the hydrologic and hydraulic effects of the proposed actions.

Part VI: Certificate of Permission Eligibility

Check all applicable boxes to confirm eligibility.

Pursuant to Connecticut General Statutes (CGS) Section 22a-363b(a) and (b):

Previously Authorized Structures or Activities

- A. Substantial maintenance or repair of existing structures, fill, obstructions or encroachments authorized pursuant to CGS section 22a-33 or 22a-361 or installed prior to June 24, 1939, CGS section 22a-363b(c).
- B. Maintenance dredging of areas which have been dredged and continuously maintained and serviceable as authorized pursuant to CGS section 22a-33 or 22a-361.
- C. Minor alterations or amendments to permitted activities consistent with the original permit.
- D. Placement or reconfiguration of piers, floats, docks, and moorings within existing waterward boundaries of recreational marinas or yacht clubs which have been authorized pursuant to CGS section 22a-33 or 22a-361.

Pre-1995 Structures or Activities

- E. Retention of activities completed prior to January 1, 1995.
- F. Minor alterations to activities completed prior to January 1, 1995.
- G. Substantial maintenance of any structures, fill, obstructions or encroachments in place prior to January 1, 1995, and continuously maintained and serviceable since such time.

Pre-1987 Structures

- H. Substantial maintenance or repair of structures, fill, obstructions or encroachments placed landward of the mean high waterline and waterward of the coastal jurisdiction line, completed prior to October 1, 1987, and continuously maintained and serviceable since said date.

Other Activities

- I. The removal of derelict structures or vessels.
- J. Placement of temporary structures for water-dependent uses as defined in CGS section 22a-93.
- K. Open water marsh management, tidal wetland restoration, resource restoration or enhancement activity, as defined in CGS subsection (a) of section 22a-361, including beach nourishment, and conservation activities undertaken by or under the supervision of the Department of Energy & Environmental Protection.

Pursuant to CGS Sec. 22a-363h:

- L. Living shoreline projects with consent from LWRD staff.

Part VII: Supporting Documents

The following attachments correspond to Form D. **If the Attachment name is followed by “REQUIRED”, the attachment must be submitted with every application.** When submitting any supporting documents, please label the documents as indicated in this part (e.g., Attachment 6, etc.) and be sure to include the same applicant name used on Page 1 of this application form. Please check the box next to the attachments listed to indicate that they have been submitted, and provide the applicable attachments following this form. NOTE: Attachment numbering is NOT consecutive as the attachments relate to multiple LWRD program applications.

Attachment I.D.	Attachment Description
<input checked="" type="checkbox"/> Attachment 6	<p>Harbor Management Notification If your town has a Harbor Management Commission, submit the certified mail receipt as proof that this completed application was sent by certified mail to the Commission.</p>
<input type="checkbox"/> Attachment 8	Conservation or Preservation Restriction Information, if applicable.
<input type="checkbox"/> Attachment 9	Remediation Documentation , if applicable.
<input checked="" type="checkbox"/> Attachment 10	Photographs showing existing conditions of the site REQUIRED
<input checked="" type="checkbox"/> Attachment 11	Photographic Documentation of pre 1939, pre-1987 (above MHW) and/or pre-1995 installation.
<input checked="" type="checkbox"/> Attachment 14	Project Plans , use Project Plan Checklist for requirements REQUIRED
<input checked="" type="checkbox"/> Attachment 18	Engineering Report Cover Sheet (DEEP-LWRD-APP-001R)
<input type="checkbox"/> Attachment 20	<p>Natural Diversity Data Base (NDDDB) Completed NDDDB Determination #: _____ If the proposed activity is within an NDDDB area, complete and submit a Request for NDDB State Listed Species Review Form (DEEP-APP-007) to the address specified on the form, prior to submitting this application. For NDDDB maps and more information, visit the DEEP website at www.ct.gov/deep/nddbrequest or call the NDDDB staff at 860-424-3011.</p> <p>Please note NDDDB review generally takes 4 to 6 weeks and may require the applicant to produce additional documentation, such as ecological surveys, which must be completed prior to submitting this permit application. A copy of the NDDDB Final Determination response letter that has not expired must be submitted as Attachment 20. Include a copy of any mitigation measures or management plan developed for this activity and approved by NDDB. Please DO NOT include a copy of the NDDB Review Request/Application. Be aware that you must renew your NDDB Determination if it expires before project work commences.</p>
<input type="checkbox"/> Attachment 21	<p>DEEP Wildlife Division – Osprey Consultation If the proposed activity will occur within 300 feet of an osprey platform, please note that work will be prohibited between May 1st and July 31st unless a DEEP waiver is obtained. If this seasonal prohibition conflicts with the proposed work schedule, please contact the DEEP Wildlife Division’s Wildlife Diversity Program staff at deep.wildlife@ct.gov or 860-424-3011 for technical assistance before submitting your application. If you are seeking a seasonal prohibition waiver, documentation of the waiver issued by Wildlife Diversity Program staff must be submitted as Attachment 21. For known nesting locations, reference the Osprey Map at: https://www.google.com/maps/d/viewer?mid=1GyxnB-UAGxmselecH9Zj4UdH1uq&usp=sharing or https://www.ctaudubon.org/citizen-science.</p>

Part VI: Supporting Documents (continued)

- Attachment 22** **Dredging Consultation Form**
(**REQUIRED** for dredging activities only.)
If dredging is proposed, please refer to [Reference for Coastal/Tidal Dredging](#) and submit a completed [Dredging Consultation Form](#).
- Attachment 23** **Fisheries Consultation Form**
If your project involves maintenance dredging, beach nourishment (may be required for groin replacement), or cofferdam installation, submit a completed [Fisheries Consultation Form \(DEEP-FISH-APP-007\)](#). Note: Fisheries consultation is **not required** for disposal only of dredge sediment at one of the open water sites (generally NY dredge projects).
- Attachment 24** **Department of Agriculture/Bureau of Aquaculture Consultation**
If your project involves maintenance dredging or beach nourishment (may be required for groin replacement), submit a completed [Department of Agriculture/Bureau of Aquaculture Consultation Form](#). Consultation is not required for towns north of: Orange and Derby/Ansonia on the Housatonic River system; Lyme and Essex on the Connecticut River; and Norwich and Preston on the Thames River.
- Attachment 26** **Shellfish Commission Consultation Form**
If your town has a [Shellfish Commission](#) and your project includes beach nourishment (may be required for groin replacement), submit a completed [Shellfish Commission Consultation Form](#).
- Attachment 41** [Applicant Compliance Information Form](#) (DEEP-APP-002) **REQUIRED**
- Attachment 42** [Applicant Background Information Form](#) (DEEP-APP-008) **REQUIRED**
- Attachment 43** **Other Information:** Any other applicable information the applicant deems relevant or is required by DEEP.

SECTION 2

Attachment 6 – Harbor Management Notification



SECTION 3

Attachment 10 – Site Photographs





Figure 1: Aerial Image from Google Earth (4/26/2025)



Figure 2: Repaired Lower Seawall as Seen from Waterward Edge of Beach, Facing West (3/4/2025)



Figure 3: Repaired Lower Seawall, Facing Southwest (3/4/2025)



Figure 4: Residence, Upper and Lower Seawall, And Stone Revetment, Facing Northeast (3/4/2025)



Figure 5: End Of Lower Seawall Adjacent to Stairs, Facing Northeast (3/4/2025)



Figure 6: Former Deteriorated Lower Seawall, Facing Southwest (6/17/2024)



Figure 7: Severely Deteriorated Lower Seawall Adjacent to Stone Revetment, Facing North (6/17/2025)



Figure 8: Steel Reinforcement Installed on Existing Wall, Facing North (7/9/2025)



Figure 9: Installation Of Formwork in Preparation for Concrete Pour, Facing North (7/10/2025)

SECTION 4

Attachment 11 – Photographic Documentation





Figure 1: Norwalk Historical Society Photograph Showing Lower Wall pre-1938



Figure 2: 1956 Aerial of Property Showing Lower Wall

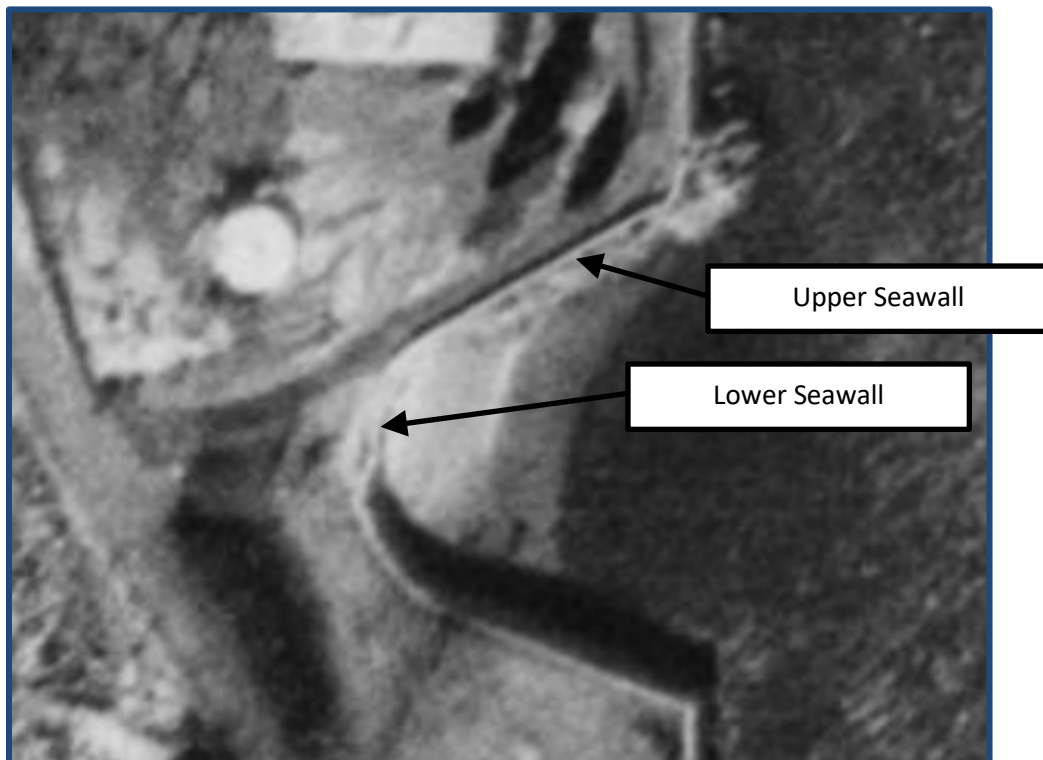


Figure 3: 1965 Aerial of Property Showing Upper and Lower Seawalls



Figure 4: 1978 Aerial Photograph



Figure 5: 1985 Aerial Photograph



Figure 6: 1990 Aerial Photograph



Figure 7: 2004 Aerial Showing Lower Seawall

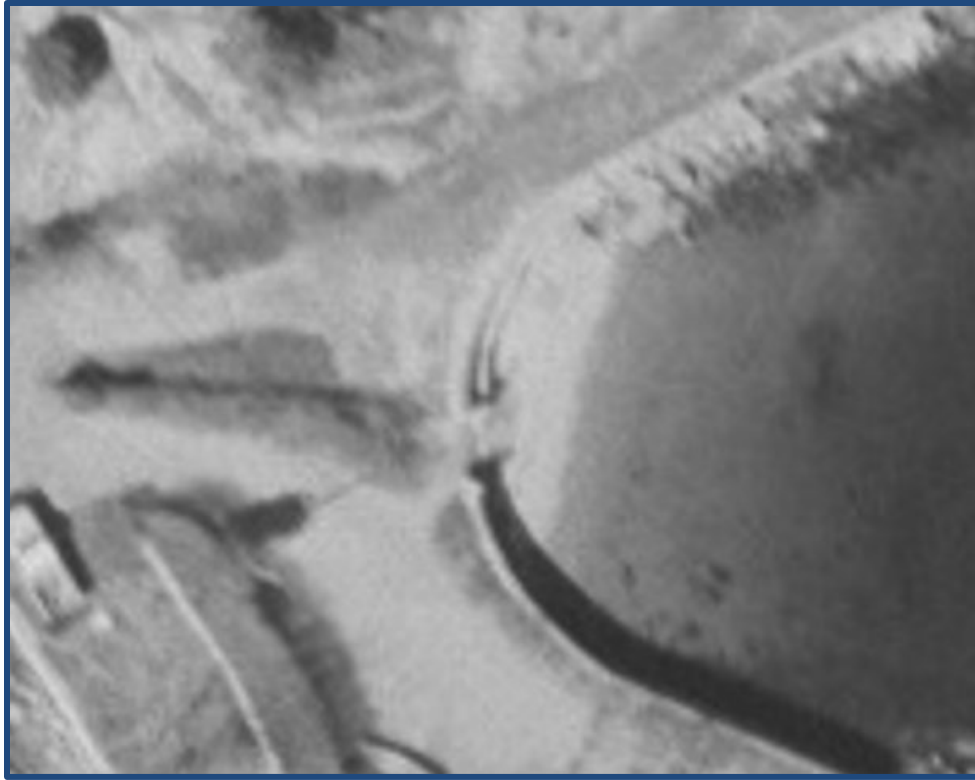


Figure 9: 2004 Aerial Photograph, Shadows Make Lower Wall Visible



Figure 10: Photograph of Lower Seawall in Serviceable Condition (10/09/2008)

SECTION 5

Attachment 14 – Project Plans




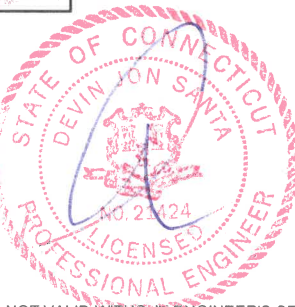
THOMAS JUTERBOCK SEAWALL REPAIR

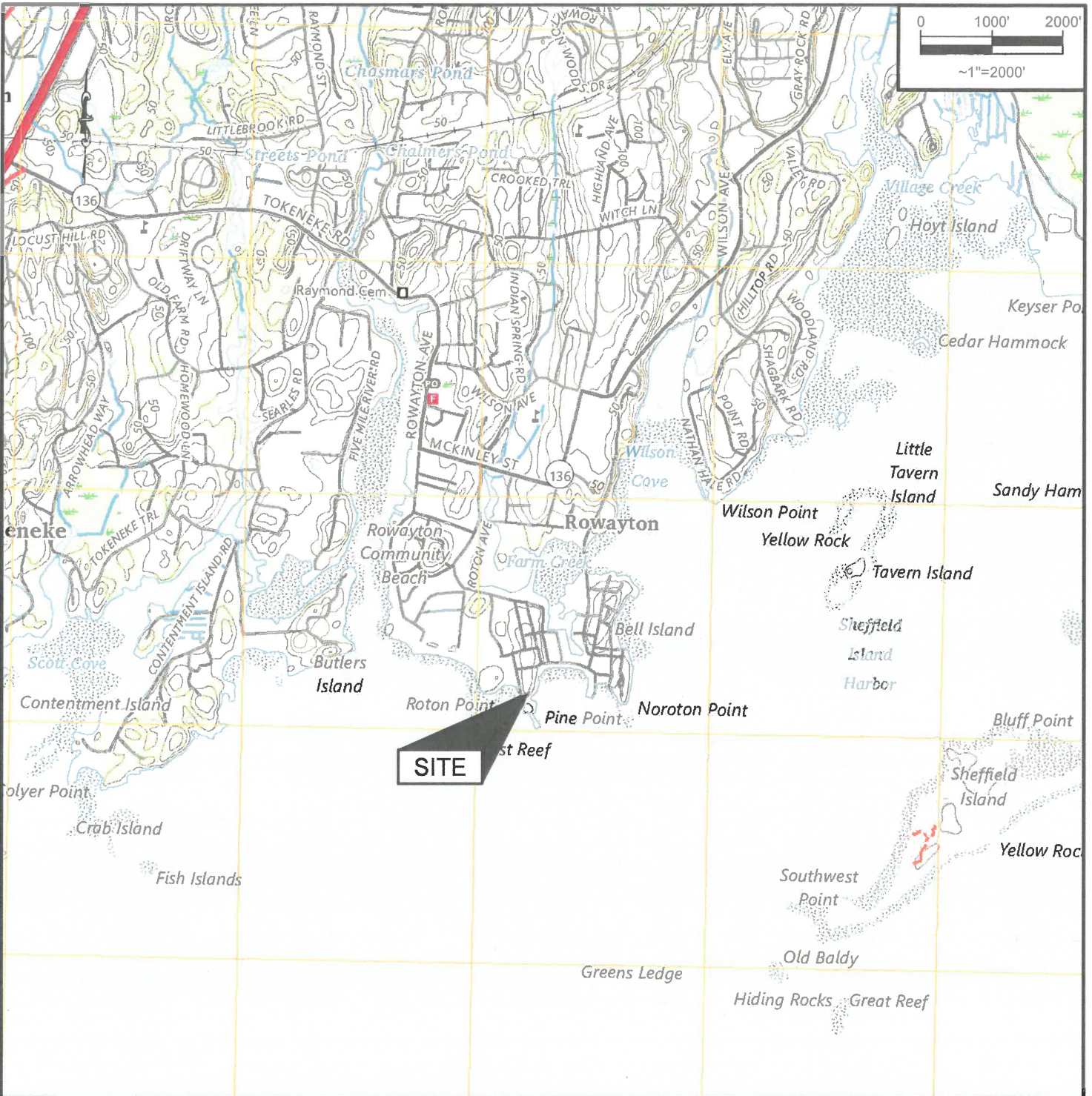
DRAWING LIST	
DWG No.	DRAWING TITLE
1	TITLE SHEET & GENERAL NOTES
2	VICINITY MAP
3	TAX ASSESSOR'S MAP
4	EXISTING SITE PLAN
5	ESTIMATED PRE-REPAIR PARTIAL PLAN
6	EXISTING POST-REPAIR PARTIAL PLAN
7	REPAIR SECTION 1

GENERAL NOTES

1. THE PURPOSE OF THESE DRAWINGS ARE FOR REGULATORY REVIEW ONLY.
2. VICINITY MAP TAKEN FROM USGS TOPOGRAPHIC MAP NORWALK SOUTH QUADRANGLE, CONNECTICUT - NEW YORK, 7.5 MINUTE SERIES, NORWALK SOUTH, CT, NY, 2024.
3. ELEVATIONS REFERENCE NORTH AMERICAN VERTICAL DATUM OF 1988, UNLESS NOTED OTHERWISE.
4. SITE INFORMATION TAKEN FROM A DRAWING TITLED "EXISTING SITE PLAN", PREPARED FOR THOMAS JUTERBOCK AND 7 NYLKED LLC., BY RACE COASTAL ENGINEERING, DATED 10/10/2014, AND REVISED ON 01/29/2015.
5. SUPPLEMENTARY INFORMATION OBTAINED BY RACE COASTAL ENGINEERING, INC. ON 03/04/2025 AND ONLY REPRESENT THE SITE CONDITIONS AT THAT TIME.
6. TIDAL ELEVATION DATA HAS BEEN TAKEN FROM BENCH MARK SHEET FOR SOUTH NORWALK, CT 8468448 FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION TIDES AND CURRENTS WEBSITE.

PROJECT TIDAL ELEVATIONS (NAVD 88)	
DATUM	ELEVATION (FT)
COASTAL JURISDICTION LINE (CJL)	+5.4
HIGH TIDE LINE (HTL)	+4.7
MEAN HIGHER HIGH WATER (MHHW)	+3.7
MEAN HIGH WATER (MHW)	+3.4
NAVD 88	0.0
NGVD 29	-1.1
MEAN LOW WATER (MLW)	-3.8
MEAN LOWER LOW WATER (MLLW)	-4.0

 <p>611 Access Road Stratford, CT 06615 Tel: 203-377-0663 racecoastal.com</p>	Prepared For:	SEAL:	Date:	Rev.:
	Project:	<p>THOMAS JUTERBOCK 9 NYLKED TERRACE NORWALK, CT 06853</p> <p>SEAWALL REPAIR 9 NYLKED TERRACE NORWALK, CT 06853</p>		4-22-2025
		Drawn By:		Checked By:
		Datum:	Scale:	
		Project No.:	Drawing No.:	
<p>ALL RIGHTS RESERVED. NOT FOR CONSTRUCTION FOR REGULATORY REVIEW ONLY</p> <p>©2025 RACE COASTAL ENGINEERING, INC. NOT VALID WITHOUT ENGINEER'S SEAL</p>			<p>NAVD 88 N/A</p> <p>2025011 1 of 7</p>	



VICINITY MAP

RACE
COASTAL ENGINEERING

611 Access Road Stratford, CT 06615
Tel: 203-377-0663 racecoastal.com

Prepared For:
THOMAS JUTERBOCK
 9 NYLKED TERRACE
 NORWALK, CT 06853

Project:
SEAWALL REPAIR
 9 NYLKED TERRACE
 NORWALK, CT 06853

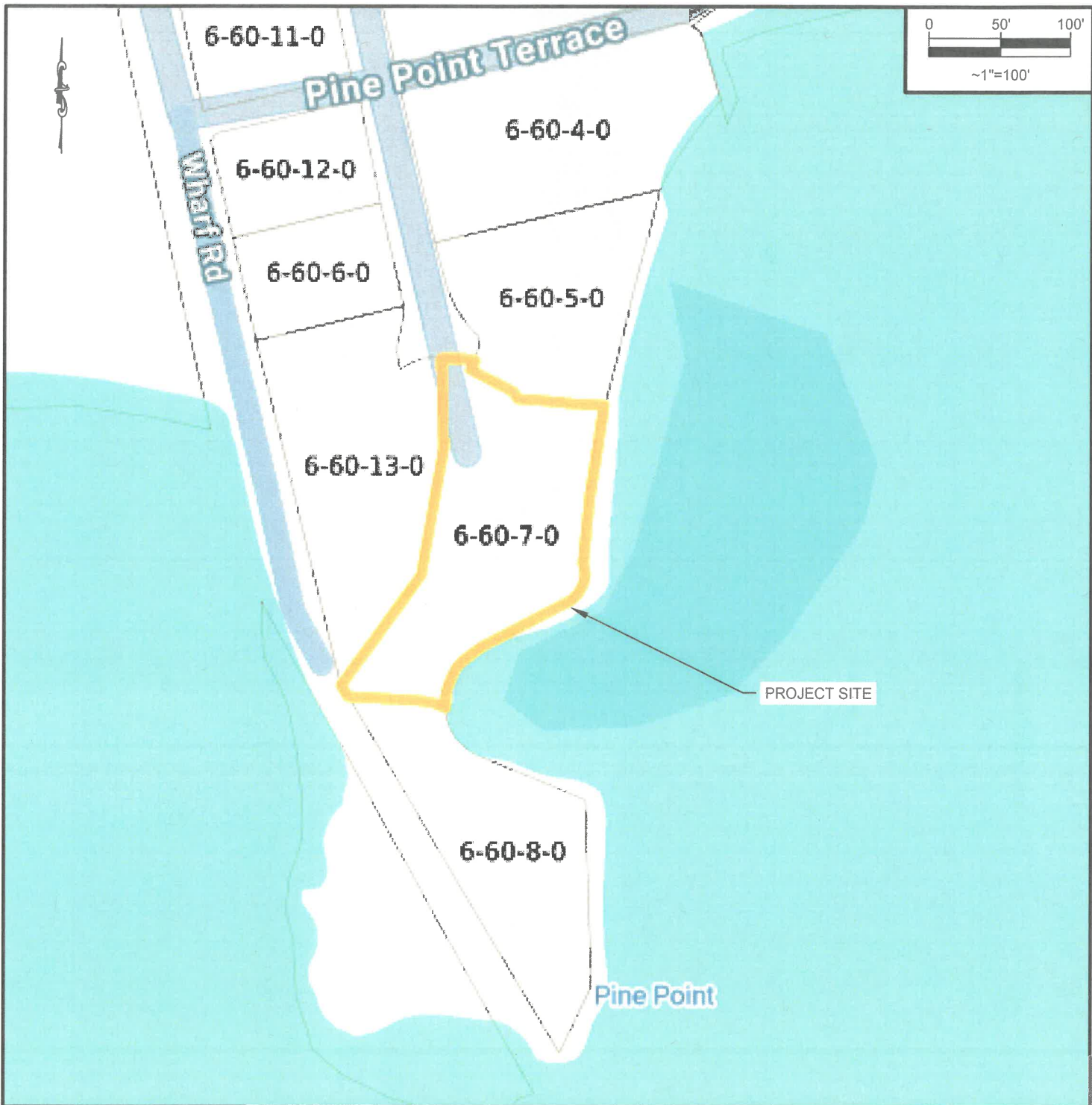
SEAL:

STATE OF CONNECTICUT
 DEVIN JON SANTA
 NO. 21424
 LICENSED PROFESSIONAL ENGINEER

Date:	Rev.:
4-22-2025	
Drawn By:	Checked By:
JRM/EL	DJS
Datum:	Scale:
NAVD 88	~1"=2000'
Project No.:	Drawing No.:
2025011	2 of 7

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TAX ASSESSOR'S MAP

RACE
COASTAL ENGINEERING
 611 Access Road Stratford, CT 06615
 Tel: 203-377-0663 racecoastal.com

Prepared For:
 THOMAS JUTERBOCK
 9 NYLKED TERRACE
 NORWALK, CT 06853

Project:
 SEAWALL REPAIR
 9 NYLKED TERRACE
 NORWALK, CT 06853

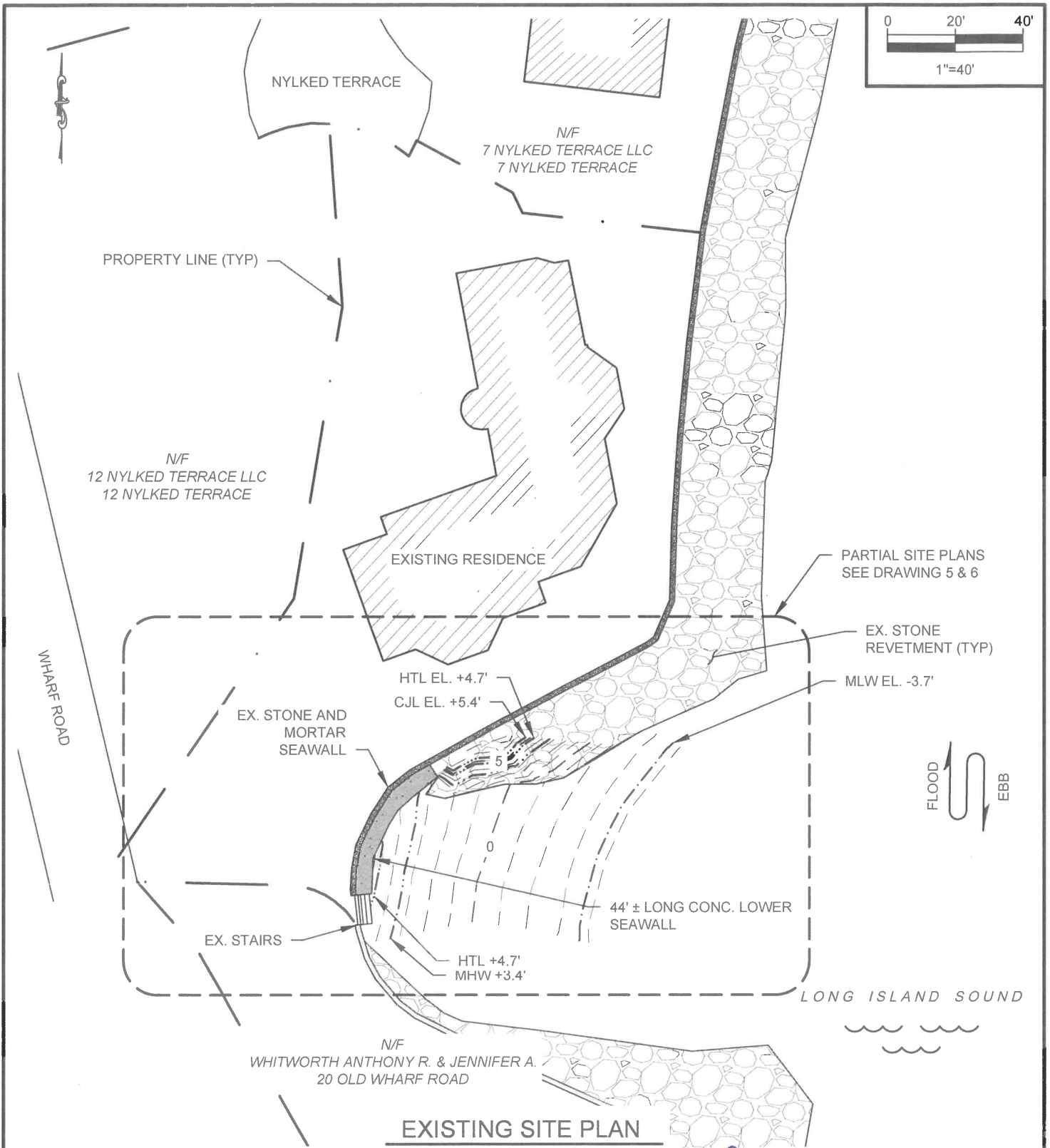
SEAL:

STATE OF CONNECTICUT
 DEVIN JON SANTA
 NO. 21424
 LICENSED PROFESSIONAL ENGINEER

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Drawn By:	JRM/EL	Checked By:	DJS
Datum:	NAVD 88	Scale:	~1"=100'
Project No.:	2025011	Drawing No.:	3 of 7

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RACE
 COASTAL ENGINEERING

611 Access Road Stratford, CT 06615
 Tel: 203-377-0663 racecoastal.com

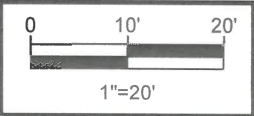
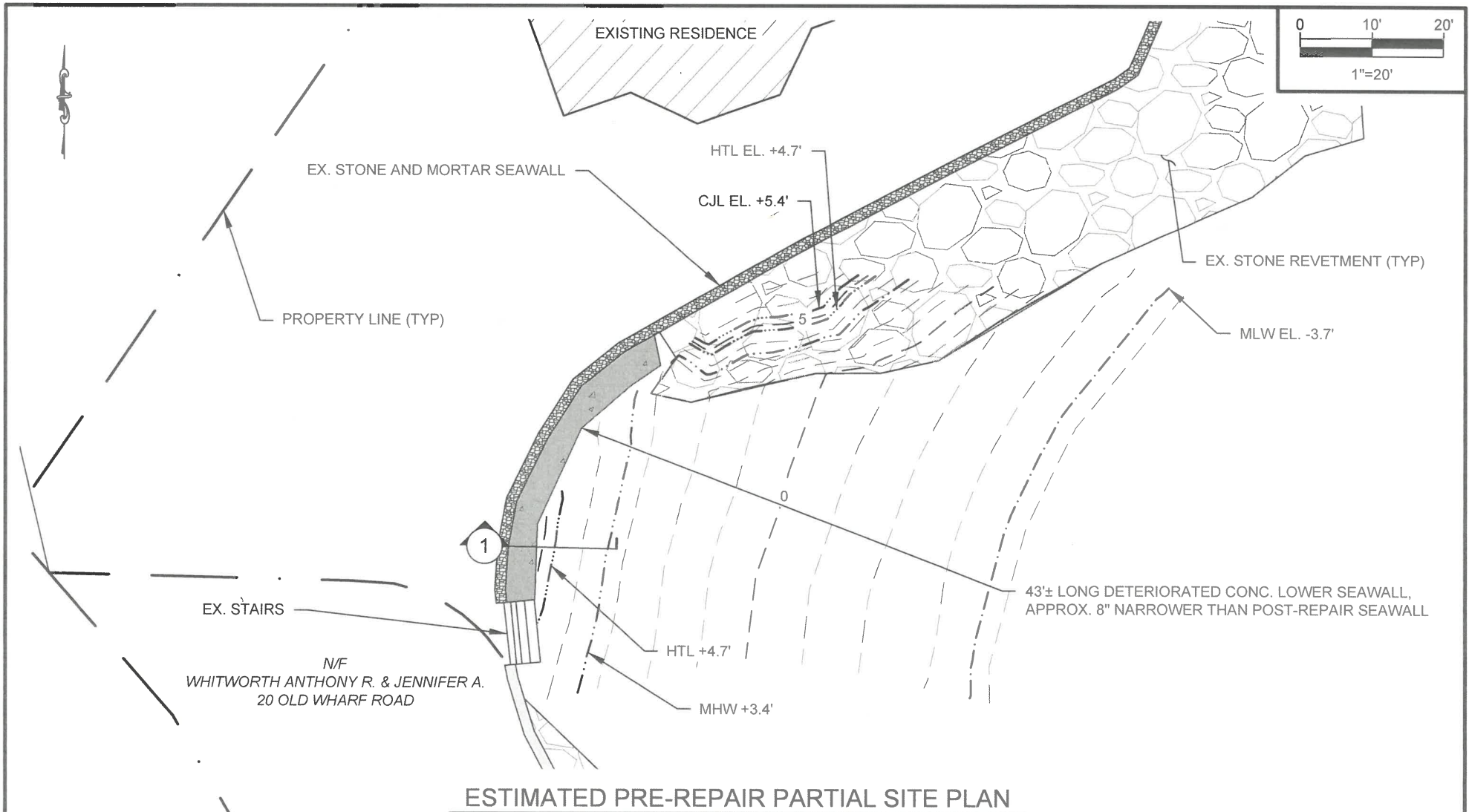
Prepared For:
 THOMAS JUTERBOCK
 9 NYLKED TERRACE
 NORWALK, CT 06853

Project:
 SEAWALL REPAIR
 9 NYLKED TERRACE
 NORWALK, CT 06853

SEAL:

STATE OF CONNECTICUT
 DEVIN JON SANTA
 NO. 21424
 PROFESSIONAL ENGINEER

Date:	4-22-2025	Rev.:	
Drawn By:	JRM/EL	Checked By:	DJS
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Project No.:	2025011	Drawing No.:	4 of 7



NOTE:

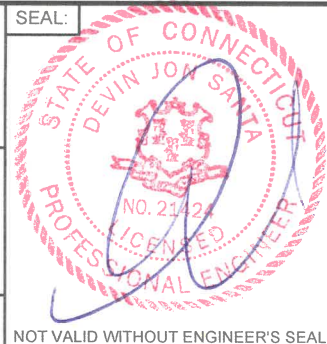
1. PRE-REPAIR CONDITIONS BASED ON SITE DATA TAKEN FROM DRAWING TITLED "7 AND 9 NYLKED TERRACE, PROPOSED DOCK" PREPARED BY RACE COASTAL ENGINEERING ON 10/10/2014, AND PHOTOGRAPHIC DOCUMENTATION OF THE REPAIRS THAT WAS PROVIDED TO RACE.

RACE
COASTAL ENGINEERING

611 Access Road Stratford, CT 06615
Tel: 203-377-0663 racecoastal.com

Prepared For:
THOMAS JUTERBOCK
9 NYLKED TERRACE
NORWALK, CT 06853

Project:
SEAWALL REPAIR
9 NYLKED TERRACE
NORWALK, CT 06853

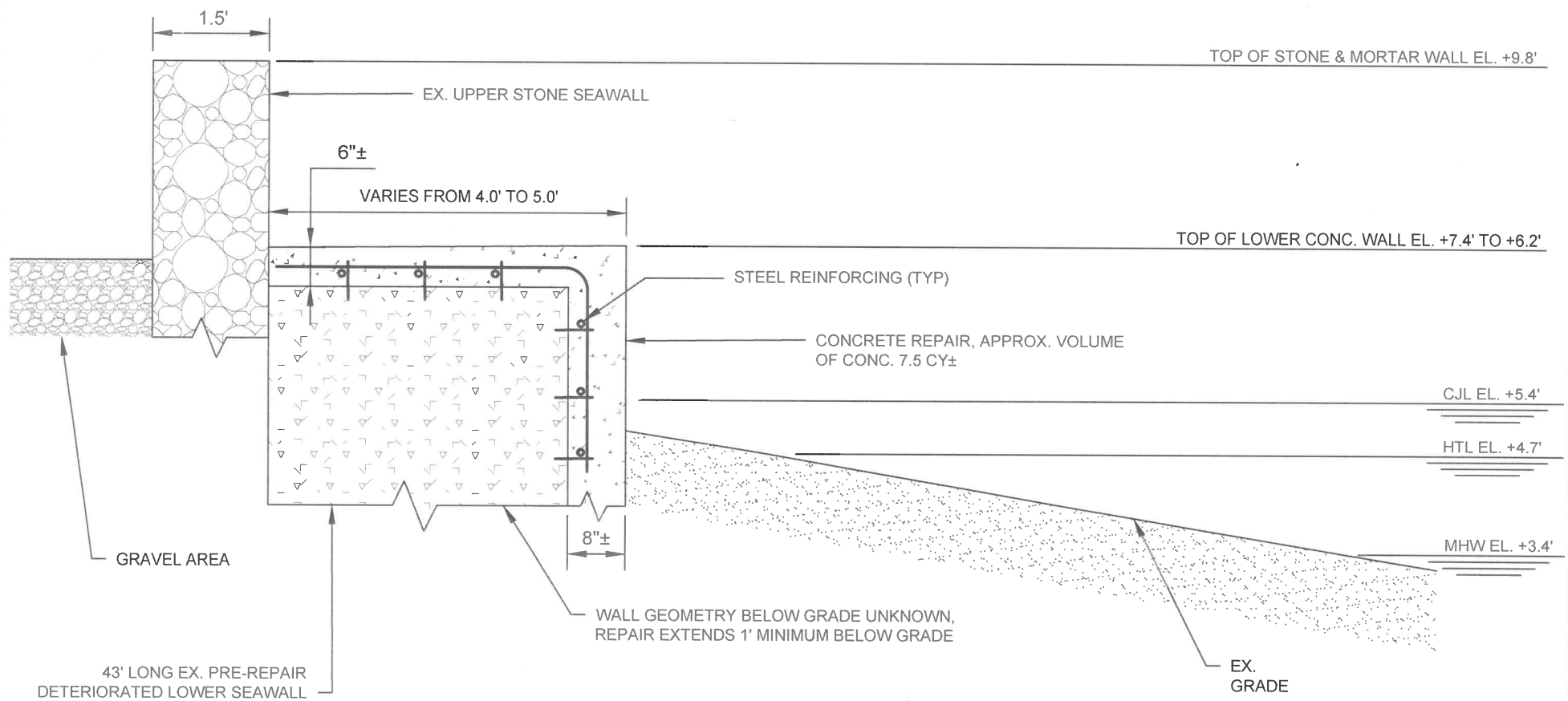
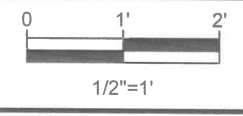


Date:	4-22-2025	Rev.:	
Drawn By:	JRM/EL	Checked By:	DJS
Datum:	NAVD 88	Scale:	1"=20'
Project No.:	2025011	Drawing No.:	5 of 7

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NOT VALID WITHOUT ENGINEER'S SEAL



REPAIR SECTION 1

- NOTES:**
1. MLW OUT OF DRAWING SCALE.
 2. STEEL REINFORCING DIAMETER NOT TO SCALE.
 3. THICKNESS OF REPAIR WAS ESTIMATED BASED ON SITE DATA GATHERED BY RACE COASTAL ENGINEERING ON 10/10/2014, AND PHOTOGRAPHIC DOCUMENTATION OF THE REPAIRS THAT WAS PROVIDED TO RACE.

611 Access Road Stratford, CT 06615
Tel: 203-377-0663 racecoastal.com

Prepared For:
THOMAS JUTERBOCK
9 NYLKED TERRACE
NORWALK, CT 06853

Project:
SEAWALL REPAIR
9 NYLKED TERRACE
NORWALK, CT 06853



Date:	Rev.:
4-22-2025	
Drawn By:	Checked By:
JRM/EL	DJS
Datum:	Scale:
NAVD 88	1/2"=1'
Project No.:	Drawing No.:
2025011	7 of 7

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SECTION 6

Attachment 18 – Engineering Report





LWRD License Application Engineering Report Cover Sheet

This Cover Sheet is a checklist of requirements that need to be completed and submitted with the engineering report. Please complete this checklist by identifying where each requirement listed is addressed in the engineering report (report title and page numbers). If an item is not applicable, place "NA" in the box. The engineer report must fully describe the design of the proposed facilities or other actions and the hydraulic and hydrologic effects thereof. This Cover Sheet is required to be signed and sealed by a professional engineer licensed in the State of Connecticut.

Stormwater Management

Engineering Report section title and page number	Requirement Description
N/A	Description of the design storm frequency intensity, volume and duration
N/A	Watershed maps, existing and proposed
N/A	Computations for Tc
N/A	Imperviousness calculations
N/A	NRCS runoff curve numbers, volumetric runoff coefficients
N/A	Computations used to determine peak runoff rates, and velocities for each watershed area (24-hour storm): <ul style="list-style-type: none"> • Stream Channel Protection: 1-year, 2-year frequency ("over-control" of 2-year storm) • Conveyance Protection: 10-year frequency • Peak Runoff Attenuation: 2-year, 10-year, 25 year, and 100-year frequency • Emergency Outlet Sizing: safely pass the 100-year frequency or larger storm
N/A	Hydrograph routing calculations
N/A	Description, schematics, and calculations for drainage and stormwater management systems
N/A	Infiltration rates, geotechnical information, test pit data, perc test data, conductivity testing data
N/A	Documentation of sources
N/A	Electronic files in native format for any computer modelling generated for analysis.

Stormwater Management

Engineering Report section title and page number	Requirement Description
N/A	Detention basin analysis including timing and duration of expected outflow, stream stability analysis and hydrograph summation
N/A	Erosion & sedimentation calculations for any engineered measures
N/A	Calculations for any engineered water quality treatment measures

Floodway/Floodplain Assessment

Engineering Report section title and page number	Requirement Description
N/A	Description of existing and proposed conditions upstream and downstream of the proposed activity
N/A	For any bridge or culvert placement or replacement with a drainage area of 100 acres or more, plan sheets showing the existing and proposed inundation area for the 2, 10, 25, 50, and 100 year discharges, carried to convergence
N/A	Flood Contingency Plan
N/A	A description and analysis of the floodplain modifications required to restore any flood conveyance and flood storage capacity
N/A	Demonstration that backwater from the proposed activity will not impact an existing dam, dike, detention, or similar structure
N/A	Backup data and complete hydraulic analysis for proposed modifications to the floodplain including location plan and plot for sections, profile sheet, summary sheet
N/A	Description, schematics, and calculations for bridges and culverts

Structures within a Coastal Flood Hazard Area

Engineering Report section title and page number	Requirement Description
N/A, repair of ex. structure	Longshore sediment transport impact report
N/A	Wind, wave, load analysis for significant public access structures (Only for Flood Management Certification)
N/A, repair of ex. structure	Wind, wave, load analysis for flood and erosion control structures (e.g. seawalls, bulkheads, revetments, berms, jetties, etc.)
N/A	Hydrologic / Hydraulic impact report for tide regulating / influencing structures (e.g. culverts, tidegates, flood berms / levees, etc.)

Professional Certification

For any engineering report submitted as part of the LWRD License application, the following certification must be signed and sealed by a professional engineer licensed to practice in Connecticut and submitted with the Engineering Report Cover Sheet.

"I certify that in my professional judgement, each requirement listed in the Engineering Report Cover Sheet has been addressed in the engineering report submitted as part of the LWRD permit application and that the information is true, accurate and complete to the best of my knowledge and belief.

This certification is based on my review of the engineering report.

I understand that a false statement made in the submitted information may, pursuant to Section 22a-6 of the General Statutes, be punishable as a criminal offense under Section 53a-157b of the General Statutes, and may also be punishable under Section 22a-438 of the General Statutes."


Signature of Professional Engineer

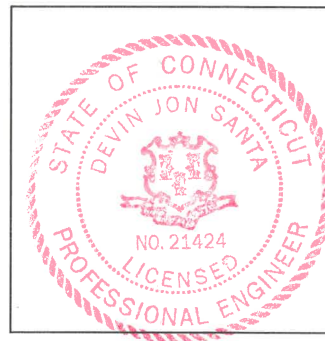
4/28/25
Date

Devin Santa, P.E.

Name of Professional Engineer (print or type)

21424
P.E. Number (if applicable)

Affix P.E. Stamp Here
(if applicable)



SECTION 7

Attachment 41 – Applicant Compliance Information Form





**Connecticut Department of
Energy & Environmental Protection**

Applicant Compliance Information

DEEP ONLY

App. No. _____

Co./Ind. No. _____

Applicant Name: Thomas Juterbock

Mailing Address: **9 Nylked Terrace**

City/Town: **Norwalk**

State: **CT**

Zip Code: **06853**

Business Phone:

ext.:

Contact Person: **Jacob Mars**

Phone: **203-377-0663** ext.

*E-mail: **jmars@racecoastal.com**

If you answer **yes** to any of the questions below, you must complete the Table of Enforcement Actions on the reverse side of this sheet as directed in the instructions for your permit application.

- A. During the five years immediately preceding submission of this application, has the applicant been convicted in any jurisdiction of a criminal violation of any environmental law?

Yes No

- B. During the five years immediately preceding submission of this application, has a civil penalty been imposed upon the applicant in any state, including Connecticut, or federal judicial proceeding for any violation of an environmental law?

Yes No

- C. During the five years immediately preceding submission of this application, has a civil penalty exceeding five thousand dollars been imposed on the applicant in any state, including Connecticut, or federal administrative proceeding for any violation of an environmental law?

Yes No

- D. During the five years immediately preceding submission of this application, has any state, including Connecticut, or federal court issued any order or entered any judgement to the applicant concerning a violation of any environmental law?

Yes No

- E. During the five years immediately preceding submission of this application, has any state, including Connecticut, or federal administrative agency issued any order to the applicant concerning a violation of any environmental law?

Yes No

Table of Enforcement Actions

(1) Type of Action	(2a) Date Commenced	(2b) Date Terminated	(3) Jurisdiction	(4) Case/Docket/ Order No.	(5) Description of Violation
Notice of non-compliance	3/3/2025	N/A	Connecticut	#LIS-2024-5099-V	Unauthorized repair of existing seawall waterward of CJL

Check the box if additional sheets are attached. Copies of this form may be duplicated for additional space.

SECTION 8

Attachment 42 – Applicant Background Information Form





**Connecticut Department of
Energy & Environmental Protection**

Applicant Background Information

Check the box by the entity which best describes the applicant and complete the requested information. **You must choose one of the following:** corporation, limited liability company, limited partnership, general partnership, voluntary association and individual or business type. Be sure to include the signatory authority or authorized representative certifying the application.

Corporation

Check the box if additional sheets are necessary. If so, label and attach additional sheet(s) to this sheet with the required information.

1. Parent Corporation

Name:

Mailing Address:

City/Town:

State:

Zip Code:

Business Phone:

ext.:

Contact Person:

Phone:

ext.

E-mail:

2. Subsidiary Corporation:

Name:

Mailing Address:

City/Town:

State:

Zip Code:

Business Phone:

ext.:

Contact Person:

Phone:

ext.

E-mail:

3. Directors:

Name:

Mailing Address:

City/Town:

State:

Zip Code:

Business Phone:

ext.:

E-mail:

4. Officers:

Name:

Mailing Address:

City/Town:

State:

Zip Code:

Business Phone:

ext.:

E-mail:

Applicant Background Information (continued)

Limited Liability Company

Check the box if additional sheets are necessary. If so, label and attach additional sheet(s) to this sheet with the required information.

1. List each member.

Name:

Mailing Address:

City/Town:

State:

Zip Code:

Business Phone:

ext.:

E-mail:

Name:

Mailing Address:

City/Town:

State:

Zip Code:

Business Phone:

ext.:

E-mail:

Name:

Mailing Address:

City/Town:

State:

Zip Code:

Business Phone:

ext.:

E-mail:

2. List any manager(s) who, through the articles of organization, are vested the management of the business, property and affairs of the limited liability company.

Name:

Mailing Address:

City/Town:

State:

Zip Code:

Business Phone:

ext.:

E-mail:

Name:

Mailing Address:

City/Town:

State:

Zip Code:

Business Phone:

ext.:

E-mail:

Name:

Mailing Address:

City/Town:

State:

Zip Code:

Business Phone:

ext.:

E-mail:

Applicant Background Information (continued)

Limited Partnership

Check the box if additional sheets are necessary. If so, label and attach additional sheet(s) to this sheet with the required information.

1. General Partners:

Name:

Mailing Address:

City/Town:

State:

Zip Code:

Business Phone:

ext.:

Contact Person:

Phone:

ext.

E-mail:

Name:

Mailing Address:

City/Town:

State:

Zip Code:

Business Phone:

ext.:

Contact Person:

Phone:

ext.

E-mail:

Name:

Mailing Address:

City/Town:

State:

Zip Code:

Business Phone:

ext.:

Contact Person:

Phone:

ext.

E-mail:

2. Limited Partners:

Name:

Mailing Address:

City/Town:

State:

Zip Code:

Business Phone:

ext.:

Contact Person:

Phone:

ext.

E-mail:

Name:

Mailing Address:

City/Town:

State:

Zip Code:

Business Phone:

ext.:

Contact Person:

Phone:

ext.

E-mail:

Applicant Background Information (continued)

General Partnership

Check the box if additional sheets are necessary. If so, label and attach additional sheet(s) to this sheet with the required information.

1. General Partners:

Name:

Mailing Address:

City/Town:

State:

Zip Code:

Business Phone:

ext.:

Contact Person:

Phone:

ext.

E-mail:

Name:

Mailing Address:

City/Town:

State:

Zip Code:

Business Phone:

ext.:

Contact Person:

Phone:

ext.

E-mail:

Name:

Mailing Address:

City/Town:

State:

Zip Code:

Business Phone:

ext.:

Contact Person:

Phone:

ext.

E-mail:

Name:

Mailing Address:

City/Town:

State:

Zip Code:

Business Phone:

ext.:

Contact Person:

Phone:

ext.

E-mail:

Name:

Mailing Address:

City/Town:

State:

Zip Code:

Business Phone:

ext.:

Contact Person:

Phone:

ext.

E-mail:

NORTH YARD AT NORWALK COVE MARINA BULKHEAD REPAIR PROJECT

DRAWING LIST			
DRAWING No.	DRAWING TITLE	DRAWING No.	DRAWING TITLE
1	TITLE SHEET & GENERAL NOTES	5	PROPOSED SITE PLAN
2	VICINITY MAP	6	PARTIAL PROPOSED SITE PLAN
3	TAX ASSESSOR'S MAP	7	EXISTING & PROPOSED SECTION A-A
4	EXISTING SITE PLAN		


GENERAL NOTES

1. THE PURPOSE OF THESE DRAWINGS ARE FOR REGULATORY REVIEW ONLY.
2. VICINITY MAP TAKEN FROM USGS TOPO, NORWALK SOUTH QUADRANGLE, 7.5 MINUTE SERIES, 2024.
3. ELEVATIONS REFERENCE NAVD88, UNLESS NOTED OTHERWISE.
4. THIS SITE INFORMATION HAS BEEN TAKEN FROM A DRAWING TITLED "DRAINAGE MAP", PREPARED FOR NORWALK COVE MARINA, BY ARCAMONE LAND SURVEYORS, DATED 06/08/2011.
5. SUPPLEMENTARY INFORMATION OBTAINED BY SOUND ENGINEERING ASSOCIATES ON 03/31/2025 AND ONLY REPRESENT THE SITE CONDITIONS AT THAT TIME.
6. TIDAL ELEVATION DATA HAS BEEN TAKEN FROM BENCH MARK SHEET FOR TIDE STATION 8467150, CT BRIDGEPORT HARBOR FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION TIDES AND CURRENTS WEBSITE.

PROJECT TIDAL ELEVATIONS	NAVD 88 (FT) PROJECT DATUM	NGVD 29 (FT)	MLW (FT)
COASTAL JURISDICTIONAL LINE (CJL)	+5.4	+6.5	+9.2
HIGH TIDE LINE (HTL)	+4.7	+5.8	+8.5
MEAN HIGH WATER (MHW)	+3.3	+4.4	+7.1
NAVD 88	0.0	+1.1	+3.8
NGVD 29	-1.1	0.0	+2.7
MEAN LOW WATER (MLW)	-3.8	-2.7	0.0

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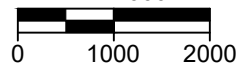
NOT FOR CONSTRUCTION
FOR REGULATORY REVIEW ONLY

	PROJECT: BULKHEAD REPAIR PROJECT 48 CALF PASTURE BEACH ROAD, NORWALK, CT 06855		REV: DATE: 05/07/2025 SCALE: N/A DATUM: NAVD88 PROJECT NO: 2025027 DRAWING NO: 1 / 7
	PREPARED FOR: GARDELLA BROTHERS LLC 144 WATER STREET, NORWALK, CT 06854		
195 TUNXIS HILL RD, SUITE 203 FAIRFIELD, CT 06825		203-275-8506 SOUNDENGINEERINGASSOCIATES.COM	VALID ONLY WITH ENGINEER'S STAMP




VICINITY MAP

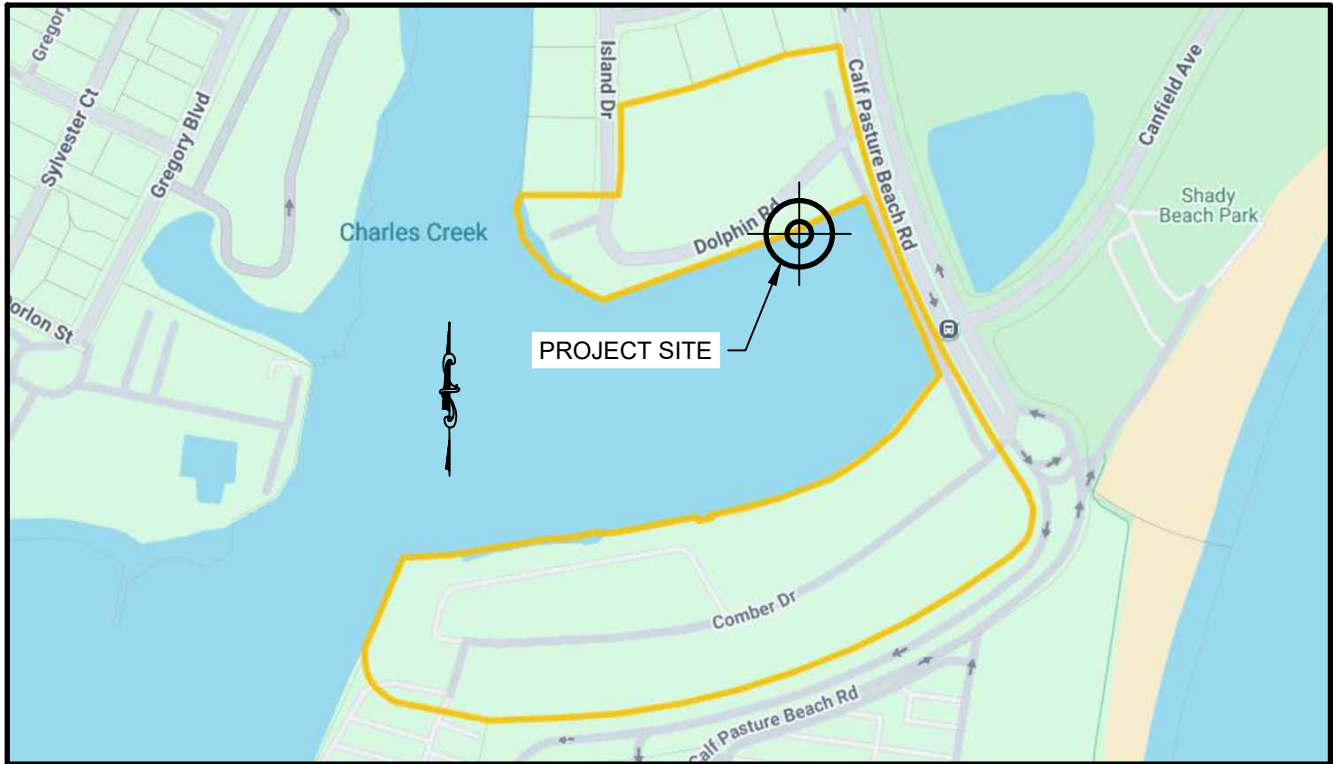
1" = 2000'



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NOT FOR CONSTRUCTION
FOR REGULATORY REVIEW ONLY

	PROJECT: BULKHEAD REPAIR PROJECT 48 CALF PASTURE BEACH ROAD, NORWALK, CT 06855	REV: DATE: 05/07/2025 SCALE: 1" = 2000' DATUM: NAVD88 PROJECT NO: 2025027 DRAWING NO: 2 / 7
	PREPARED FOR: GARDELLA BROTHERS LLC 144 WATER STREET, NORWALK, CT 06854	
195 TUNXIS HILL RD, SUITE 203 FAIRFIELD, CT 06825	203-275-8506 SOUNDENGINEERINGASSOCIATES.COM	VALID ONLY WITH ENGINEER'S STAMP




TAX ASSESSOR'S PARCEL ID 3-75-3-0

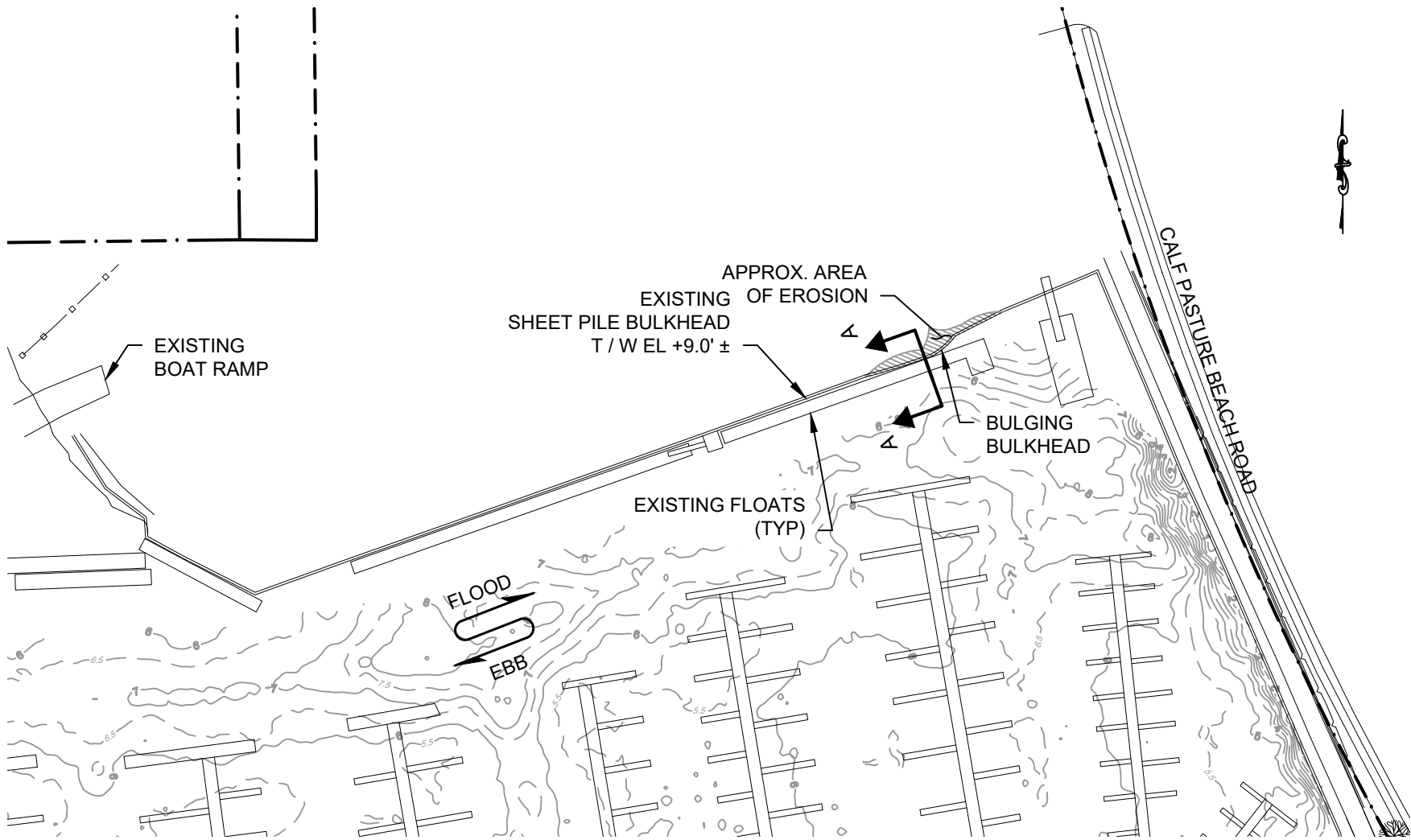
ABUTTER INFORMATION

ADDRESS	PARCEL ID	OWNER OF RECORD
50 CALF PASTURE BEACH ROAD	3-75-17-0	GARDELLA BROTHERS LLC 144 WATER STREET, NORWALK, CT 06854
21 ISLAND DRIVE	3-75-23-0	KEYVYN GARDELLA TRUSTEE 21 ISLAND DRIVE, NORWALK, CT 06855
7 SPAR ROAD	3-75-16-0	PETER & CONSTANCE KARADIMAS 7 SPAR ROAD, NORWALK, CT 06855
5 SPAR ROAD	3-75-10-0	JAMES & CYNTHIA GARDELLA 5 SPAR ROAD, NORWALK, CT 06855
3 SPAR ROAD	3-75-9-0	SUSAN BROWN 3 SPAR ROAD, NORWALK, CT 06855
42 CALF PASTURE BEACH ROAD	3-75-21-0	42 BEACH ROAD LLC 144 WATER STREET, NORWALK, CT 06854

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	PROJECT: BULKHEAD REPAIR PROJECT 48 CALF PASTURE BEACH ROAD, NORWALK, CT 06855	REV: DATE: 05/07/2025 SCALE: 1" = 200' DATUM: NAVD88 PROJECT NO: 2025027 DRAWING NO: 3 / 7
	PREPARED FOR: GARDELLA BROTHERS LLC 144 WATER STREET, NORWALK, CT 06854	
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EXISTING SITE PLAN



195 TUNXIS HILL RD, SUITE 203
 FAIRFIELD, CT 06825

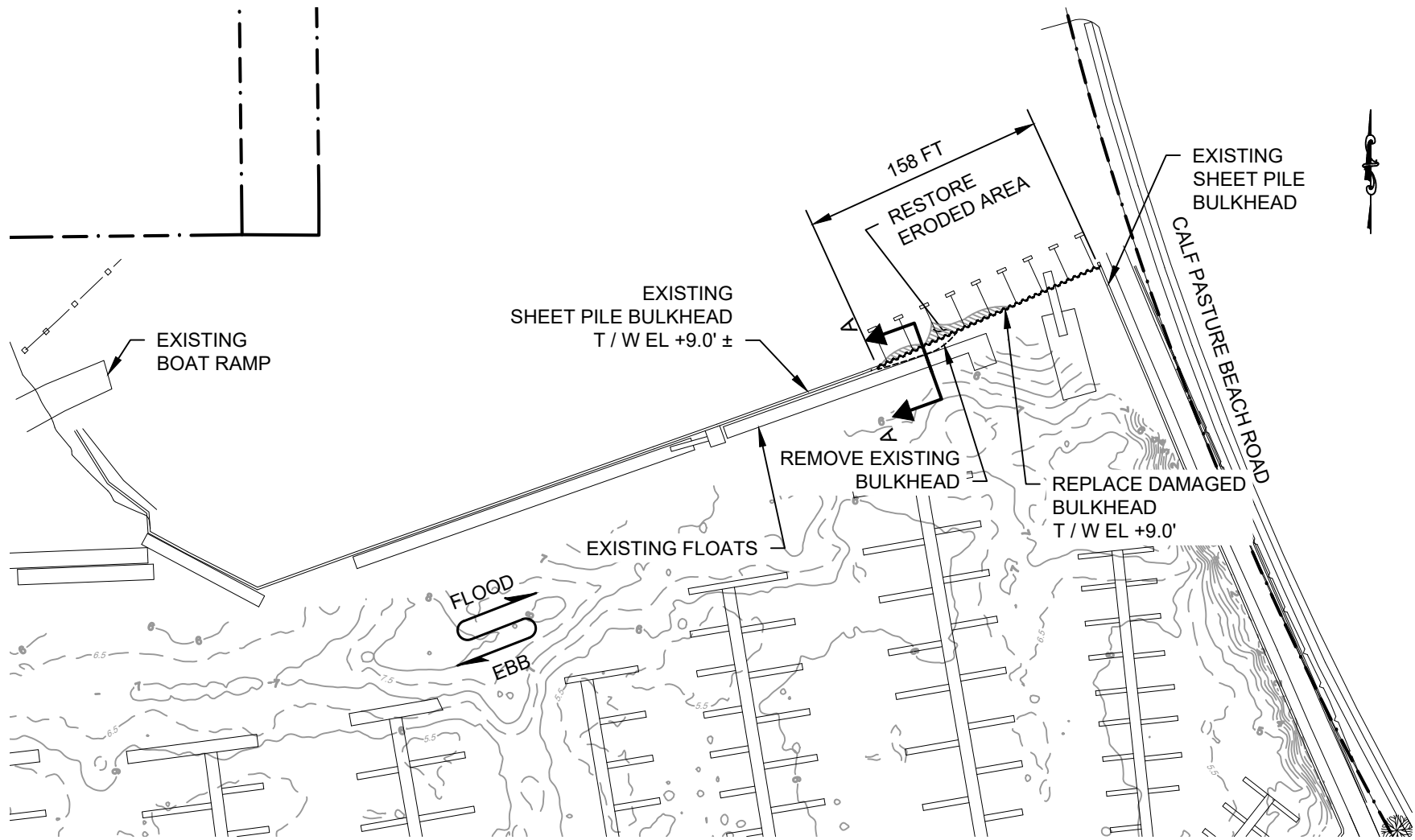
PROJECT:
 BULKHEAD REPAIR PROJECT
 48 CALF PASTURE BEACH ROAD,
 NORWALK, CT 06855

PREPARED FOR:
 GARDELLA BROTHERS LLC
 144 WATER STREET,
 NORWALK, CT 06854

203-275-8506
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REV:
DATE: 05/07/2025
SCALE: 1" = 100'
DATUM: NAVD88
PROJECT NO: 2025027
DRAWING NO: 4 / 7



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PROPOSED SITE PLAN



195 TUNXIS HILL RD, SUITE 203
 FAIRFIELD, CT 06825

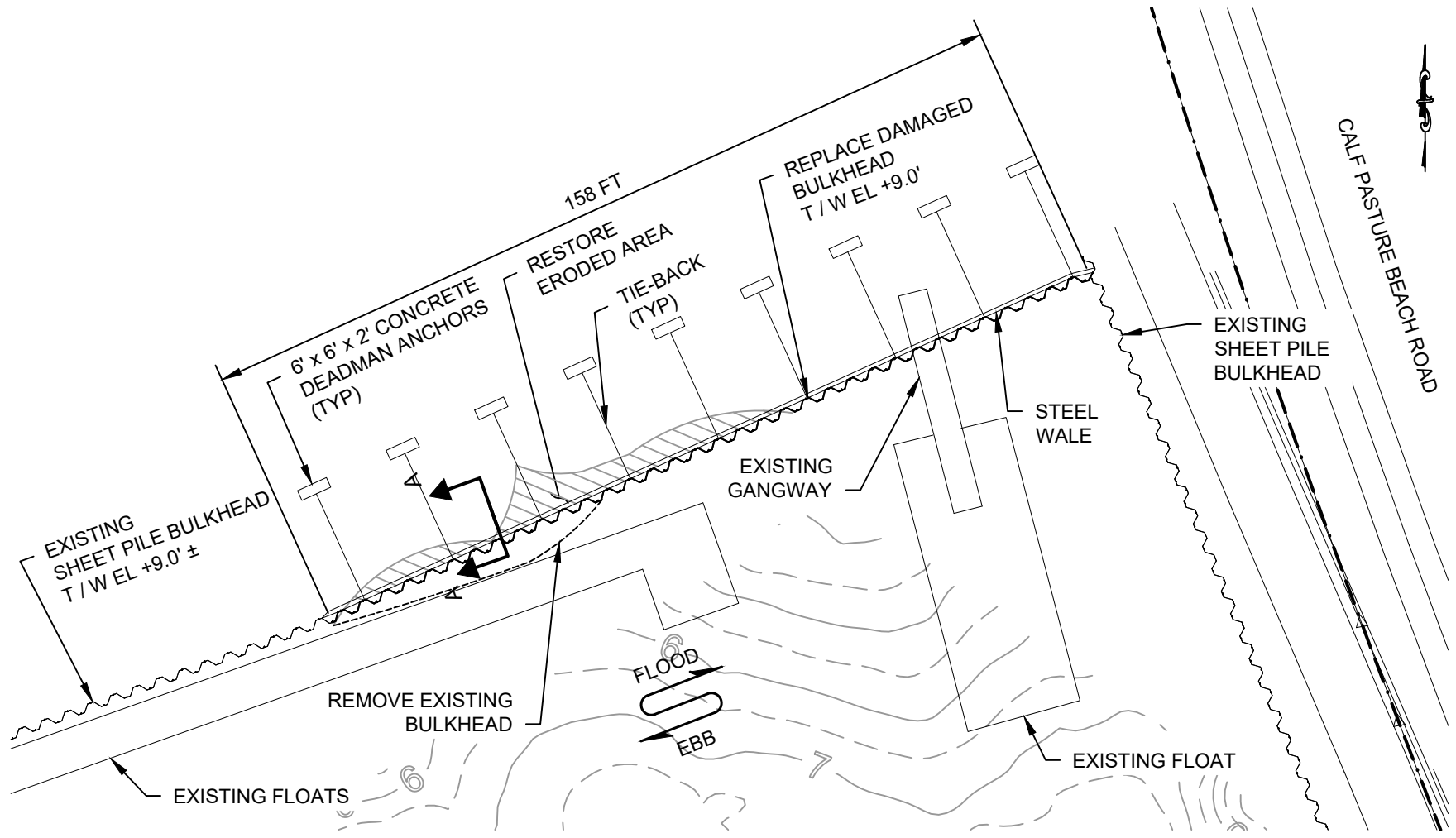
PROJECT:
 BULKHEAD REPAIR PROJECT
 48 CALF PASTURE BEACH ROAD,
 NORWALK, CT 06855

PREPARED FOR:
 GARDELLA BROTHERS LLC
 144 WATER STREET,
 NORWALK, CT 06854

203-275-8506
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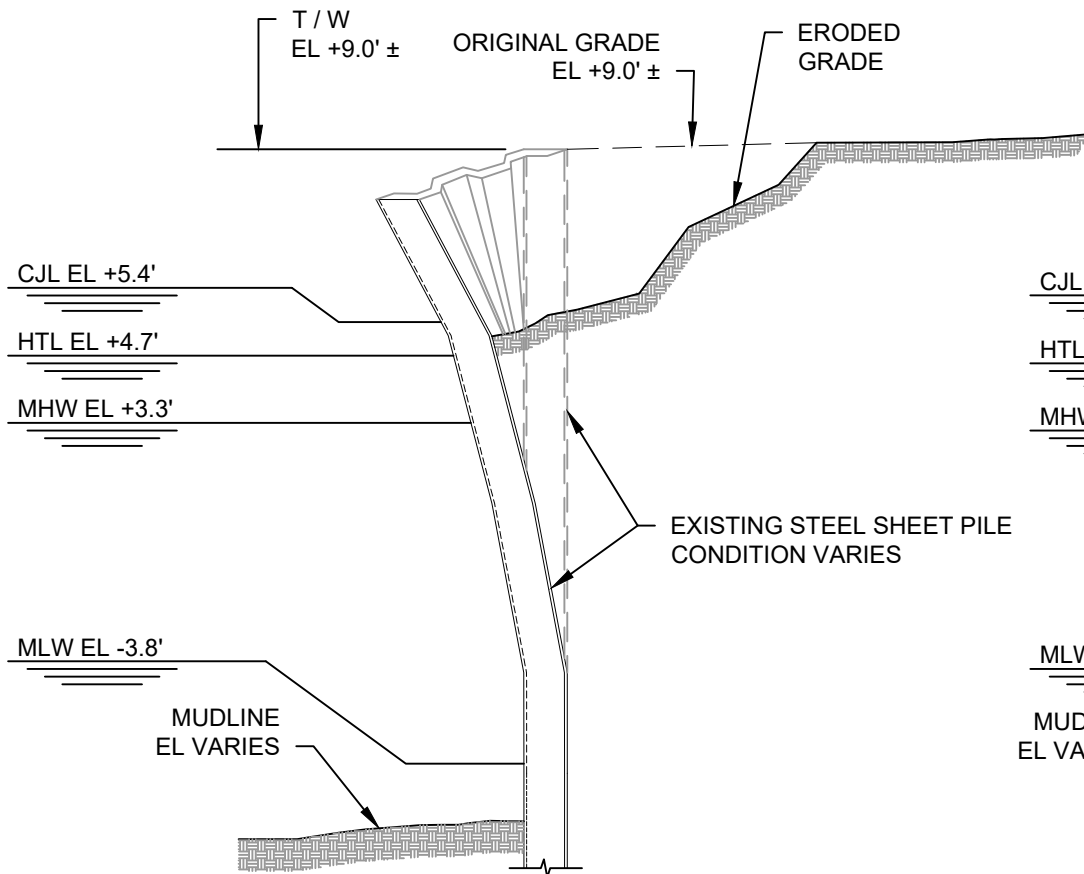
REV:
DATE: 05/07/2025
SCALE: 1" = 100'
DATUM: NAVD88
PROJECT NO: 2025027
DRAWING NO: 5 / 7



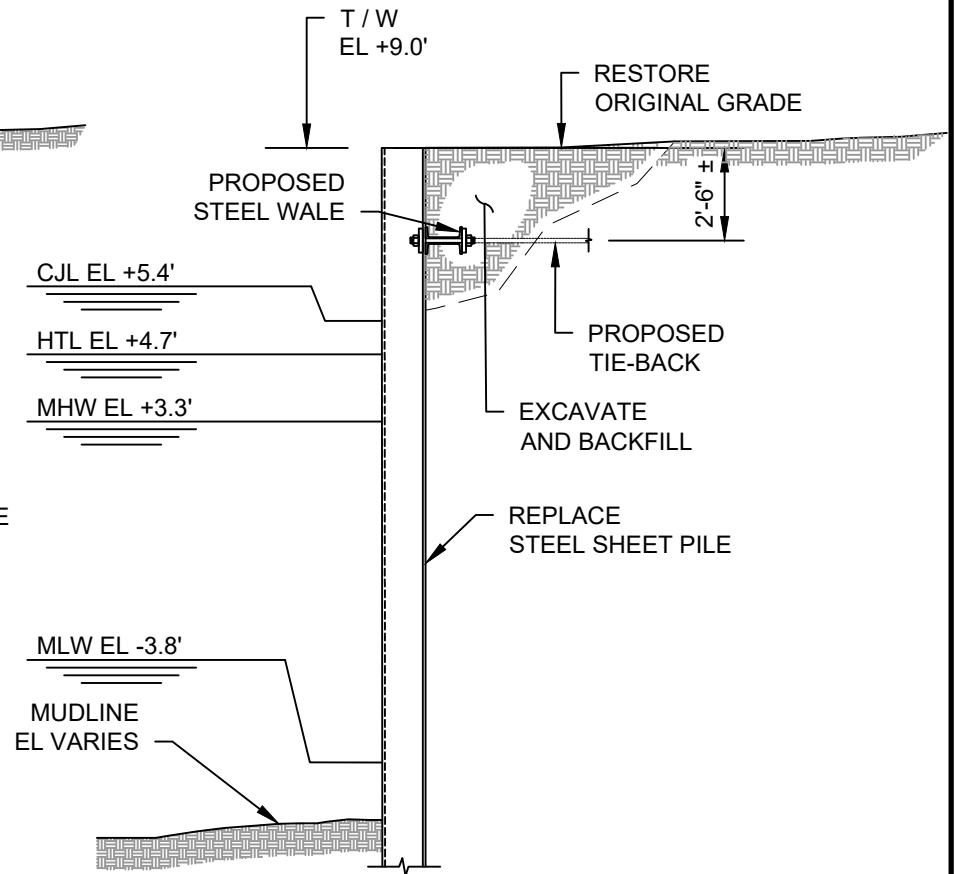
PARTIAL PROPOSED SITE PLAN

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 <p>195 TUNXIS HILL RD, SUITE 203 FAIRFIELD, CT 06825</p>	<p>PROJECT: BULKHEAD REPAIR PROJECT 48 CALF PASTURE BEACH ROAD, NORWALK, CT 06855</p>	<p>REV:</p> <p>DATE: 05/07/2025</p> <p>SCALE: 1" = 30'</p> <p>DATUM: NAVD88</p> <p>PROJECT NO: 2025027</p> <p>DRAWING NO: 6 / 7</p>
	<p>PREPARED FOR: GARDELLA BROTHERS LLC 144 WATER STREET, NORWALK, CT 06854</p>	
<p>203-275-8506 SOUNDENGINEERINGASSOCIATES.COM</p>		<p>VALID ONLY WITH ENGINEER'S STAMP</p>




EXISTING SECTION A-A



PROPOSED SECTION A-A

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 SEA Sound Engineering Associates	PROJECT: BULKHEAD REPAIR PROJECT 48 CALF PASTURE BEACH ROAD, NORWALK, CT 06855	REV: DATE: 05/07/2025 SCALE: 1" = 4'-0" DATUM: NAVD88 PROJECT NO: 2025027 DRAWING NO: 7 / 7
	PREPARED FOR: GARDELLA BROTHERS LLC 144 WATER STREET, NORWALK, CT 06854	
195 TUNXIS HILL RD, SUITE 203 FAIRFIELD, CT 06825	203-275-8506 SOUNDENGINEERINGASSOCIATES.COM	VALID ONLY WITH ENGINEER'S STAMP

May 7, 2025

Norwalk Harbor Management Commission
City Hall
125 East Avenue
Norwalk, CT 06856

Reference: Harbor Management Commission Notification
Bulkhead Repair
48 Calf Pasture Beach Road
Norwalk, CT 06855
SEA Project No. 2025027

Dear Mr. Kibbe:

In accordance with CT DEEP requirements, attached is a copy of the Certificate of Permission Application for repairs to an existing steel sheet pile bulkhead North of Calf Pasture Point on Charles Creek..

It is anticipated that this submittal is sufficient for your use. Please contact me with any questions.

Very truly yours,

SOUND ENGINEERING ASSOCIATES



Tim DeBartolomeo, PE
Principal

James J. Bajek, LLC

Coastal and Fresh Water Permitting

John Pinto, Chair of Application Review Committee
Norwalk Harbor Management Commission
125 East Avenue, Room 129
Norwalk, CT 06851

May 8, 2025

RE: Rebuild Existing Dock & Retaining Wall, 86 Bluff Ave., Norwalk

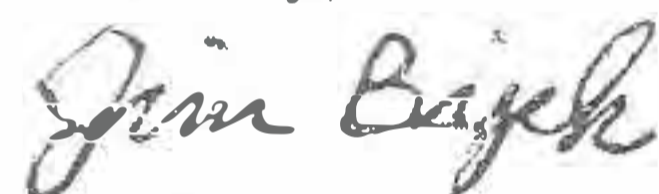
Dear Mr. Pinto:

We are in the process of filing a Certificate of Permission application with the Connecticut DEEP for our client, Phillip & Erin Kerr, to rebuild their existing private recreational dock and shoreline retaining wall. See attached plans and photographs of the proposed work areas.

This information is being provided to the Commission as part of the COP application requirements. I am also attaching the completed Application Transmittal Form and COP Application form. I will be pleased to meet with the Commission to review this information at your next regular scheduled meeting.

Please contact me if there are any questions regarding this application.

Sincerely,



Jim Bajek

James J. Bajek, LLC

Attachments as stated

cc: CT DEEP



**Connecticut Department of
Energy & Environmental Protection**
Bureau of Water Protection & Land Reuse
Land & Water Resources Division

LWRD License Application Form D

Certificate of Permission

All sections of the LWRD application, when applicable, must be posted to the DEEP LWRD FTP site as instructed on Part VII of the LWRD Transmittal Form. See [LWRD Application Instructions](#) for general guidance.

Application Number (as assigned in CPPU e-mail): 202503965

Applicant Name (same name used on Part III of the LWRD Transmittal Form): Phillip & Erin Kerr

Part I: Pre-Submission Consultations

The application process requires preliminary coordination and input from other agencies/groups depending on the activity and the location. Consultations with other agencies must occur prior to application submission. Please allow 6-8 weeks for the necessary coordination. For this application, the applicant should start with these consultations, as applicable (See Part VII for further guidance).

Attachments:

20 NDDB	23 Fisheries
21 Wildlife- osprey	24 Aquaculture
22 Dredging Projects	26 Shellfish Commission (for beach nourishment/groin replacement only)

Part II: Notifications

If your town has a [Harbor Management Commission](#), submit a copy of this completed application by certified mail to the Commission and submit the certified mail receipt as Attachment 6 following this form.

Part III: Site and Resource Information

1. SITE ADDRESS

Address: 86 Bluff Avenue City/Town: Norwalk State: CT Zip Code: 06853

Part III: Site and Resource Information (continued)

2. MUNICIPAL ZONING

Is the proposed work consistent with municipal zoning requirements?

Yes No If no, explain: _____

3. WATERBODY/WATERCOURSES/WETLANDS

List names of all waters impacted by the proposed activity: Farm Creek

4. INDIAN LANDS

Is the activity that is the subject of this application located on federally recognized Indian lands? Yes No

5. AQUIFER PROTECTION AREAS

Is the site located within a mapped Level A or Level B Aquifer Protection Area, as defined in CGS section 22a-354a through 22a-354bb?

Yes No If yes, check one: Level A or Level B

If Level A, are any of the regulated activities, as defined in RCSA section 22a-354i-1(34), conducted on this site? Yes No If yes, and your business is **not** already registered with the Aquifer Protection Program, contact the aquifer protection agent or DEEP to take appropriate action.

For more information on the Aquifer Protection Area Program, contact the program at 860-424-3019 or visit the website at www.ct.gov/deep/aquiferprotection. See LWRD Application Instructions for further guidance.

6. CONSERVATION OR PRESERVATION RESTRICTIONS

Will the activity which is the subject of this application be located within a conservation or preservation restriction area? Yes No

If yes, provide proof of written notice of this application to the holder of such restriction, and/or a letter from the holder of such restriction verifying that this application is in compliance with the terms of the restriction, as Attachment 8.

7. LICENSE HISTORY

Indicate the number and date of issuance of any previous state permits or certificates issued by DEEP or USACE which authorized work at the site, and the names to whom they were issued.

<i>License/Permit/COP Authorization Number and Name of Agency</i>	<i>Date Issued</i>	<i>Name of Permittee/ Certificate Holder</i>	<i>Brief Description of Work Authorized</i>
<u>Permit #199601383-MG</u>	<u>12-17-1996</u>	<u>Ms. Deborah Libby</u>	<u>Retain existing dock and seawall</u>
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

8. SOIL AND/OR GROUNDWATER REMEDIATION

Does the site work include soil and/or groundwater remediation? Yes No

If yes, please provide reference documentation including a) plan views of the site showing the area of contamination and b) a summary of remediation with chemical analysis, clean-up status, and remediation program identification, as Attachment 9.

Part III: Site and Resource Information (continued)

9. ENFORCEMENT HISTORY

Is this application associated with a formal or informal enforcement action that is pending With DEEP?

Yes No

If yes, please provide the enforcement action reference number and name of the DEEP staff contact:

Enforcement Action #: _____

DEEP Division/Program: _____

DEEP Staff Contact: _____

If the property was the subject of any historical enforcement actions known to the applicant, explain:

10. Regulatory Limit – See [Reference Guide for Regulatory Jurisdiction](#) for further explanation if necessary.

Indicate the landward extent of the State's regulatory jurisdiction by checking one box:

Coastal Jurisdiction Line (CJL) – for CJL information, refer to the [Coastal Jurisdiction Fact Sheet and Chart](#).

Mean High Water (MHW) – for projects located upstream of a tide gate, dam or weir (structure must be shown on project plans).

Tidal Wetland Boundary – To be used if tidal wetlands are located landward of CJL or MHW. Include one foot above local extreme high water, if applicable.

11. Tidal Elevations

Provide site elevations for CJL, MHW, Mean Low Water (MLW) and the High Tide Line (HTL)* in NAVD88. For general elevation reference and conversion, please refer to [USACE Tidal Flood Profiles; CO-OPS Map - NOAA Tides & Currents](#); or, [Online VDatum: Vertical Datums Transformation](#).

CJL = 5.4' MHW = 3.3' MLW = -3.7' HTL = 5.4'

*The HTL is necessary for USACE jurisdiction and required as part of the USACE application.

Part III: Site and Resource Information (continued)

12. Coastal Resource Impact Table

Check the applicable boxes below to identify coastal resources to be impacted by the proposed activity at the project site. Describe the impacts, as applicable. For definitions, refer to the [Connecticut Coastal Management Manual](#).

Resource Type	square feet			Describe Impacts
	Permanent impact	Temporary impact	Mitigation	
<input type="checkbox"/> Beaches/Dunes below HTL below CJL				N/A
<input type="checkbox"/> Tidal Wetlands				Identify if existing vegetation is salt, brackish or freshwater wetland. A maximum of 100 s.f. of temporary wetland impacts may be considered. The wetland impact must be completely restored, preferably in-place, but absolutely on-site. Plan details of the existing and proposed impact area must include the temporary storage location of the plants. No impact to existing tidal wetlands
<input type="checkbox"/> Nearshore waters				No impact to nearshore waters
Resource Type	Describe Impacts (temporary and permanent)			
<input checked="" type="checkbox"/> Benthic Habitat	Impact to benthos will be positive with the addition of a float stop system to the float			
<input checked="" type="checkbox"/> Intertidal Flats	Same positive as benthic impacts			
<input type="checkbox"/> Submerged Aquatic Vegetation (SAV)	N/A			
<input type="checkbox"/> Rocky Shorefront	Include rocky intertidal areas. N/A			
<input checked="" type="checkbox"/> Finfish	Minimal impact as finfish will temporarily avoid work area but return soon afterwards			
<input type="checkbox"/> Wildlife	No impact			
<input checked="" type="checkbox"/> Shellfish Areas	Maps available at The Aquaculture Mapping Atlas . Although all of Norwalk tidal areas are considered to be natural beds there will be no impact to shellfish resources by this project			
<input type="checkbox"/> Coastal Hazard Area	Discuss FEMA compliance. N/A			
<input type="checkbox"/> Bluffs/Escarpments	Describe impacts associated with flood and erosion control structures. N/A			
<input type="checkbox"/> Islands	If new access is proposed, describe how island resources will be impacted. N/A			
<input checked="" type="checkbox"/> Coastal Flooding	Describe how tide gates/fill/seawall height increases will impact flooding. The increase (~1 ft) in the retaining wall elevation will help to deter flooding the property			
<input type="checkbox"/> Water Circulation Patterns	Describe impacts from groins/abutments/jetties. N/A			
<input type="checkbox"/> Drainage Patterns	Describe impacts from impervious surfaces/outfalls/weep holes and stormwater modifications. N/A			
<input type="checkbox"/> Visual Quality	Only applies to public views of statewide scenic significance. N/A			
<input checked="" type="checkbox"/> Water Quality	Discuss sediment and erosion controls, water handling, and stormwater treatment. A siltation control fence will be installed immediately waterward of the seawall			

Part IV: Project Information

1. Describe, briefly, the *existing* structures within state regulatory jurisdiction, and their conditions and uses at the site of the proposed work. **Provide photographs showing resources and existing site conditions as Attachment 10.**

Structures within DEEP jurisdiction include a dock and stone and mortar seawall. The dock is in fair condition but needs to be rebuilt; some of the seawall is in fair condition while other sections are in poor condition and also needs to be rebuilt.

- 2a. Describe the proposed regulated work and activities in a detailed narrative, including the number and dimensions of structures and the volume and area of fill or excavations. See [LWRD Application Instructions](#) for required information.

The dock consists of a 4' x 16' pile-supported fixed pier with a 2.5' x 30' ramp and 10' x 10' float; this structure will be replaced in kind with the exception that the pier elevation will be raised, the ramp width will be increased to 3' and a float stop system will be added; the 119.5 LF seawall currently has an average elevation of 7.1' It will be rebuilt to a finished elevation of 8.1' NAVD 88 involving the addition of approx 9 cy of stone and mortar to the existing wall.

- b. Describe the construction activities involved for the project in detail, including methods, sequencing, equipment, and any alternative construction methods that might be employed. For coastal dredging projects, identify the type of equipment with bucket and barge capacity and, for upland disposal, provide containment facility details (See [Reference for Coastal/Tidal Dredging](#)).

The seawall will be rebuilt first. This will involve hand labor and a small personal-operated mobile power lift device to move stone and other supplies around the upland side of the work area. Next, the existing dock will be removed by hand and loaded into a truck for proper disposal offsite. The 2 existing pier-support pilings will be left in place since they are in good condition and can be reused for the rebuild. Most of the new dock components will be constructed at the marine contractor's facility then trucked to the site for installation. The float stop system will be installed using hand labor. Only the float will be brought to the site via work boat at a mid-high tide and secured in place at which time the ramp will be installed to complete the project.

- c. Describe any erosion and sedimentation or turbidity control installation and maintenance schedule and plans in detail. Such plans should be prepared in accordance with the [2002 Connecticut Guidelines for Soil Erosion and Sediment Control](#), as revised, established pursuant to CGS section 22a- 328.

A siltation fence will be installed just waterward of the seawall work area to control turbidity during the wall reconstruction.

- d. Anticipated date of project initiation: as soon as authorization is in hand

Indicate the length of time needed to complete the project and identify any anticipated timing restrictions: It is anticipated to take 3-4 weeks to complete the work

3. After all measures to eliminate or minimize adverse resource impacts have been incorporated in the proposed project, describe why any adverse impacts that remain should be deemed acceptable by the Land & Water Resources Division. For projects involving stormwater management, low-impact development practices should be incorporated to the greatest extent practicable. Explain any reasons for not using a low-impact development practice. See [LWRD Application Instructions](#) for further guidance.

Rebuilding the existing seawall an additional 12" is allowed under the COP program. All other proposed work are improvements that DEEP encourage.

4. The proposed work is associated with which of the following uses? (Check all that apply.)

Marine commercial/industrial use including aquaculture Flood and erosion control

Residential boating access

Public access

Shared residential boating access

Infrastructure improvement

Other – explain: **Dock Rebuild**

Part IV: Project Information (continued)

5. If the site is a marina or yacht club, provide the following:
- Number of boat slips and moorings: N/A (should be consistent with plans submitted as Attachment 14)
 - Type of marine sanitation service provided at the facility. _____
 - Check here to confirm that at least one plan view notes the location of upland support including adequate parking, a marina office, and restrooms.
 - Check the applicable services provided:

<input type="checkbox"/> boat repair/maintenance	<input type="checkbox"/> winter storage
<input type="checkbox"/> gas/fuel hook-up	<input type="checkbox"/> electric hook-up
<input type="checkbox"/> fishing amenities	<input type="checkbox"/> boating and/or equipment sales
6. If local/municipal review has or will require a Coastal Site Plan Review for activities at this site, please explain the associated upland work. _____
7. If modifications are proposed to a pre-1995 flood and erosion control structure (FECS), please confirm:
- | | |
|-------------------------------------|---|
| N/A | Confirm |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> FECS modifications will not support an increase in upland fill |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> Seawall height increase is less than 12.0" and justified in Part IV, question 3. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> If FECS consists of riprap or revetment, no more than 10% volume of new stone is proposed |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> No more than 12"-18" of new waterward encroachment for bulkhead replacement/repair with appropriate justification for the encroachment in Item 3, above. New encroachment should be measured from the outermost bulkhead whaler or piling. |
8. Check here if the proposed work is related to a pre-1939, pre-1987 (installed above MHHW), and/or pre-1995 structure, and provide photographs, including dates, to document the date of installation as Attachment 11 following this form.

Part V: Engineering Support Documentation and Certification

Certain types of projects require documentation of engineering design. If you answer yes to one of the questions below, you must submit a completed [Engineering Report Cover Sheet](#) (DEEP-LWRD-APP-001R) as Attachment 18 along with the relevant engineering report(s).

- Does the proposed activity include engineered structures such as bridges, culverts, stormwater management systems, detention basins, and/or flood & erosion control structures?
 Yes No
- Is the proposed activity located in a FEMA-designated Riverine or Coastal Floodplain?
 Yes No

If yes, provide documentation in the Engineering Report which demonstrates that the project is in compliance with FEMA's National Flood Insurance Program requirements and the local flood ordinance for the municipality.

NOTE – Only the following activities in the Coastal Floodplain require engineering: buildings, flood and erosion control structures; public access facilities; and, tide regulating structures. See Engineering Report Cover Sheet for further guidance.

- Is the proposed activity located in a FEMA-designated Floodway Yes No

If yes, the Engineering Report must include a statement signed by a registered professional engineer that there is no-rise. This documentation must be supported by technical data that is derived from a standard step-backwater computer model utilizing source data from the Flood Insurance Rate Map (FIRM) or Flood Boundary and Floodway Map (FBFM).

If a No-rise Certification form is available through the municipality, please include it in the Engineering Report. For further information on No-Rise Certification, see [No-Rise Certification for Floodways | FEMA.gov](#)

The *Engineering Report Cover Sheet* shall be signed and sealed by a Professional Engineer licensed in the State of Connecticut. Supporting documentation as identified in the checklist may consist of engineering studies and other documentation, as appropriate, in order to describe the hydrologic and hydraulic effects of the proposed actions.

Part VI: Certificate of Permission Eligibility

Check all applicable boxes to confirm eligibility.

Pursuant to Connecticut General Statutes (CGS) Section 22a-363b(a) and (b):

Previously Authorized Structures or Activities

- A. Substantial maintenance or repair of existing structures, fill, obstructions or encroachments authorized pursuant to CGS section 22a-33 or 22a-361 or installed prior to June 24, 1939, CGS section 22a-363b(c).
- B. Maintenance dredging of areas which have been dredged and continuously maintained and serviceable as authorized pursuant to CGS section 22a-33 or 22a-361.
- C. Minor alterations or amendments to permitted activities consistent with the original permit.
- D. Placement or reconfiguration of piers, floats, docks, and moorings within existing waterward boundaries of recreational marinas or yacht clubs which have been authorized pursuant to CGS section 22a-33 or 22a-361.

Pre-1995 Structures or Activities

- E. Retention of activities completed prior to January 1, 1995.
- F. Minor alterations to activities completed prior to January 1, 1995.
- G. Substantial maintenance of any structures, fill, obstructions or encroachments in place prior to January 1, 1995, and continuously maintained and serviceable since such time.

Pre-1987 Structures

- H. Substantial maintenance or repair of structures, fill, obstructions or encroachments placed landward of the mean high waterline and waterward of the coastal jurisdiction line, completed prior to October 1, 1987, and continuously maintained and serviceable since said date.

Other Activities

- I. The removal of derelict structures or vessels.
- J. Placement of temporary structures for water-dependent uses as defined in CGS section 22a-93.
- K. Open water marsh management, tidal wetland restoration, resource restoration or enhancement activity, as defined in CGS subsection (a) of section 22a-361, including beach nourishment, and conservation activities undertaken by or under the supervision of the Department of Energy & Environmental Protection.

Pursuant to CGS Sec. 22a-363h:

- L. Living shoreline projects with consent from LWRD staff.

Part VII: Supporting Documents

The following attachments correspond to Form D. **If the Attachment name is followed by “REQUIRED”, the attachment must be submitted with every application.** When submitting any supporting documents, please label the documents as indicated in this part (e.g., Attachment 6, etc.) and be sure to include the same applicant name used on Page 1 of this application form. Please check the box next to the attachments listed to indicate that they have been submitted, and provide the applicable attachments following this form. NOTE: Attachment numbering is NOT consecutive as the attachments relate to multiple LWRD program applications.

Attachment I.D.	Attachment Description
<input checked="" type="checkbox"/> Attachment 6	Harbor Management Notification If your town has a Harbor Management Commission , submit the certified mail receipt as proof that this completed application was sent by certified mail to the Commission.
<input type="checkbox"/> Attachment 8	Conservation or Preservation Restriction Information, if applicable.
<input type="checkbox"/> Attachment 9	Remediation Documentation , if applicable.
<input checked="" type="checkbox"/> Attachment 10	Photographs showing existing conditions of the site REQUIRED
<input type="checkbox"/> Attachment 11	Photographic Documentation of pre 1939, pre-1987 (above MHW) and/or pre-1995 installation.
<input checked="" type="checkbox"/> Attachment 14	Project Plans , use Project Plan Checklist for requirements REQUIRED
<input type="checkbox"/> Attachment 18	Engineering Report Cover Sheet (DEEP-LWRD-APP-001R)
<input checked="" type="checkbox"/> Attachment 20	Natural Diversity Data Base (NDDDB) Completed NDDDB Determination #: _____ If the proposed activity is within an NDDDB area, complete and submit a Request for NDDB State Listed Species Review Form (DEEP-APP-007) to the address specified on the form, prior to submitting this application. For NDDDB maps and more information, visit the DEEP website at www.ct.gov/deep/nddbrequest or call the NDDDB staff at 860-424-3011. Please note NDDDB review generally takes 4 to 6 weeks and may require the applicant to produce additional documentation, such as ecological surveys, which must be completed prior to submitting this permit application. A copy of the NDDDB Final Determination response letter that has not expired must be submitted as Attachment 20. Include a copy of any mitigation measures or management plan developed for this activity and approved by NDDDB. Please DO NOT include a copy of the NDDDB Review Request/Application. Be aware that you must renew your NDDDB Determination if it expires before project work commences.
<input type="checkbox"/> Attachment 21	DEEP Wildlife Division – Osprey Consultation If the proposed activity will occur within 300 feet of an osprey platform, please note that work will be prohibited between May 1 st and July 31 st unless a DEEP waiver is obtained. If this seasonal prohibition conflicts with the proposed work schedule, please contact the DEEP Wildlife Division’s Wildlife Diversity Program staff at deep.wildlife@ct.gov or 860-424-3011 for technical assistance before submitting your application. If you are seeking a seasonal prohibition waiver, documentation of the waiver issued by Wildlife Diversity Program staff must be submitted as Attachment 21. For known nesting locations, reference the Osprey Map at: https://www.google.com/maps/d/viewer?mid=1GyxnB-UAGxmseleCH9Zj4UdH1ug&usp=sharing or https://www.ctaudubon.org/citizen-science .

Part VI: Supporting Documents (continued)

- | | | |
|-------------------------------------|----------------------|---|
| <input type="checkbox"/> | Attachment 22 | Dredging Consultation Form
(REQUIRED for dredging activities only.)

If dredging is proposed, please refer to Reference for Coastal/Tidal Dredging and submit a completed Dredging Consultation Form . |
| <input type="checkbox"/> | Attachment 23 | Fisheries Consultation Form
If your project involves maintenance dredging, beach nourishment (may be required for groin replacement), or cofferdam installation, submit a completed Fisheries Consultation Form (DEEP-FISH-APP-007). Note: Fisheries consultation is not required for disposal only of dredge sediment at one of the open water sites (generally NY dredge projects). |
| <input type="checkbox"/> | Attachment 24 | Department of Agriculture/Bureau of Aquaculture Consultation
If your project involves maintenance dredging or beach nourishment (may be required for groin replacement), submit a completed Department of Agriculture/Bureau of Aquaculture Consultation Form . Consultation is not required for towns north of: Orange and Derby/Ansonia on the Housatonic River system; Lyme and Essex on the Connecticut River; and Norwich and Preston on the Thames River. |
| <input type="checkbox"/> | Attachment 26 | Shellfish Commission Consultation Form
If your town has a Shellfish Commission and your project includes beach nourishment (may be required for groin replacement), submit a completed Shellfish Commission Consultation Form . |
| <input checked="" type="checkbox"/> | Attachment 41 | Applicant Compliance Information Form (DEEP-APP-002) REQUIRED |
| <input checked="" type="checkbox"/> | Attachment 42 | Applicant Background Information Form (DEEP-APP-008) REQUIRED |
| <input type="checkbox"/> | Attachment 43 | Other Information: Any other applicable information the applicant deems relevant or is required by DEEP. |



Connecticut Department of
Energy & Environmental Protection
Bureau of Water Protection & Land Reuse
Land & Water Resources Division

LWRD License Application Transmittal Form

CPPU USE ONLY	
App #s:	_____

	_____ -DIV
	_____ -FM/E
Doc #:	_____
Check #:	_____

The Land & Water Resources Division (LWRD) License Application* consists of this Transmittal Form and the program-specific form. All application forms can be found on the Department of Energy & Environmental Protection (DEEP) website at [Land Use Permits and General Permits \(ct.gov\)](http://Land Use Permits and General Permits (ct.gov)). Submit application forms per instructions provided in Part VII of this transmittal form.

Part I: License Type and Fee Information

The table below lists various License types issued by DEEP LWRD. If more than one license is necessary for a project, complete only one Transmittal Form. Complete as many Program Forms as applicable for the project. Check the boxes below that correspond with the LWRD license(s) being requested.

Type of License	Program Form	Fee	DEEP USE ONLY
Licenses for Activities in Aquifer Protection Areas			
<input type="checkbox"/> Aquifer Protection Area Registration Check one: <input type="checkbox"/> New <input type="checkbox"/> Modification ¹ of # _____ (no fee) <input type="checkbox"/> Renewal of # _____	A	\$625	[#996]
<input type="checkbox"/> Aquifer Protection Area Permit Check one: <input type="checkbox"/> New <input type="checkbox"/> Modification ¹ of # _____ (no fee) <input type="checkbox"/> Renewal of # _____	B	\$1,250	[#995]
¹ Note that if you are seeking a <i>modification</i> , you should consult the Aquifer Protection Program at 860-424-3019 prior to application submittal to determine whether a registration form is necessary.			
Licenses for Activities in Tidal Waters			
<input type="checkbox"/> Structures, Dredging & Fill ²	C	\$660	[#439]
<input type="checkbox"/> Structures, Dredging & Fill ² and Tidal Wetlands (TW)	C	\$660	[#1058]
<input type="checkbox"/> Structures, Dredging & Fill ² and Section 401 Water Quality Certificate (WQC) ³	C	\$660	[#1769]
<input type="checkbox"/> Structures, Dredging & Fill ² ; TW; and Section 401 WQC ³	C	\$660	[#1772]
<input checked="" type="checkbox"/> Certificate of Permission (if applicable, WQC will be included) ² For projects larger than 825 square feet, provide Attachment A with an additional fee. Refer to the instructions (page 4) for fee calculations. ³ For activities requiring a Sec.404 Permit from United States Army Corps of Engineers (USACE).	D	\$375	[#410]
General Permit Registration for Coastal Maintenance			
<input type="checkbox"/> Marina and Mooring Field Reconfiguration	E	\$700	[#992]
<input type="checkbox"/> Remedial Activities Required by Order	F	\$700	[#427]
<input type="checkbox"/> Residential Modification to FEMA Standards	G	\$100	[#423]
<input type="checkbox"/> Reconstruction of Permitted Structures	H	\$300	[#1741]
General Permit Registration for Minor Coastal Structures			
<input type="checkbox"/> 4/40 Docks/Access Stairs	I	\$700	[#426]
<input type="checkbox"/> Non-Harbor Moorings	J	\$250	[#422]
General Permit Registration for Dolphin Cove			
<input type="checkbox"/> Structures, Fill, Obstructions, or Encroachments in Dolphin Cove Lagoon, Stamford	K	\$100	[#420]

Part I: License Type and Fee Information (continued)

Type of License	Program Form	Fee	DEEP USE ONLY
For Federal Agency Activities Only:			
<input type="checkbox"/> Section 401 Water Quality Certificate (Tidal)	C	None	[#1186]
Licenses for Activities in Non-Tidal Waters			
<input type="checkbox"/> Section 401 Water Quality Certificate (Individual) ³	L	None	[#1195]
<input type="checkbox"/> Pre-Construction Notification, USACE General Permits for CT ³	L	None	[#1188]
<input type="checkbox"/> Inland Wetlands and Watercourses ⁴	L	None	[#365]
<input type="checkbox"/> Inland Wetlands and Watercourses ⁴ and WQC ³	L	None	[#2225]
³ For activities requiring a Sec.404 Permit from USACE.			
⁴ For State Agency Activities OR Activities Conducted on State Owned/Controlled Lands.			
For State Agency Activity Conducted on State Owned/Controlled Lands Only:			
General Permit Registration for Water Resources Construction Activities			
<input type="checkbox"/> Activities 1-4: Maintenance Plans	M	\$2,500	[#2243]
<input type="checkbox"/> Activities 5-7: Infrastructure and Public Works Projects	N	\$2,500	[#2244]
<input type="checkbox"/> Activity 8: Activities Authorized Under a Corps General Permit (Must be submitted after receiving PCN approvals and Flood Management, if applicable.)	O	\$1,250	[#2245]
<input type="checkbox"/> Activity 9: Conservation Activities	O	\$1,250	[#2246]
Additional Licenses for Activities			
These licenses may be combined with Tidal or Non-Tidal Waters licenses.			
Water Diversion – Non-consumptive			
<input type="checkbox"/> Watershed < 0.5 sq. mi.	L	\$2,050	[#457]
<input type="checkbox"/> Watershed ≥ 0.5 sq. mi and < 2.0 sq. mi.	L	\$4,000	[#456]
<input type="checkbox"/> Watershed ≥ 2.0 sq. mi.	L	\$6,250	[#455]
For State Agency Activity/Activities Receiving Funding Through a State Agency:			
<input type="checkbox"/> Flood Management Certification	P	None	[#1185]
<input type="checkbox"/> Flood Management Certification with Exemption Request	P	None	[#1185]
Fee from Attachment A, if applicable			
Total		\$ 375.00	

*For processing purposes, the terms Application and Applicant are synonymous with the terms Registration and Registrant.

In addition to applicable boxes above, check here if your application is:

- eligible for a municipal 50% discount;
- for work in tidal waters and being submitted pursuant to CGS section 22a-361(a)(2)(d) to address a violation; or
- receiving state funding including federal funding administered by the state (to help determine need for Flood Management Certification); or
- being submitted by a state agency, therefore the fee will be paid by Inter-Agency Transfer of Funds. State Agencies should submit the registration or application package without the registration/application fee.

Part II: Project and Site Information

1a. Project: Provide a brief description of project/activity/work: To rebuild an existing authorized dock and retaining wall

1b. Site Name and Location

Name of Site: Kerr Residence

Address of Site: 86 Bluff Avenue City/Town: Norwalk State: CT Zip Code: 06853

Parcel Location/Tax Assessor's Reference: Map District 6 Block 15 Lot 1

GPS Coordinates/Latitude and Longitude: Provide the exact location of proposed activity, in degrees/minutes/seconds or in decimal degrees: Latitude: 41 03' 41.85"N Longitude: 73 26' 08.96"W

Parcel/Easement size: If the project is located on a parcel, indicate parcel acreage: 0.16 acres

If the project is located on a utility/transportation right-of-way or easement, indicate dimensions or acres: N/A

Part III: Applicant Information

- If an applicant is a corporation, limited liability company, limited partnership, limited liability partnership, or a statutory trust, they must be registered with the Secretary of State. If applicable, the applicant's name shall be stated **exactly** as it is registered with the Secretary of State. Please note, for those entities registered with the Secretary of State, the registered name will be the name used by DEEP. This information can be accessed at the Secretary of State's database (CONCORD) at portal.ct.gov/SOTS.
- If an applicant is an individual, provide the legal name (include suffix) in the following format: First Name; Middle Initial; Last Name; Suffix (Jr, Sr., II, III, etc.).
- Once an authorization has been received, if there are any changes or corrections to your company/facility or individual mailing or billing address or contact information, please complete and submit the [Request to Change Company/Individual Information](#) to the address indicated on the form.

1. Applicant/Registrant* Information

Name: Phillip & Erin Kerr

Mailing Address: 25 Raymond Street

City/Town: Darien State: CT Zip Code: 06820-4923

Business Phone: _____ Ext: _____

Contact Person: Phillip Kerr Phone: 917-596-2451 Ext: _____

E-mail Address†: phillip.kerr@gmail.com

†Email is Required. By providing this e-mail address you are agreeing to receive official correspondence from DEEP, at this electronic address, concerning the subject application. Please remember to check your security settings to be sure you can receive e-mails from "ct.gov" addresses. Also, please notify DEEP if your e-mail address changes.

If co-applicant(s), check this box and attach co-applicant information as Attachment B following this form.

a) Applicant Type (check one):

individual federal agency state agency municipality tribal

business entity (if a business entity, complete i through iii below):

i) business type: corporation limited liability company limited partnership
 limited liability partnership statutory trust Other: _____

ii) provide Secretary of the State business ID #: _____

This information can be accessed at database (CONCORD): portal.ct.gov/SOTS

iii) check here if your business is **NOT** registered with the Secretary of State's Office.

*For processing purposes, the terms Application and Applicant are synonymous with the terms Registration and Registrant.

Part III: Applicant Information (continued)

b) Applicant's interest in property at which the proposed activity is located:

- site owner option holder lessee facility owner
 easement holder operator other (specify): _____

2. List billing contact, if different than the applicant:

Name: _____
Mailing Address: _____
City/Town: _____ State: _____ Zip Code: _____
Business Phone: _____ Ext.: _____
Contact Person: _____ Title: _____
E-mail: _____

3. Primary contact for departmental correspondence and inquiries if different than applicant:

Name: James J. Bajek, LLC
Mailing Address: 4570 Bowen Bayou Road
City/Town: Sanibel State: FL Zip Code: 33957
Business Phone: 803-930-4549 Ext.: _____
Contact Person: Jim Bajek Title: Environmental Consultant
E-mail: jjbajek@comcast.net

4. Site/Property Owner*, if different than applicant:

Name: _____
Mailing Address: _____
City/Town: _____ State: _____ Zip Code: _____
Business Phone: _____ Ext.: _____
Contact Person: _____ Title: _____
E-mail: _____

*If the applicant is not the owner, submit written permission from the owner as Attachment C

5. Facility Owner, if different than applicant:

Name: _____
Mailing Address: _____
City/Town: _____ State: _____ Zip Code: _____
Business Phone: _____ Ext.: _____
Contact Person: _____ Title: _____
E-mail: _____

6. Facility Operator, if different than applicant:

Name: _____
Mailing Address: _____
City/Town: _____ State: _____ Zip Code: _____
Business Phone: _____ Ext.: _____
Contact Person: _____ Title: _____

E-mail: _____

Part III: Applicant Information (continued)

7. Attorney or other representative, if applicable.

Firm Name: _____

Mailing Address: _____

City/Town: _____

State: _____ Zip Code: _____

Business Phone: _____

Ext.: _____

Attorney: _____

Title: _____

E-mail: _____

8. Engineer(s), surveyor(s) and/or other consultant(s) employed or retained to assist in preparing the application and designing or constructing the activity.

Name: Redniss & Mead

Mailing Address: 22 First Street

City/Town: Stamford

State: CT Zip Code: 06905

Business Phone: 203-327-0500

Ext.: _____

Contact Person: Gary Keddo

Title: Surveyor

E-mail: g.keddo@rednissmead.com

Service Provided: site survey & plans preparation

Part IV: Pre-Application Coordination

If pre-application coordination occurred, provide DEEP LWRD staff contact information:

Staff Name: Emily Herz

Date: 4-22-2025

Part V: Supporting Documents

As applicable, check the box by the attachments listed to indicate that they have been submitted. When submitting any supporting documents, please label the documents as indicated in this part (e.g., Attachment A, etc.) and be sure to include the applicant's name as indicated on this application form. Attach the materials below following this transmittal form.

- Attachment A Structures, Dredging and Fill fee calculation worksheet (if applicable)
- Attachment B Co-applicant information sheet (if applicable)
- Attachment C Written permission from land owner (if applicant is not the owner)
- Attachment D Additional signature sheet (if applicable)

NOTES:

1. *This survey has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on August 29, 2019. It is a General Location Survey the Boundary Determination Category of which is a Resurvey of portions of the boundaries as specifically depicted hereon and conform to Horizontal Accuracy Class A-2. The property lines depicted without definition do not represent the surveyor's Property/Boundary Opinion as this map was compiled in part from record research, other maps, limited field measurements and other sources of information. It is not to be construed as a Property/Boundary or Limited Property/Boundary Survey and is subject to such change as said surveys may disclose.*
2. *Elevations depicted hereon are based on the North American Vertical Datum of 1988 (N.A.V.D. 88) and conform to vertical accuracy class 'V - 3'.*
3. *Refer to Map 13131 of the Norwalk land records.*
4. *These plans are prepared for the Connecticut Department of Energy & Environmental Protection and the Army Corps of Engineers for permitting purposes only. They are not intended to be construction plans nor plans for local permitting if required.*
5. *The 1% annual chance flood hazard boundary depicted hereon was transcribed from the Federal Emergency Management Agency Flood Insurance Rate Map 09001C0541G effective July 8, 2013. The property is depicted as lying entirely within a 1% annual chance flood hazard boundary (Zone AE EL 15).*
6. *Property lies within the coastal area management boundary.*
7. *Field work conducted on May 29, 2024.*

DECLARATION AND NOTES FOR
GENERAL LOCATION SURVEY
 DEPICTING PROPOSED DOCK
86 BLUFF AVENUE
 NORWALK, CONNECTICUT
 PREPARED FOR
PHILLIP KERR
ERIN KERR



LAND SURVEYING
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 PLANNING & ZONING CONSULTING
 PERMITTING

22 First Street | Stamford, CT 06905
 Tel: 203.327.0500 | Fax: 203.357.1118
 www.rednissmead.com

Drawn By: GK

Checked By: LWP

Date: May 7, 2025

Sheet: 1 Of 7

Comm. No. 7914



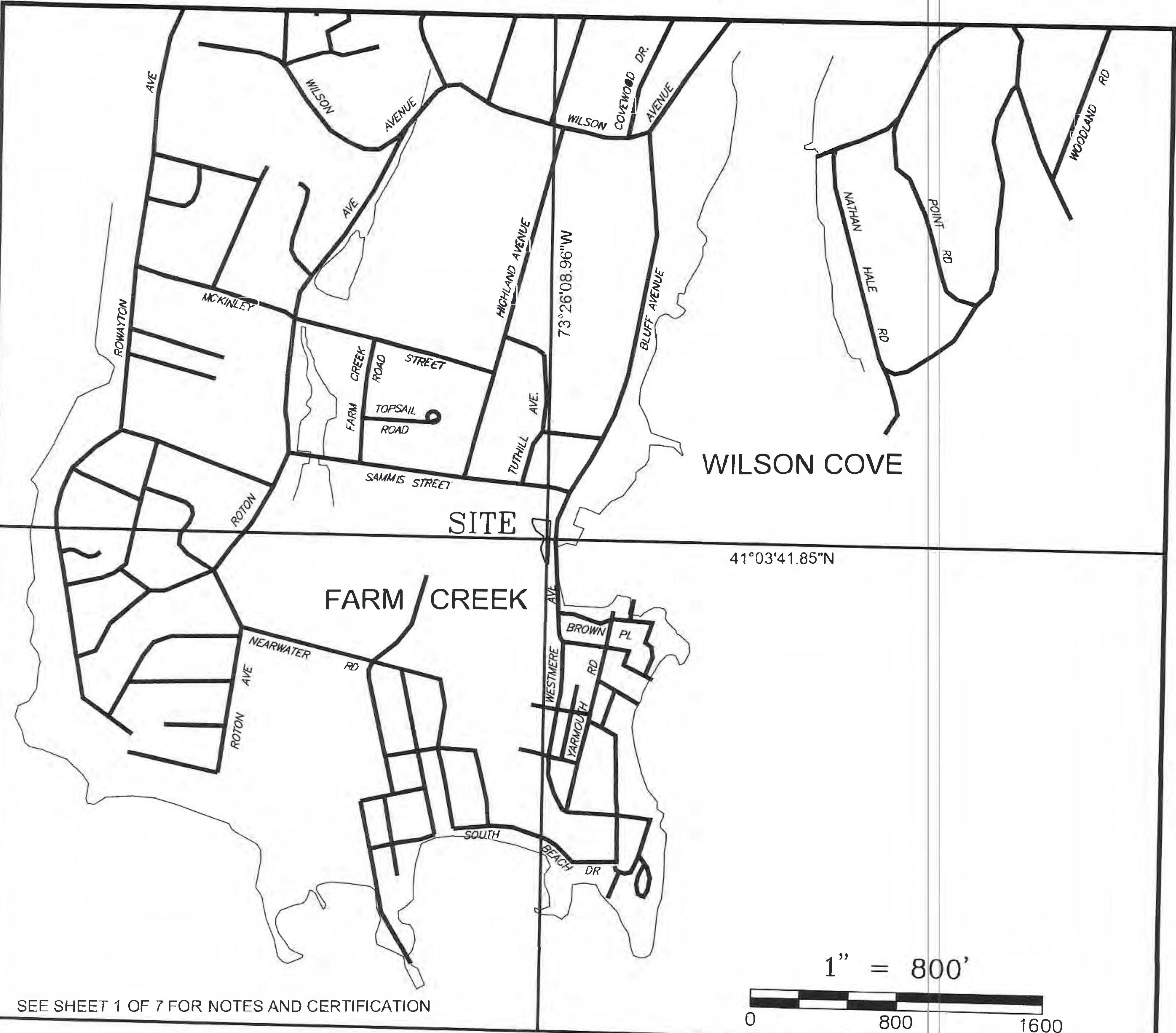
GLS

To my knowledge and belief this map is substantially correct as noted hereon.

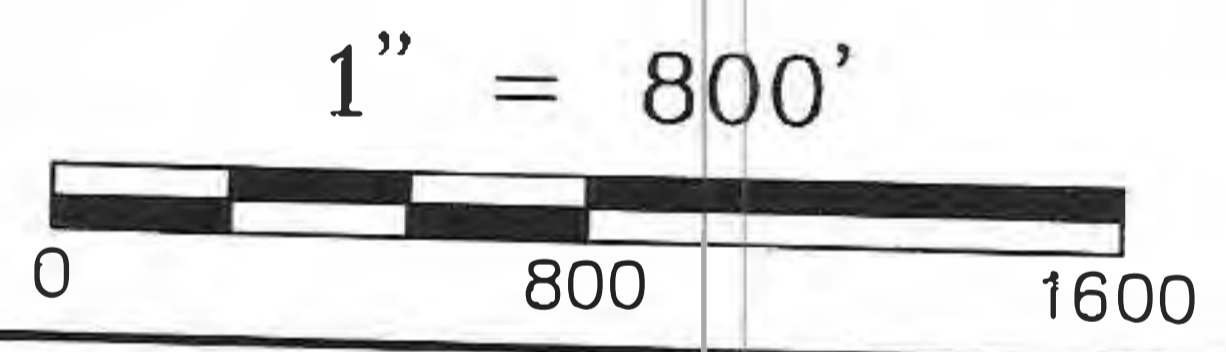
LAWRENCE W. POSSON, Jr. CT. P.L.S. #18130

DATE

This document and copies thereof are valid only if they bear the signature and embossed seal of the designated licensed professional. Unauthorized alterations render any declaration hereon null & void.



SEE SHEET 1 OF 7 FOR NOTES AND CERTIFICATION



DISTRICT 6, BLOCK 15, LOT 1 **ZONE: CD-1M**



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 www.rednissmead.com

LOCUS MAP
86 BLUFF AVENUE
 NORWALK, CONNECTICUT
 PREPARED FOR
PHILLIP KERR
ERIN KERR

Permitting Agent
 James J. Bajek, LLC
 4570 Bowen Bayou Road
 Sanibel, FL 33957
 Phone: 603-930-4549
 jjbajek@comcast.net



GLS

Drawn By: GK
Checked By: LWP
Date: May 7, 2025
Sheet: 2 Of 7
Comm. No. 7914

NORTH - MAP 13131 N.L.R.

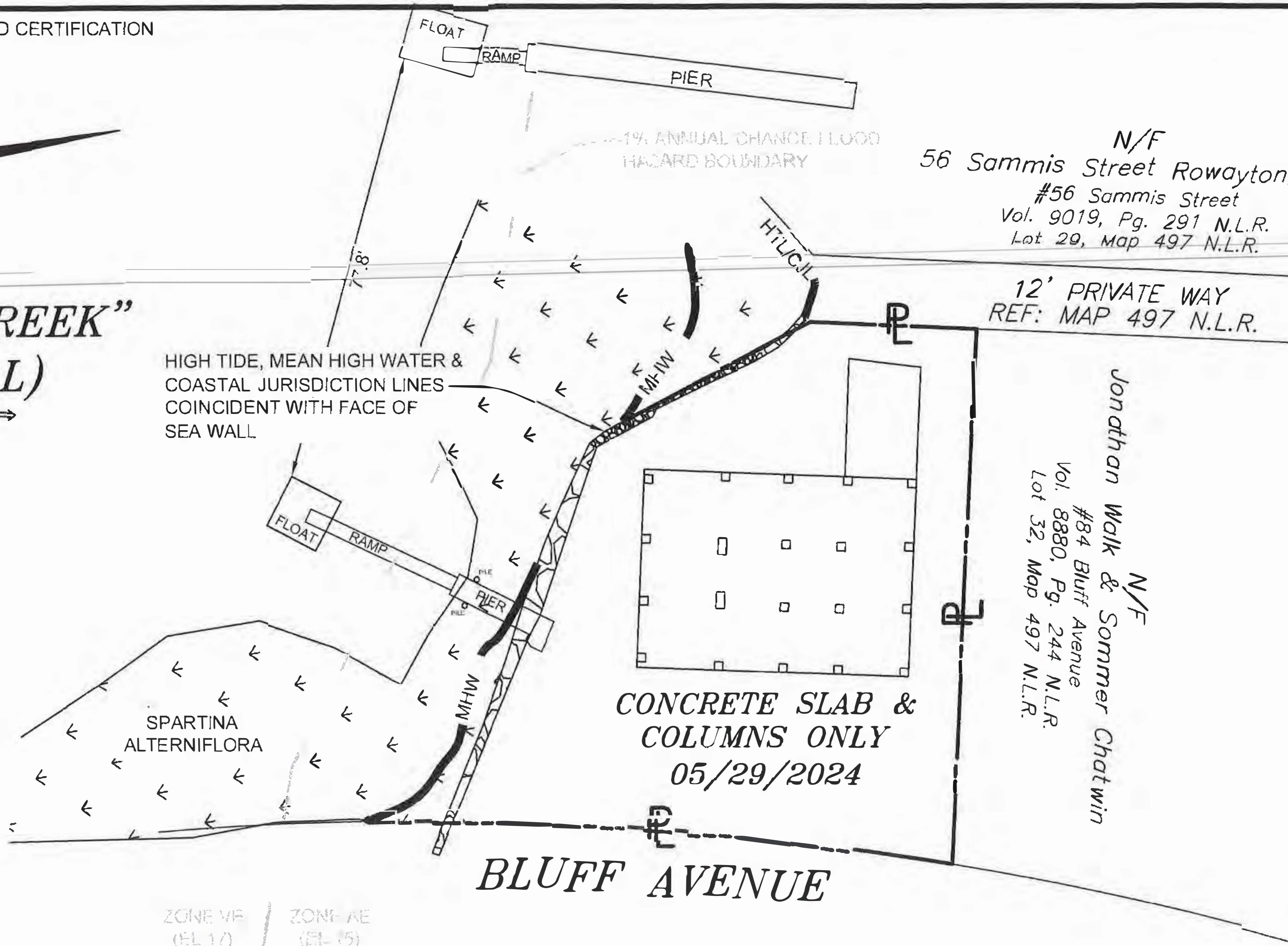
N/F
56 Sammis Street Rowayton, LLC
#56 Sammis Street
Vol. 9019, Pg. 291 N.L.R.
Lot 29, Map 497 N.L.R.

12' PRIVATE WAY
REF: MAP 497 N.L.R.

"FARM CREEK"
(TIDAL)

FLOOD ⇒
⇐ EBB

HIGH TIDE, MEAN HIGH WATER &
COASTAL JURISDICTION LINES
COINCIDENT WITH FACE OF
SEA WALL



PLANS ARE FOR PERMITTING
PURPOSES ONLY, NOT TO BE
USED FOR CONSTRUCTION

VERTICAL DATUM: N.A.V.D. 88

H.T.L. - HIGH TIDE LINE ELEV. = 5.4
C.J.L. - COASTAL JURISDICTION LINE ELEV. = 5.4
M.H.W. - MEAN HIGH WATER ELEV. = 3.3
M.L.W. - MEAN LOW WATER ELEV. = -3.7

1" = 30'



PROXIMITY MAP
DEPICTING
86 BLUFF AVENUE
NORWALK, CONNECTICUT
PREPARED FOR
PHILLIP & ERIN KERR



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Sheet: 3 Of 7
Comm. No. 7914

NORTH - MAP 19181 N.L.R.

"FARM CREEK" (TIDAL)

FLOOD →
← EBB

1% ANNUAL CHANCE FLOOD
HAZARD BOUNDARY

HIGH TIDE, MEAN HIGH WATER &
COASTAL JURISDICTION LINES
GOINCIDENT WITH FACE OF
SEA WALL

RIP RAP

STONE MASONRY
SEA WALL

FLOAT

RAMP

PIER

LANDING

SPARTINA
ALTERNIFLORA

EX. STONE SEA WALL
(FAILING)

CONCRETE SLAB &
COLUMNS ONLY
05/29/2024

ZONE VE (EL 17) / ZONE AE (EL 15)

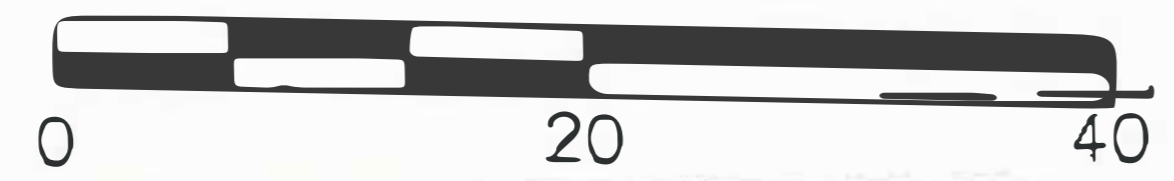
BLUFF AVENUE

**PLANS ARE FOR PERMITTING
PURPOSES ONLY, NOT TO BE
USED FOR CONSTRUCTION**

VERTICAL DATUM: N.A.V.D. 88

- H.T.L. - HIGH TIDE LINE ELEV. = 5.4**
- C.J.L. - COASTAL JURISDICTION LINE ELEV. = 5.4**
- M.H.W. - MEAN HIGH WATER ELEV. = 3.3**
- M.L.W. - MEAN LOW WATER ELEV. = -3.7**

1" = 20'



GENERAL LOCATION SURVEY

DEPICTING

~EXISTING CONDITIONS~

86 BLUFF AVENUE

NORWALK, CONNECTICUT

PREPARED FOR

PHILLIP & ERIN KERR

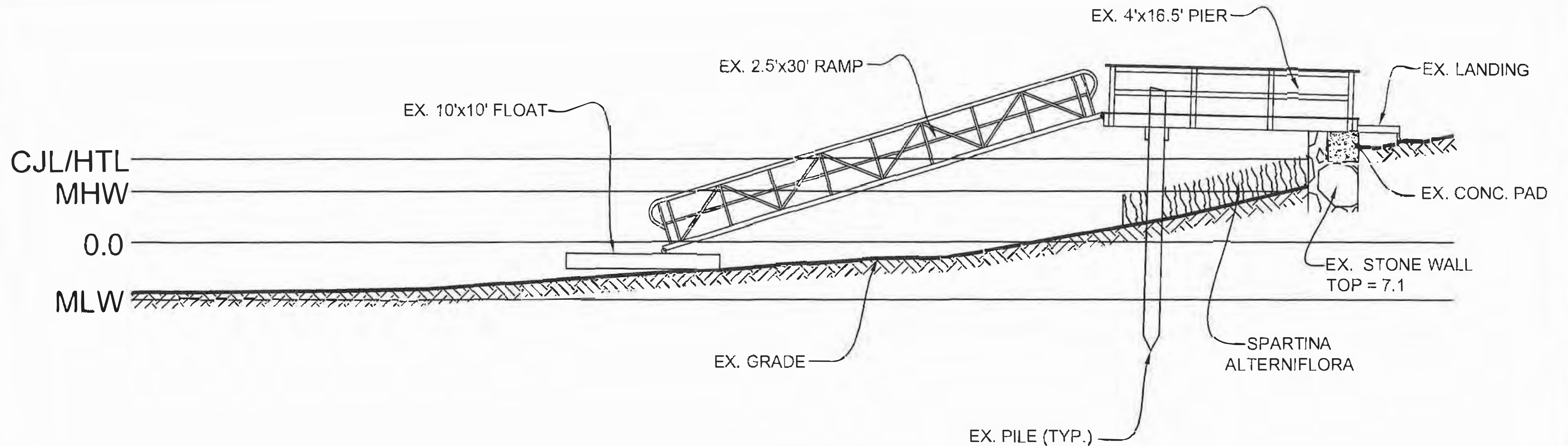


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Date: May 7, 2025
Sheet: 4 Of 7
Comm. No. 7914



CROSS SECTION A - A

PLANS ARE FOR PERMITTING PURPOSES ONLY, NOT TO BE USED FOR CONSTRUCTION

VERTICAL DATUM: N.A.V.D. 88

H.T.L. - HIGH TIDE LINE ELEV. = 5.4
C.J.L. - COASTAL JURISDICTION LINE ELEV. = 5.4
M.H.W. - MEAN HIGH WATER ELEV. = 3.3
M.L.W. - MEAN LOW WATER ELEV. = -3.7

1" = 10'



GENERAL LOCATION SURVEY

DEPICTING
 EXISTING CROSS SECTION
86 BLUFF AVENUE

NORWALK, CONNECTICUT
 PREPARED FOR

PHILLIP & ERIN KERR



REDNISS & MEAD

Drawn By: GK
 Checked By: LWP
 Date: May 7, 2025
 Sheet: 5 Of 7
 Comm. No. 7914

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NORTH - MAP 13131 N.L.R.

"FARM CREEK" (TIDAL)

FLOOD →
← EBB

1% ANNUAL CHANCE FLOOD
HAZARD BOUNDARY

HIGH TIDE, MEAN HIGH WATER &
COASTAL JURISDICTION LINES
COINCIDENT WITH FACE OF
SEA WALL

PROPOSED FLOAT
STABILIZER CABLE (TYP.)

PROPOSED NEW 10'x10' FLOAT
PROPOSED 4"x4"x18" LEGS
ON 2"x6"x10' SKIDS AS
FLOAT STOP SYSTEM (TYP.)

PROPOSED 3'x30' RAMP

PROPOSED 4'x16' PIER
BOTTOM ELEV. = 8.3'
EX. PILE (TYP.)

SPARTINA
ALTERNIFLORA

PROPOSED CONC. PAD
TOP = 8.3'

PROPOSED 1.5' x 119.5'
STONE MASONRY SEA WALL
TOP = 8.1

CONCRETE SLAB &
COLUMNS ONLY
05/29/2024

ZONE VE (EL. 17) / ZONE AE (EL. 15)

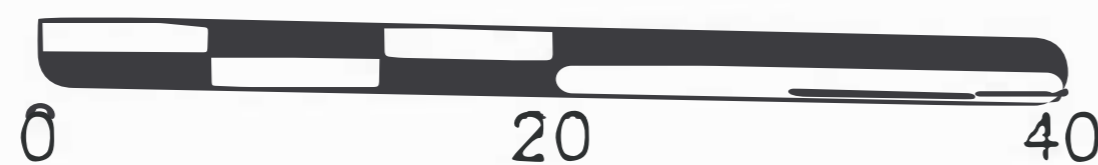
BLUFF AVENUE

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VERTICAL DATUM: N.A.V.D. 88

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1" = 20'



GENERAL LOCATION SURVEY

DEPICTING

~PROPOSED CONDITIONS~

86 BLUFF AVENUE

NORWALK, CONNECTICUT

PREPARED FOR

PHILLIP & ERIN KERR

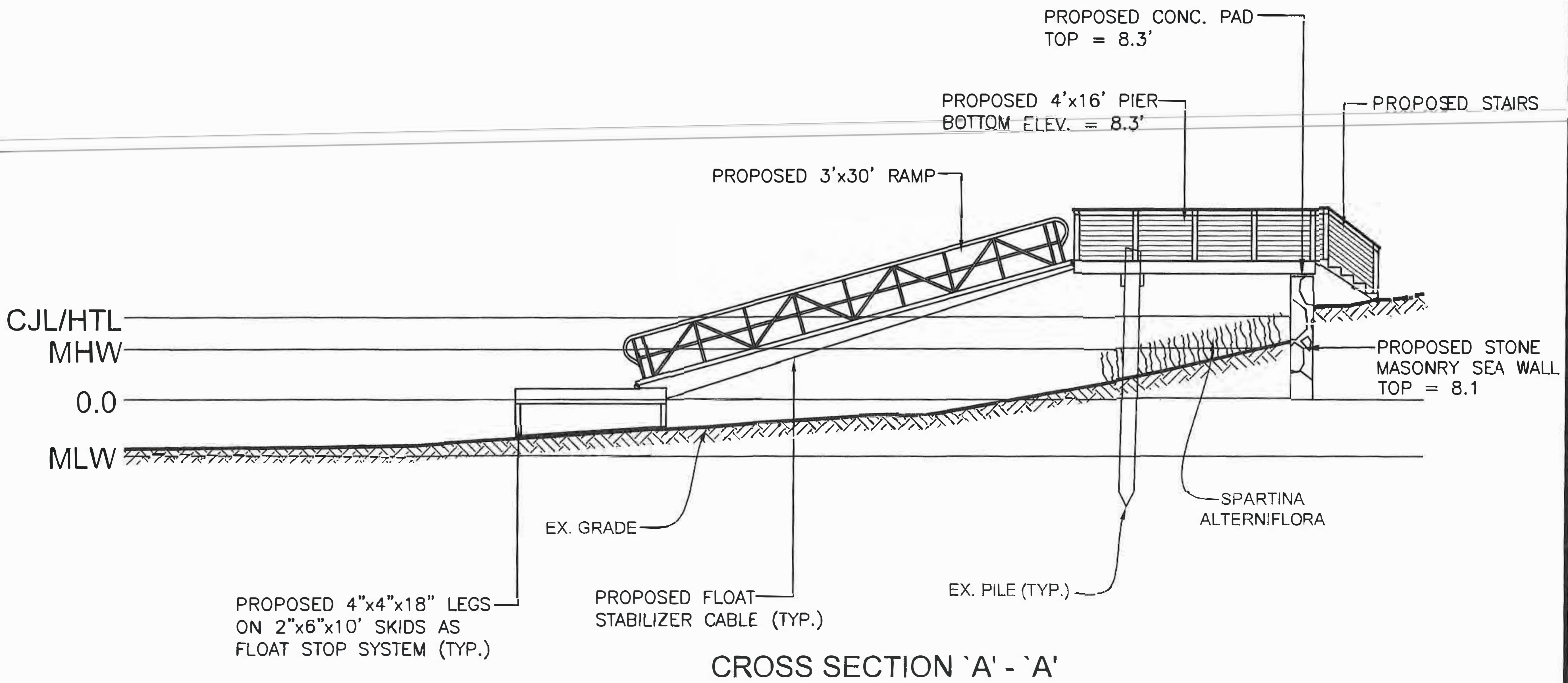


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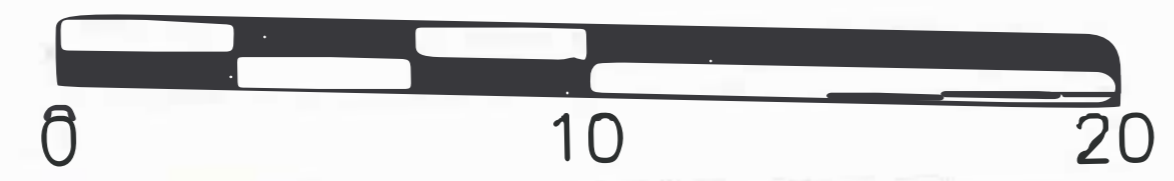


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M.L.W. - MEAN LOW WATER ELEV. = -3.7

1" = 10'



GENERAL LOCATION SURVEY

DEPICTING
 PROPOSED CROSS SECTION
86 BLUFF AVENUE

NORWALK, CONNECTICUT
 PREPARED FOR
PHILLIP & ERIN KERR



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Drawn By: GK
Checked By: LWP
Date: May 7, 2025
Sheet: 7 Of 7
Comm. No. 7914







Norwalk Planning & Zoning Commission
125 East Avenue
Norwalk, Connecticut

May 14, 2025

Memorandum

To: Mayor Harry Rilling; Planning & Zoning Commission – Galen Wells, Chairwoman; Connecticut Department of Energy and Environmental Protection (DEEP), Norwalk Harbor Management Commission, Five Mile River Commission, Town of Darien, Town of New Canaan, Town of Westport, Town of Wilton, WestCOG

From: Bryan Baker, AICP, Principal Planner

Re: **#2025-35 R – Planning & Zoning Commission – Zoning Regulation Text Amendment(s) to Articles 4, 6 and 9 regarding details on minimum and maximum ceiling heights for certain uses; allowing Open Space as a principal use in all zones; permitting Townhouses within the SD-MC zone by Special Permit; revisions to the limitations on certain uses that referenced out-of-date road classifications; revisions to the flood zone regulations specifying areas of structures that must be unfinished; deleting the definition of Attic; modifying the definitions of Story, Half-, Story, and Lowest Floor; creating definitions for Unfinished Area and Finished (Habitable) Area;**

Please accept this letter as the statutorily required referral for amendments to the City of Norwalk's Zoning Regulations. The Norwalk Planning & Zoning Commission will be holding a public hearing on the following zoning regulations amendments at a meeting that is tentatively scheduled for June 18, 2025.

The zoning map can be found here:

https://www.norwalkct.gov/DocumentCenter/View/32441/ApprovedZoningMap_Effective2_19_24

The existing Zoning Regulations can be found here:

https://www.norwalkct.gov/DocumentCenter/View/34823/Zoning-Regulations_Rev_3_28_25?bidId=

For clarity:

- Each proposed revision will be under a separate page
- New/Proposed text is indicated in **red text**
- Deleted text is indicated as ~~struck-through text~~

1. Modify Table 4.3.1-G which applies to the CD-3C to include the following amendments:

Ceiling Height
May not exceed 13 ft. from finished floor to finished floor, except for: <ol style="list-style-type: none">1. A first floor Business/Commercial, Office, Restaurant, Retail/Personal Service, or Lodging Use which must be a minimum of 15 ft. with a maximum of 25 ft.2. Auditoriums, Community Centers or Places of Assembly, Commercial Recreation Establishments, Event Venues, Museums, Performing Arts Theaters, and Places of Worship

DRAFT

2. Modify Tables 4.3.1-G, H and I which applies to the CD-3W, CD-4 and CD-4W zones, respectively, to include the following amendments:

Ceiling Height
May not exceed 13 ft. from finished floor to finished floor, except for: <ol style="list-style-type: none">1. A first floor Business/Commercial, Office, Restaurant, Retail/Personal Service, or Lodging Use which must be a minimum of 15 ft. with a maximum of 25 ft.2. Auditoriums, Community Centers or Places of Assembly, Commercial Recreation Establishments, Event Venues, Museums, Performing Arts Theaters, and Places of Worship

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3. Modify Table 4.3.9.A which applies to the principal use table to include the following amendment:

Principal Use	CD -1L	CD -1M	CD -1S	CD -2	CD -3	CD -3W	CD -3C	CD -4	CD -4W	SD -H	SD -IC	SD -LI	SD -HI	SD -MC	CV
Open Space	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR

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4. Modify Tables 4.3.1-N, 4.3.8.A, 4.3.8.B, 4.3.9.A which applies to permitting Townhouses in the SD-MC zone to include the following amendments:

Table 4.3.1-N

Building Types			
Cottage	NP	Jewel Box	P
House	NP	Commercial	P
Estate House	NP	Mixed Use	P
Duplex	NP	Flex	P
Townhouse	NP P	Mid-Rise	NP
Small Multifamily Building	NP	Large Scale Commercial	NP
Large Multifamily Building	NP	Civic	P
Live/Work	P		

Table 4.3.8.A


Principal Building Type		Permitted Districts
	<p>Townhouse A Principal Building in a collection of very narrow- to medium-sized attached Buildings on contiguous Lots or Building Sites with a back yard (or yard along the side if an end unit), which collection consists of side-by-side Dwelling Units with individual entries facing the street. Each Building occupies the full Frontage Line of its Lot or Building Site and shares at least one party wall with another Building of the same type.</p>	<p>CD-3, -3W & -3C, CD-4 & -4W, SD-MC</p>

Table 4.3.8.B

TOWNHOUSE TABLE 4.3.8.B PRINCIPAL BUILDING TYPES
SPECIFIC STANDARDS



Permitted Districts

CD-3, CD-3W, CD-3C, CD-4, CD-4W, **SD-MC**

Table 4.3.9.A

Principal Use	CD -1L	CD -1M	CD -1S	CD -2	CD -3	CD -3W	CD -3C	CD -4	CD -4W	SD -H	SD -IC	SD -LI	SD -HI	SD-MC	C V
Townhouse	NP	NP	NP	NP	P	P	P	P	P	NP	NP	NP	NP	NP SPU -L	N P

5. Modify Section 4.3.9.G which applies to limitations on certain uses to include the following amendments:

c. Amphitheater (Civic)

(2) The traffic generated by such facility shall be safely accommodated along major streets without traversing local minor streets; and

(3) Access to such facility shall be by a paved public major arterial or major collector street. Traffic shall not be directed through Residentially zoned or Residentially used property, through areas that are Adjacent to Residentially zoned or Residentially zoned property, or on minor Residential streets traversing Residentially zoned or Residentially used property areas or areas that Adjacent thereto; and

d. Amphitheater (Commercial)

(2) The traffic generated by such facility shall be safely accommodated along major streets without traversing local minor streets; and

(3) Access to such facility shall be by a paved public major arterial or major collector street. Traffic shall not be directed through Residentially zoned or Residentially used property, through areas that are Adjacent to Residentially zoned or Residentially zoned property, or on minor Residential streets traversing Residentially zoned or Residentially used property areas or areas that Adjacent thereto; and

g. Auditorium, Community Center or other Place of Assembly

(2) The traffic generated by such facility shall be safely accommodated along major streets without traversing local minor streets; and

(3) Access to such facility shall be by a paved public major arterial or major collector street. Traffic shall not be directed through Residentially zoned or Residentially used property, through areas that are Adjacent to Residentially zoned or Residentially zoned property, or on minor Residential streets traversing Residentially zoned or Residentially used property areas or areas that Adjacent thereto; and

o. Cannabis Dispensary Facility shall be permitted in accordance with the applicable Use Table, subject to the following:

(16) Said facilities shall be located and accessed from a collector or arterial street **Commercial Thoroughfare street typology per the City of Norwalk Complete Streets Design Guide, as amended.**

q. Cannabis Hybrid Retailer shall be permitted in accordance with the applicable Use Table, subject to the following:

(16) Said facilities shall be located and accessed from a collector or arterial street **Commercial Thoroughfare street typology per the City of Norwalk Complete Streets Design Guide, as amended.**

v. Cannabis Retailer shall be permitted in accordance with the applicable Use Table, subject to the following:

(16) Said facilities shall be located and accessed from a collector or arterial street **Commercial Thoroughfare street typology per the City of Norwalk Complete Streets Design Guide, as amended.**

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6. Modify Section 6.9.5.C.1 which applies to construction within the Special Flood Hazard Zone to include the following amendments:

- a. Residential Construction.

All new Construction, Substantial Improvements, and repair to Structures that have sustained Substantial Damage which are Residential Structures shall have the bottom of the **Lowest Floor** ~~lowest floor, including Basement~~, elevated two (2) feet above the Base Flood Elevation (BFE). Electrical, plumbing, machinery or other utility equipment that service the structure must be elevated two (2.0) feet above the BFE. **Any level below the Lowest Floor shall be Unfinished Area.**

- c. Fully Enclosed Areas Below the Base Flood Elevation **Plus Two (2) Feet** of Elevated Buildings.

All new Construction, Substantial Improvements, or repair to Structures that have sustained Substantial Damage, **whether residential or non-residential**, that include fully enclosed areas formed by a foundation and other exterior Walls shall have the ~~lowest floor~~ **Lowest Floor** elevated to two (2) feet above the Base Flood Elevation (BFE). The elevated Building shall be designed ~~to preclude finished living space to~~ **preclude Finished (Habitable) Area** below the ~~lowest floor~~ **Lowest Floor** and be designed to allow for the entry and exit of Flood waters to automatically equalize hydrostatic flood forces on exterior walls (wet flood-proofing), **except where dry flood-proofing is allowed per Section 6.9.5.C.1.b**. Designs for complying with this requirement must either be certified by a ~~registered~~ professional engineer or architect **registered within the State of Connecticut**, as meeting the requirements of ASCE 24 Section 2.6.2.2., or meet the following minimum criteria listed in Sections (1)-(8) below:

- (5) The area cannot ~~shall not~~ be used as ~~finished living space~~ **Finished (Habitable) Area and shall be an Unfinished Area**. Use of the enclosed area shall be the minimum necessary and shall only be used for the parking of vehicles, Building access or limited storage. Access to the enclosed area shall **not exceed** be the minimum necessary to allow for the parking of vehicles (Garage door) or limited storage of maintenance equipment used in the connection with the premises (standard exterior door) or entry to the living area (stairway or elevator). The enclosed area shall not be used for human habitation;
- (6) All interior Walls, floor, and ceiling materials located below two (2) feet above the BFE shall be **Unfinished Area** ~~unfinished~~ **and be flood damage-resistant in accordance with FEMA Technical Bulletin 2, Flood Damage-Resistant Requirements.**

7. Modify Section 6.9.5.D.12 which applies to construction within the Coastal High Hazard Zone to include the following amendments:
 - (12) If Breakaway Walls, lattice work or insect screening are utilized, the resulting enclosed space shall not be designed to be used for human habitation **or Finished (Habitable) Area**, but shall be designed to be used only for parking of vehicles, Building access, or limited storage. **Utilization of non-supporting** enclosures of 300 square feet or more are subject to increased insurance premiums.

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8. *Modify Section 9.3 Defined Terms, to include the following:*

~~Attic: the interior part of a Building contained within a pitched roof structure. See Illustration 9.3.A-3 (Attic)~~

Story, Half-: a level within a Building or other Structure that is an Attic in which the area with a ceiling height of seven feet six inches (7'6") or greater between the surface of the floor and the bottom of the rafters above it when excluding Dormers, is fifty percent (50%) or less of the Attic floor area under that roof, or, when including Dormers, is sixty percent (60%) or less of the Attic floor area under that roof. **A level within a Building or Structure, which may include a ceiling, whose height, measured between the floor and the bottom of the roof rafters, does not exceed seven feet six inches (7'6") for more than fifty percent (50%) of that floor area, or, when including Dormers, sixty percent (60%); or a level within a Building or Structure, located under a flat roof, whose total floor area does not exceed fifty percent (50%) of the floor below and must be set back a minimum of five feet (5') from all building faces.**

Unfinished Area: As related to fully enclosed areas below two feet above the base flood elevation (BFE+2'), an enclosed area that is used only for the parking of vehicles, building access or storage purposes and that does not meet the definition of a Finished (Habitable) Area. Drywall required for fire protection is permitted in Unfinished Areas. Unfinished enclosed areas below the BFE+2' shall comply with FEMA Technical Bulletin 2, Flood-Damage Resistant Materials Requirements.

Finished (Habitable) Area – As related to fully enclosed areas below two feet above the base flood elevation (BFE+2), a space that is, but is not limited to, heated and/or cooled, contains finished floors, has sheetrock walls that may or may not be painted or wallpapered, and other amenities such as furniture, appliances, bathrooms, fireplaces and other items that are easily damaged by floodwaters and expensive to clean, repair or replace.

Story: a level within a Building, being that portion between the surface of any floor and the surface of the floor next above it; if there is no floor above it, then the space between the floor and ceiling next above it; unless that space is a Half Story. The number of Stories shall be measured from the Finished Grade along the Principal Frontage of a Structure and/or Building.

- (1) A Basement is a Story when the ceiling height is more than three (3) feet above the Finished grade measured along the Principal Frontage of the Structure and/or Building; except that, within the Special Flood Hazard Areas the lowest level **Unfinished Area below the Lowest Floor** is not a Story provided that **more than 50% of the floor-to-ceiling height is below the Base Flood Elevation.**
 - a.—It is uninhabitable space and can only be used for Parking or storage; and
 - b.—More than 50% of the floor height is below the Base Flood Elevation.

- (2) For Structures on pilings within the Special Flood Hazard Area, the area between the ground and the floor next above it shall not count as a Story, provided that more than 50% of the Existing Grade is below the Base Flood Elevation.

Lowest Floor: The lowest floor of the lowest enclosed area (including Basement); except **Within a Special Flood Hazard Area**, an unfinished **Unfinished Area** or flood resistant enclosure usable solely for parking of vehicles, building access or storage, in an area other than a basement area is not considered a Building's lowest floor.

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