



REGULAR MEETING – PLANNING AND ZONING COMMISSION AGENDA

APRIL 22, 2026, 6:00 PM
BY ZOOM VIRTUAL MEETING

To allow public access, anyone may access a meeting by telephone and/or Zoom, or a recording in the City of Norwalk YouTube channel. Specific instructions and links can be found at norwalkct.gov/meetings.



Members of the public may call in to participate. Callers will not be able to see the meeting participants. All participants will be muted upon entering the meeting. To speak, dial *9 on the phone and you will be called on by the host of the meeting during the public comment section. All speakers must state their name and address. Comments must be on a topic on the agenda, and are limited to three minutes. Anyone disrupting the orderly conduct of the meeting, including by using threatening, hateful, or sexually-explicit language, will be removed. Please find the information using the link above.



Members of the public who wish to provide "live comments" may also use the Zoom meeting platform. All participants will be muted upon entering the meeting. To speak, click the "raise your hand indicator" and you will be called by the host of the meeting during the public comment section. All speakers must state their name and address. Comments must be on a topic on the agenda. Anyone disrupting the orderly conduct of the meeting, including by using threatening, hateful, or sexually-explicit language, will be removed. Please find the information using the link above.



Members of the public who wish to provide public comment are encouraged to submit those via email in advance of the meeting. For these comments to be included into the record, they must be submitted by 12:00 p.m. the day of the meeting. Please email Steve Kleppin, Director of Planning & Zoning, at skleppin@norwalkct.gov with the subject line "Public Comment" to provide written public comment prior to the meeting.

- I. **CALL TO ORDER**
- II. **ROLL CALL AND SEATING OF ALTERNATES**
- III. **REVIEW AND ACTION ON APPLICATIONS**
 - A. **#2026-33 8-24 Referral - City of Norwalk - 8-24 Referral to renovate and expand the Westport Avenue Fire Station - Report & recommended action**
 - B. **#2026-34 8-24 Referral - City of Norwalk - 8-24 Referral to provide a utility easement to Eversource in order for Eversource to provide primary electrical power and the installation of electrical equipment/transformer on the Naramake School property - Report & recommended action**
 - C. **#2026-35 8-24 Referral - City of Norwalk - 8-24 Referral to provide a utility easement to Eversource in order for Eversource to provide primary electrical power and the installation of electrical equipment/transformer on the Rowayton School property - Report & recommended action**

- D. **#2026-30 R - 216 East Avenue - Exterior Modifications within EVTZ - Peer Review Authorization**
- E. **#2026-19 CSPR - Blue Fish Partners LLC – 97 Rowayton Avenue – After-the-fact approval of an existing Shoreline Flood and Erosion Control Structure (SFECS) - Report & recommended action**
- F. **#2026-27 R - City of Norwalk - Zoning regulation text amendment to Article 4 and the EVTZ Village District Design Guidelines to modify the crosswalk standards as recommended by the Transportation, Mobility & Parking Department - Report & recommended action**

IV. PUBLIC HEARINGS

- A. **#2026-03 R - City of Norwalk - Zoning regulation text amendment to Article 4, 6, 7 and 9 regarding fee in-lieu of public realm requirements; workforce housing requirements; village district review standards and procedures; encroachment allowances for steps; creation of “landscape nursery” use; band sign locations; and revisions and/or new definitions of the following terms: “dormer,” “earth processing and contractor’s materials storage yard,” “landscape nursery,” “patio,” “porch,” “stoop,” and “wetbar” - Public hearing, report & recommended action**
- B. **#2026-13 SP - St. George Greek Orthodox Church - 238 West Rocks Rd - Allow use of community space as a function hall - Public hearing, report & recommended action**
- C. **#2026-32 R - City of Norwalk - Revisions to the Fee Schedule - Public hearing, report & recommended action**

V. DISCUSSION

- A. **Raised Senate Bill 363 - Commercial Vacancy Taxes - Discussion**
- B. **#2026-31 R - Amendment Introduction - Discussion**

VI. ACCEPTANCE OF MINUTES

- A. **Regular Meeting: April 8, 2026**

VII. COMMENTS OF DIRECTOR

VIII. COMMENTS OF COMMISSIONERS

IX. ADJOURNMENT

UPCOMING MEETINGS

May 6, 2026



CITY OF NORWALK
Alan Lo, Buildings and Facilities Director
alo@norwalkct.gov P: 203-854-7877
Norwalk City Hall
125 East Avenue, PO Box 5125
Norwalk, CT 06856-5125

April 13, 2026

Norwalk Planning and Zoning Commission
Norwalk City Hall

**RE : WESTPORT AVE. FIRE STATION – RENOVATION AND
EXPANSION PROJECT**

Dear Commissioners:

On behalf of the Land Use and Building Management Committee of City Council, I am hereby requesting Planning and Zoning Commission’s recommendation of the proposed Westport Avenue Fire Station renovation and expansion project in accordance with Connecticut General Statutes Section 8-24.

For a number of years, Norwalk Fire Department has assessed measures to improve service level in the northeastern portion of Norwalk which is currently serviced by Westport Avenue Fire Station (aka Station #4). In an effort to further improve Fire Department services to the community, the Fire Department is proceeding with the relocation of equipment and increased staffing at this station.

The existing building, approximately 4,500 sq.ft., was constructed in 1967 and has not been upgraded over the years. The building needs significant improvements which include hazardous material remediation and general renovation in meeting today’s building standards and operating needs. The one-story building includes a basement with existing living space. The proposed expansion will include a new building addition necessary to accommodate additional fire fighters and an officer, together with additional fire equipment and support spaces. The project consists of the alteration of the existing restroom, locker room, and the new addition which will house a new fitness room, kitchen/lounge, and turnout/gear room. As part of the 2025-2026 Capital Budget, the City allocated \$4 million for this project. Antinozzi Associates (the Architect) and A.V. Tuchy (the Construction Manager) have been working with the City on the design of the addition and renovations. Construction is set to begin in the Fall of 2026 and is scheduled to be completed by the Summer of 2027.

ACTION REQUESTED:

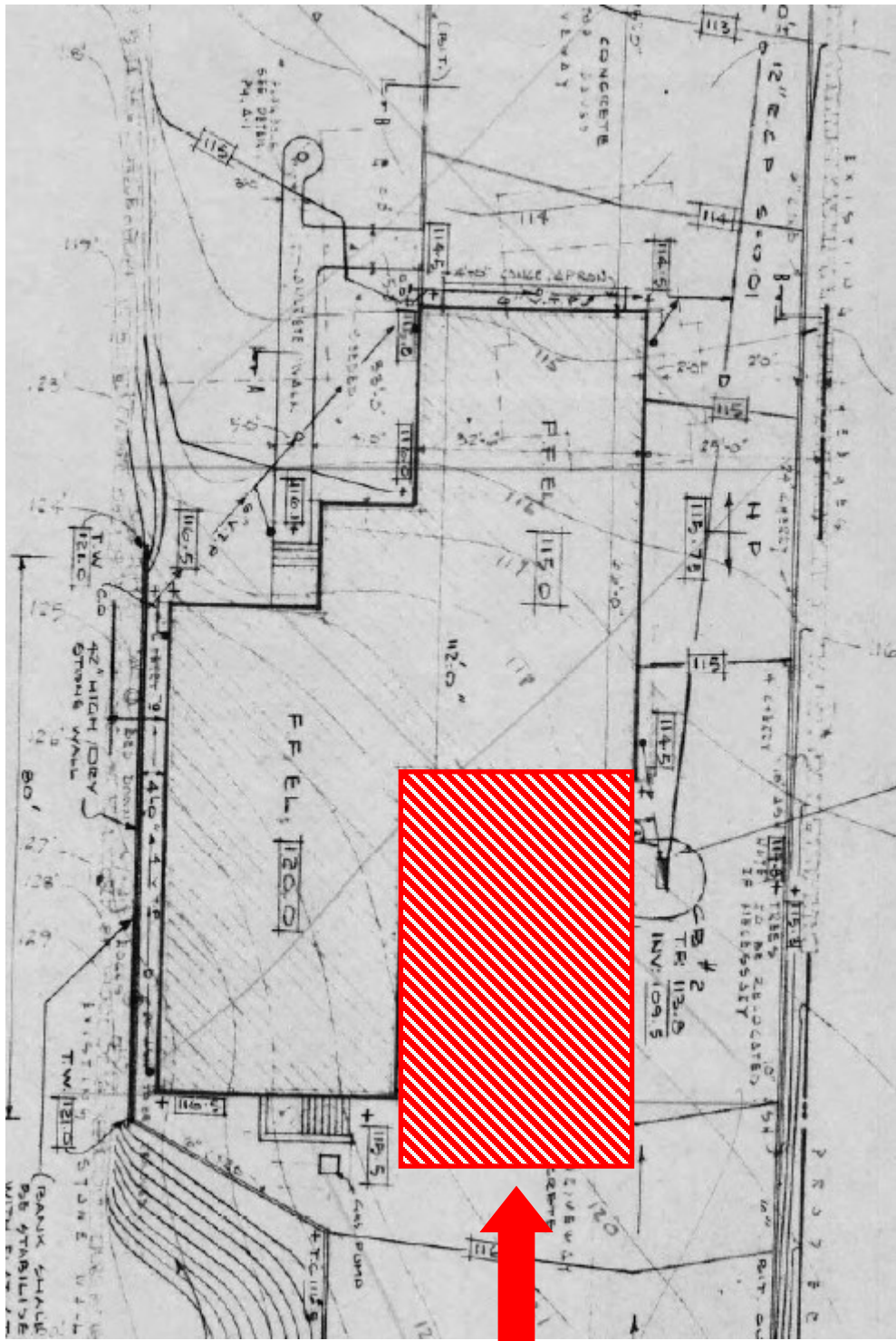
Review proposed plans for the renovation and expansion of the Westport Avenue Fire Station (aka Station #4) in accordance with the Connecticut General Statutes – Section 8-24.

Project representatives will be available at the upcoming Commission meeting to present the project. If there are any questions prior to the meeting, please do not hesitate to contact us. Thank you.

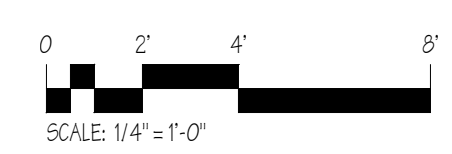
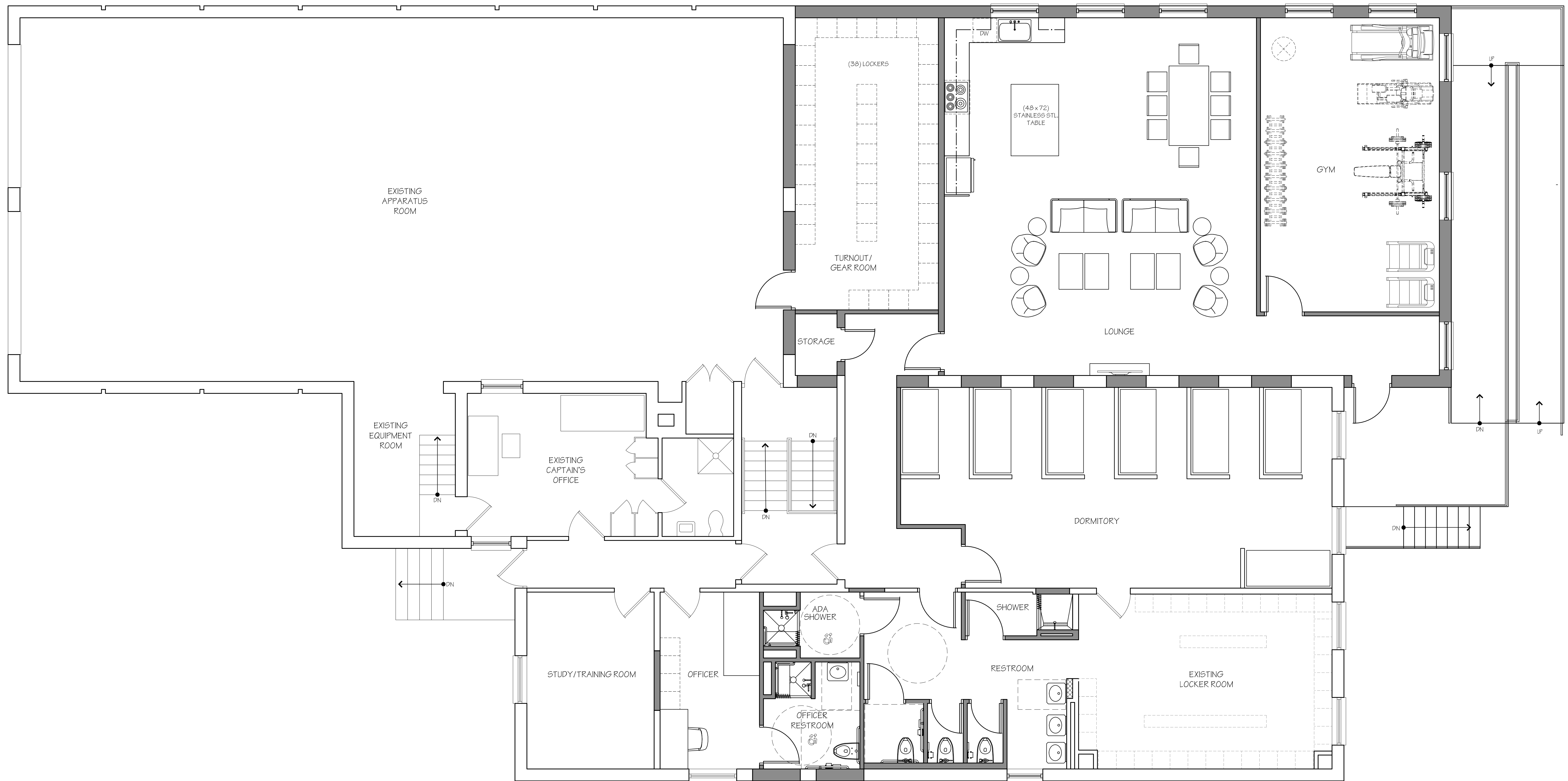
Sincerely,

Alan Lo
Buildings and Facilities Director

Cc: Colin Hosten, Chair, Land Use and Building Management Committee
Chief Ed McCabe, Fire Department
Assistant Chief Mark Conte, Fire Department



Proposed Addition Site





CITY OF NORWALK
Alan Lo, Buildings and Facilities Director
alo@norwalkct.gov P: 203-854-7877
Norwalk City Hall
125 East Avenue, PO Box 5125
Norwalk, CT 06856-5125

April 13, 2026

Norwalk Planning and Zoning Commission
Norwalk City Hall

**RE: NARAMAKE SCHOOL HVAC IMPROVEMENT PROJECT –
UTILITY EASEMENT FOR EVERSOURCE**

Dear Commissioners:

In compliance with State of Connecticut General Statutes requirements, the City of Norwalk, through its Land Use and Building Management Committee of City Council, is hereby requesting Norwalk Planning and Zoning Commission recommendation on the request to provide a utility easement to Eversource in order for Eversource to provide primary electrical power and the installation of electrical equipment/transformer on the Naramake School property. The proposed electrical upgrades are necessary in order to support the additional electrical load associated with the ongoing HVAC improvement project.

Attached is a site plan showing the approximate area of the proposed easement. The proposed installation is limited to serving only the Naramake School. This easement will grant Eversource construction access as well as maintenance and improvement access in the future. The easement stipulates responsibilities and limitation of both parties moving forward.

Action Requested:

Grant approval for a utility easement to Eversource to provide electrical power and future access to primary electrical equipment at Naramake School

Thank you for the consideration of this request. A representative will be available at the upcoming Planning and Zoning Commission to present this request.

Sincerely,

Alan Lo
Buildings and Facilities Director

Cc: Colin Hosten, Chair, Land Use and Building Management Committee

REV.	DESCRIPTION	DATE

CONSULTANT:
SALAMONE & ASSOCIATES, P.C.
 CONSULTING ENGINEERS
 110 North Plains Industrial Road
 Wallingford, Connecticut 06492
 Phone: (203) 281-6895 Fax: (203) 287-8728

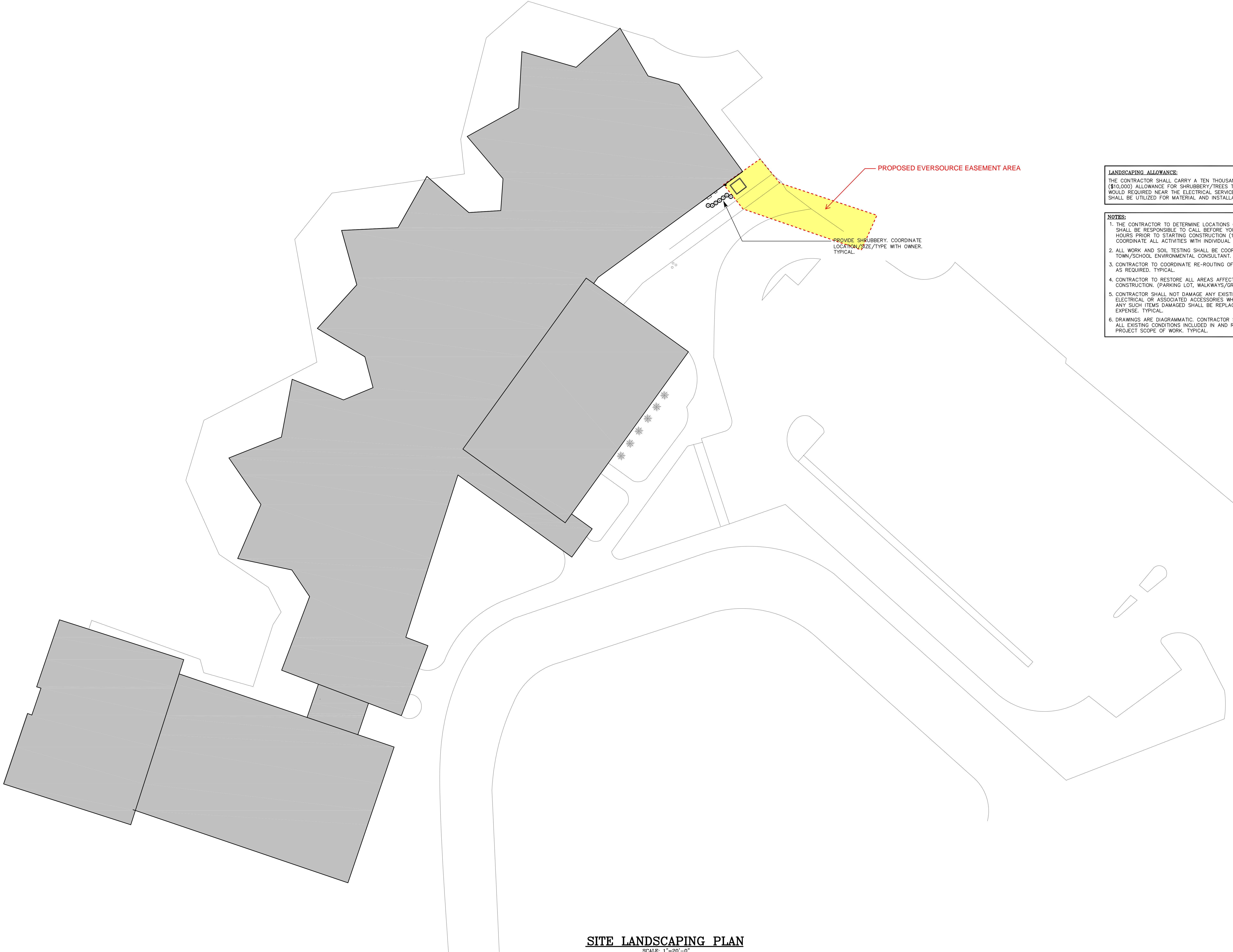
DISCLAIMER
 THE INFORMATION INDICATED HEREWITH IS THE SOLE PROPERTY OF SALAMONE & ASSOCIATES, P.C. AND ANY REPRODUCTION BY ANY METHOD IN PART IS STRICTLY PROHIBITED WITHOUT WRITTEN PERMISSION OF SALAMONE & ASSOCIATES, P.C.

NOTES:



LANDSCAPING ALLOWANCE:
 THE CONTRACTOR SHALL CARRY A TEN THOUSAND DOLLAR (\$10,000) ALLOWANCE FOR SHRUBBERY/TREES THE OWNER WOULD REQUIRE NEAR THE ELECTRICAL SERVICE ROOM. THIS SHALL BE UTILIZED FOR MATERIAL AND INSTALLATION. TYPICAL.

NOTES:
 1. THE CONTRACTOR TO DETERMINE LOCATIONS OF ALL UTILITIES AND SHALL BE RESPONSIBLE TO CALL BEFORE YOU DIG AT LEAST 72 HOURS PRIOR TO STARTING CONSTRUCTION (1-800-922-4455). COORDINATE ALL ACTIVITIES WITH INDIVIDUAL UTILITY COMPANIES.
 2. ALL WORK AND SOIL TESTING SHALL BE COORDINATED WITH THE TOWN/SCHOOL ENVIRONMENTAL CONSULTANT. TYPICAL.
 3. CONTRACTOR TO COORDINATE RE-ROUTING OF TRAFFIC/PARKING AS REQUIRED. TYPICAL.
 4. CONTRACTOR TO RESTORE ALL AREAS AFFECTED DURING CONSTRUCTION. (PARKING LOT, WALKWAYS/GRASS AREAS) TYPICAL.
 5. CONTRACTOR SHALL NOT DAMAGE ANY EXISTING EQUIPMENT, PIPING, ELECTRICAL OR ASSOCIATED ACCESSORIES WHICH ARE TO REMAIN. ANY SUCH ITEMS DAMAGED SHALL BE REPLACED AT CONTRACTOR'S EXPENSE. TYPICAL.
 6. DRAWINGS ARE DIAGRAMMATIC. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDED IN AND RELATED TO THE PROJECT SCOPE OF WORK. TYPICAL.



SITE LANDSCAPING PLAN
 SCALE: 1"=20'-0"

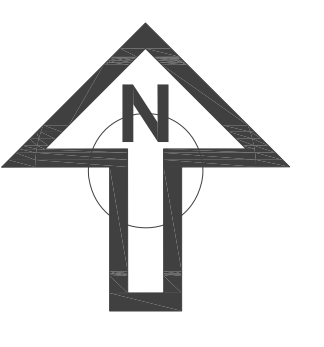
PROJECT TITLE
 CONTRACT DOCUMENTS FOR
 HVAC UPGRADES
 AT
NARAMAKE ELEMENTARY SCHOOL
STATE PROJECT NUMBER
03-03 HVACN
 16 KING STREET, NORWALK CT

DRAWING TITLE
SITE LANDSCAPING PLAN

JOB NO.	3832.01
PROJECT MANAGER	JAS
ENGINEER/DESIGNER	FB
DRAWN BY	CK
SCALE	AS NOTED
DATE	MAY 23, 2025

SEAL:

DRAWING NO.
SL-1





CITY OF NORWALK
Alan Lo, Buildings and Facilities Director
alo@norwalkct.gov P: 203-854-7877
Norwalk City Hall
125 East Avenue, PO Box 5125
Norwalk, CT 06856-5125

April 9, 2026

Norwalk Planning and Zoning Commission
Norwalk City Hall

**RE: ROWAYTON SCHOOL HVAC IMPROVEMENT PROJECT –
UTILITY EASEMENT FOR EVERSOURCE**

Dear Commissioners:

In compliance with State of Connecticut General Statutes requirements, the City of Norwalk, through its Land Use and Building Management Committee of City Council, is hereby requesting Norwalk Planning and Zoning Commission recommendation on the request to provide a utility easement to Eversource in order for Eversource to provide primary electrical power and the installation of electrical equipment/transformer on the Rowayton School property. The proposed electrical upgrades are necessary in order to support the additional electrical load associated with the ongoing HVAC improvement project.

Attached is a site plan showing the approximate area of the proposed easement. The proposed installation is limited to serving only the Rowayton School. This easement will grant Eversource construction access as well as maintenance and improvement access in the future. The easement stipulates responsibilities and limitation of both parties moving forward.

Action Requested:

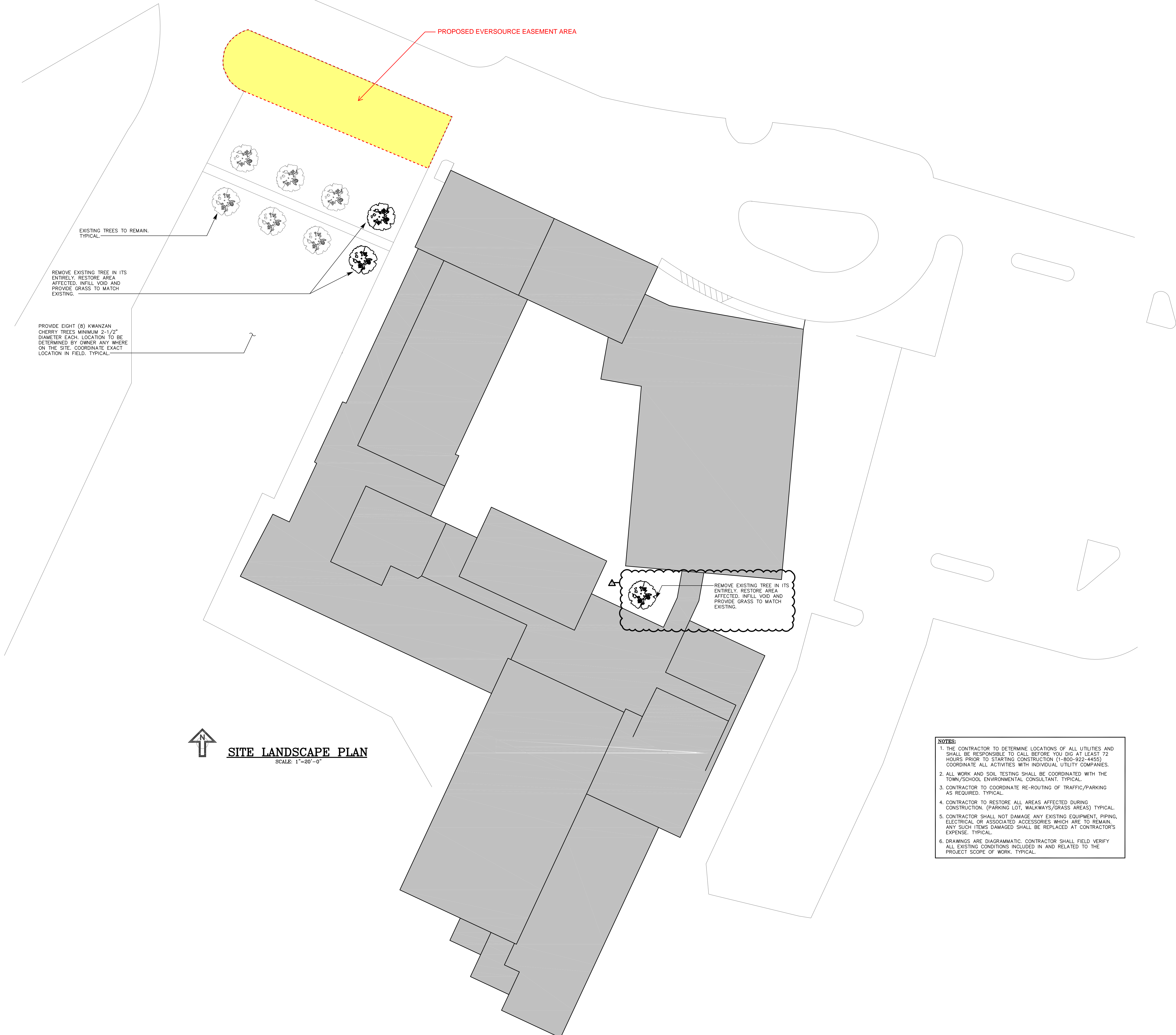
Grant approval for a utility easement to Eversource to provide electrical power as well as future access to primary electrical equipment at Rowayton School

Thank you for the consideration of this request. A representative will be available at the upcoming Planning and Zoning Commission to present this request.

Sincerely,

Alan Lo
Buildings and Facilities Director

Cc: Colin Hosten, Chair, Land Use and Building Management Committee



SITE LANDSCAPE PLAN
SCALE: 1"=20'-0"

- NOTES:**
1. THE CONTRACTOR TO DETERMINE LOCATIONS OF ALL UTILITIES AND SHALL BE RESPONSIBLE TO CALL BEFORE YOU DIG AT LEAST 72 HOURS PRIOR TO STARTING CONSTRUCTION (1-800-922-4455). COORDINATE ALL ACTIVITIES WITH INDIVIDUAL UTILITY COMPANIES.
 2. ALL WORK AND SOIL TESTING SHALL BE COORDINATED WITH THE TOWN/SCHOOL ENVIRONMENTAL CONSULTANT. TYPICAL.
 3. CONTRACTOR TO COORDINATE RE-ROUTING OF TRAFFIC/PARKING AS REQUIRED. TYPICAL.
 4. CONTRACTOR TO RESTORE ALL AREAS AFFECTED DURING CONSTRUCTION. (PARKING LOT, WALKWAYS/GRASS AREAS) TYPICAL.
 5. CONTRACTOR SHALL NOT DAMAGE ANY EXISTING EQUIPMENT, PIPING, ELECTRICAL OR ASSOCIATED ACCESSORIES WHICH ARE TO REMAIN. ANY SUCH ITEMS DAMAGED SHALL BE REPLACED AT CONTRACTOR'S EXPENSE. TYPICAL.
 6. DRAWINGS ARE DIAGRAMMATIC. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDED IN AND RELATED TO THE PROJECT SCOPE OF WORK. TYPICAL.

REVISIONS		
REV.	DESCRIPTION	DATE

CONSULTANT:
SALAMONE & ASSOCIATES, P.C.
CONSULTING ENGINEERS
116 North Plains Industrial Road
Wallingford, Connecticut 06492
Phone: (203) 281-6895 Fax: (203) 287-8728

DISCLAIMER
THE INFORMATION INDICATED HEREWITH IS THE SOLE PROPERTY OF SALAMONE & ASSOCIATES, P.C. AND ANY REPRODUCTION BY ANY METHOD IN PART IS STRICTLY PROHIBITED WITHOUT WRITTEN PERMISSION OF SALAMONE & ASSOCIATES, P.C.

NOTES:

PROJECT TITLE
CONTRACT DOCUMENTS FOR
HVAC UPGRADES
AT
ROWAYTON ELEMENTARY SCHOOL
STATE PROJECT NUMBER
03-001 HVACN
1 ROTON AVENUE, NORWALK CT

DRAWING TITLE
SITE LANDSCAPE PLAN

JOB NO.	3831.01
PROJECT MANAGER	JAS
ENGINEER/DESIGNER	ST
DRAWN BY	CK
SCALE	AS NOTED
DATE	MAY 23, 2025

SEAL:

DRAWING NO.
SL-1



125 East Avenue
Norwalk, Connecticut 06851

MEMORANDUM

April 17, 2026

TO: Norwalk Planning & Zoning Commission; Chapin Bryce, Chairman

FROM: Steve Kleppin, Planning & Zoning Director

SUBJECT: #2026-30 SPR – 216 East Avenue – Exterior Modifications

The applicant is proposing modifications to the interior and exterior of the building to accommodate a retail store as part of the service station.

The location is within the East Norwalk Village TOD Zone and therefore, the exterior modifications are subject to design review.

Even though the level of activity does not rise to the requirements of requiring a full Site Plan application, the Commission still must authorize the hiring of a peer review consultant.

END



MEMORANDUM

April 14th, 2026

TO: Planning and Zoning Commission – Chapin Bryce, Chair

FROM: Amelia Williams, Land Use Planner

SUBJECT: #2026-19 CSPR – Blue Fish Partners LLC – 97 Rowayton Avenue – After-the-fact approval of an existing Shoreline Flood and Erosion Control Structure (SFECS).

District: 6 **Block:** 1D **Lot:** 15 **Zone:** CD-3W (RAVD Overlay) **Flood Zone:** VE-15

ZONING HISTORY:

This .27 acre property contains a two-story commercial building, asphalt, gravel, and directly abuts the Five Mile River. There is an existing seawall and riprap on the property, and any activities involving SFECS are not exempt from Coastal Site Plan Review and require approval from the P&Z Commission with a referral to DEEP.

PROPOSED STRUCTURE:

The applicant is seeking after-the-fact approval of a bulkhead that was reconstructed for marine commercial use and for flood & erosion control. Staff do not believe the project had adverse impacts on coastal resources. The completed work is consistent with Connecticut Coastal Management Act (CCMA) goals and policies.

SIGN-OFFS:

The application was referred to the Five Mile River Commission and DEEP issued a Certificate of Permission (#202410763) for the project.

The following resolutions are offered:

DRAFT RESOLUTION TO APPROVE

BE IT RESOLVED that application #2026-19 CSPR – Blue Fish Partners LLC – 97 Rowayton Avenue – After-the-fact approval of an existing Shoreline Flood and Erosion Control Structure (SFECS) be **APPROVED** subject to the following conditions:

1. That the building and site will be occupied in accordance with the following plans:
 - a. Per plan set dated 11/25/2024 and prepared by Sound Engineering Associated, Fairfield, CT; and
2. That any modifications to the approved plan be reviewed and approved by City Staff prior to implementing; and

3. That any previously unpermitted work on the property is rectified and legalized; and
4. Nothing in this permit shall obviate the requirements for the applicant to obtain any other assents, permits or licenses required by law or regulation by the City of Norwalk, State of Connecticut, or the Government of the United States, including any approval required by the Connecticut Department of Environmental Protection and U.S. Army Corps of Engineers- obtaining such assents, permits or licenses is the sole responsibility of the applicant; and

BE IT FURTHER RESOLVED that this proposal complies with all applicable sections of the Zoning Regulations for the City of Norwalk; and

BE IT FURTHER RESOLVED that these preceding conditions and modifications of this application are integral to the Commission’s approval because, if not for those conditions and modifications, the Commission would have denied this application.

BE IT FURTHER RESOLVED that the effective date of this approval shall be May 1st, 2026.

You must obtain a zoning approval prior to any work on the site, and prior to any other zoning approvals being issued or closed for the property.

DRAFT RESOLUTION TO DENY

BE IT RESOLVED that application #2026-19 CSPR – Blue Fish Partners LLC – 97 Rowayton Avenue – After-the-fact approval of an existing Shoreline Flood and Erosion Control Structure (SFECS) as shown on site on the plan set dated 11/25/2024 and prepared by Sound Engineering Associated, Fairfield, CT, be **DENIED** subject to the following reasons:

- 1.
- 2.

BE IT FURTHER RESOLVED that the effective date of this denial shall be May 1st, 2026.



Planning & Zoning Commission

APPLICATION FOR COASTAL SITE PLAN REVIEW

Application must be accompanied by two (2) printed and one (1) digital set of all documents, and appropriate filing fee. Filing Fee: \$310.00 for single or two family use; \$810.00 for all other uses.

Date Stamp

Application Completion Date: _____ Official Receipt Date: _____ Fee Paid: _____

1. Property Address: 97 Rowayton Avenue 2. D/B/L/U: 6-1D-15-0
3. Proposed Work: This application is to obtain the City of Norwalk's approval on a bulkhead previously approved by DEEP. 4. Zone: CD-3W

5. Applicant Identification:

Applicant Name: Blue Fish Partners LLC
Address: 300 Wilson Avenue, Norwalk, CT 06854
Phone Number: 203-856-9644 Email: kconroy@bluewatercoastal.com
Interest in Property: fee simple option lessee easement other (specify): _____
List primary contact for correspondence *if other than applicant* (Agent or Attorney):
Name: Adam Blank, Esq.
Address: Wofsey, Rosen, Kweskin & Kuriansky, LLP, 600 Summer St, 7th Floor
Business Phone: 203-318-6934 Email: ablank@wrkk.com

6. Property Owner, if different than applicant:

Owner Name: n/a
Address: _____
Phone Number: _____ Email: _____

7. Project Information:

Please check the appropriate box to identify the plan or application that has resulted in this Coastal Site Plan Review:

- Coastal Site Plan for Zoning Compliance/Zoning Permit
- Subdivision or Resubdivision Application
- Special Permit or Special Exception Application
- Site Plan Review Application
- Variance Application
- Municipal Project (CGS Section 8-24)

8. Project Site Plans:

Please provide project site plans that clearly and accurately depict the following information, and check the appropriate boxes to indicate that the plans are included in this application:

- Project location
- Existing and proposed conditions, including buildings and topography
- All coastal resources on and contiguous to the site
- High tide line [as defined in CGS Section 22a-359(c)] and mean high water mark elevation contours (for parcels abutting coastal waters and/or tidal wetlands only)
- Soil erosion and sediment controls
- Storm water management & treatment practices
- Ownership and type of use on adjacent properties
- Reference datum (i.e., National Geodetic Vertical Datum, Mean Sea Level, etc.)
- Landscaping and planting plan (existing & proposed)
- Utility Plan (existing & proposed: water, drainage, sanitary sewers, electric & gas lines)
- Easements (utility, sight preservation, conservation, pedestrian)

9. Site Information:

a) Street Address or Geographical Description:

97 Rowayton Ave, Norwalk

b) Is project or activity proposed at a waterfront site (includes tidal wetlands frontage)? YES NO

c) Name of on-site, adjacent, or downstream coastal, tidal, or navigable waters, if applicable:

See attached CAM REPORT

d) Identify and describe the existing land use in and adjacent to the site. Include description of any existing structures and significant features on the project site:

~~See attached CAM REPORT. This application is to obtain the City of Norwalk's approval on a bulkhead previously approved by DEEP pursuant to the attached documentation.~~

A CAM report is also attached.



e) Indicate the area of the project site: .265 acres or 11,526 square feet

f) Check the appropriate box below to indicate total land area of disturbance of the project or activity (please also see Question #9 regarding proposed stormwater best management practices):

Project or activity will disturb five (5) or more total acres of land area on the site. *Registration for CT DEEP General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities required.*

Project or activity will disturb land, but less than five (5) total acres of land area would be disturbed. *A soil erosion and sedimentation control plan must be submitted.*

Project or activity will not disturb any land area.

g) Does the project include a shoreline flood and erosion control structure as defined in CGS section 22a-109(d)?

Yes No

10. Description of Proposed Project or Activity:

Describe the proposed project or activity including its purpose and related activities such as site clearing, grading, demolition, and other site preparations; percentage of increase or decrease in impervious cover over existing conditions resulting from the project; phasing, timing and method of proposed construction; and new uses and changes from existing uses (*attach additional pages if necessary*):

SEE ATTACHED CAM REPORT

11. Description of Proposed Stormwater Best Management Practices:

Describe the stormwater best management practices that will be utilized to ensure that the volume of runoff generated by the first inch of rainfall is retained on-site, especially if the site or stormwater discharge is adjacent to tidal wetlands. If runoff cannot be retained on-site, describe the site limitations that prevent such retention and identify how stormwater will be treated before it is discharged from the site. Also demonstrate that the loadings of total suspended solids from the site will be reduced by 80 percent on an average annual basis, and that post-development stormwater runoff rates and volumes will not exceed pre-development runoff rates and volumes (*attach additional pages if necessary*):

SEE ATTACHED CAM REPORT

SEE ATTACHED CAM REPORT

12. Identification of Applicable Coastal Resources and Coastal Resource Policies:

Identify the coastal resources and associated policies that apply to the project by placing a check mark in the appropriate box(es) in the following table.

Coastal Resources	On-site	Adjacent	Off-site but within the influence of project	Not Applicable
General Coastal Resources* - Definition: CGS Section 22a-93(7); Policy: CGS Section 22a-92(a)(2)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Beaches & Dunes - Definition: CGS Section 22a-93(7)(C); Policies: CGS Sections 22a-92-(b)(2)(C) and 22a-92(c)(1)(K)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Bluffs & Escarpments - Definition: CGS Section 22a-93(7)(A); Policy: CGS Section 22a-92(b)(2)(A)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Coastal Hazard Area - Definition: CGS Section 22a-93(7)(H); Policies: CGS Sections 22a-92(a)(2), 22a-92(a)(5), 22a-92(b)(2)(F), 22a-92(b)(2)(J), and 22a-92(c)(2)(B)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Coastal Waters, Estuarine Embayments, Nearshore Waters, Offshore Waters - Definition: CGS Sections 22a-93(5), 22a-93(7)(G), and 22a-93(7)(K), and 22a-93(7)(L) respectively; Policies: CGS Sections 22a-92(a)(2) and 22a-92(c)(2)(A)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Developed Shorefront - Definition: CGS Section 22a-93(7)(I); Policy: 22a-92(b)(2)(G)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Freshwater Wetlands and Watercourses - Definition: CGS Section 22a-93(7)(F); Policy: CGS Section 22a-92(a)(2)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Intertidal Flats - Definition: CGS Section 22a-93(7)(D); Policies: 22a-92(b)(2)(D) and 22a-92(c)(1)(K)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Islands - Definition: CGS Section 22a-93(7)(J); Policy: CGS Section 22a-92(b)(2)(H)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Rocky Shorefront - Definition: CGS Section 22a-93(7)(B); Policy: CGS Section 22a-92(b)(2)(B)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Shellfish Concentration Areas - Definition: CGS Section 22a-93(7)(N); Policy: CGS Section 22a-92(c)(1)(I)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Shorelands - Definition: CGS Section 22a-93(7)(M); Policy: CGS Section 22a-92(b)(2)(I)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Tidal Wetlands - Definition: CGS Section 22a-93(7)(E); Policies: CGS Sections 22a-92(a)(2), 22a-92(b)(2)(E), and 22a-92(c)(1)(B)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

* General Coastal Resource policy is applicable to all proposed activities

13. Consistency with Applicable Coastal Resource Policies and Standards:

Describe the location and condition of the coastal resources identified in Question #10 and explain how the proposed project or activity is consistent with all of the applicable coastal resource policies and standards; also see adverse impacts assessment in Question #14 below (*attach additional pages if necessary*):

SEE ATTACHED CAM REPORT

14. Identification of Applicable Coastal Use and Activity Policies and Standards:

Identify all coastal policies and standards in or referenced by CGS Section 22a-92 applicable to the proposed project or activity: [SEE CAM REPORT](#)

- General Development* - CGS Sections 22a-92(a)(1), 22a-92(a)(2), and 22a-92(a)(9)
- Water-Dependent Uses** - CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A); Definition CGS Section 22a-93(16)
- Ports and Harbors - CGS Section 22a-92(b)(1)(C)
- Coastal Structures and Filling - CGS Section 22a-92(b)(1)(D)
- Dredging and Navigation - CGS Sections 22a-92(c)(1)(C) and 22a-92(c)(1)(D)
- Boating - CGS Section 22a-92(b)(1)(G)
- Fisheries - CGS Section 22a-92(c)(1)(I)
- Coastal Recreation and Access - CGS Sections 22a-92(a)(6), 22a-92(c)(1)(j) and 22a-92(c)(1)(K)
- Sewer and Water Lines - CGS Section 22a-92(b)(1)(B)
- Fuel, Chemicals and Hazardous Materials - CGS Sections 22a-92(b)(1)(C), 22a-92(b)(1)(E) and 22a-92(c)(1)(A)
- Transportation - CGS Sections 22a-92(b)(1)(F), 22a-92(c)(1)(F), 22a-92(c)(1)(G), and 22a-92(c)(1)(H)
- Solid Waste - CGS Section 22a-92(a)(2)
- Dams, Dikes and Reservoirs - CGS Section 22a-92(a)(2)
- Cultural Resources - CGS Section 22a-92(b)(1)(J)
- Open Space and Agricultural Lands - CGS Section 22a-92(a)(2)

* General Development policies are applicable to all proposed activities

** Water-dependent Use policies are applicable to all activities proposed at waterfront sites, including those with tidal wetlands frontage.

15. Consistency With Applicable Coastal Use Policies and Standards:

Explain how the proposed activity or use is consistent with all of the applicable coastal use and activity policies and standards identified in Question #12. **For projects proposed at waterfront sites (including those with tidal wetlands frontage)**, particular emphasis should be placed on the evaluation of the project’s consistency with the water-dependent use policies and standards contained in CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A) -- also see adverse impacts assessment in Question #15 below (attach additional pages if necessary):

[SEE ATTACHED
CAM
REPORT](#)

16. Identification of Potential Adverse Impacts on Coastal Resources: (Must be completed for ALL projects.)

Identify the adverse impact categories below that apply to the proposed project or activity.

The ‘**applicable**’ column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(15). If an adverse impact **may result** from the proposed project or activity, please use Question #16 to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

[SEE ATTACHED
CAM REPORT](#)

Potential Adverse Impacts on Coastal Resources	Applicable	Not Applicable
Degrading tidal wetlands, beaches and dunes, rocky shorefronts, and bluffs and escarpments through significant alteration of their natural characteristics or functions - CGS Section 22a-93(15)(H)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones - CGS Section 22a-93(15)(E)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Degrading existing circulation patterns of coastal water through the significant alteration of patterns of tidal exchange or flushing rates, freshwater input, or existing basin characteristics and channel contours - CGS Section 22a-93(15)(B)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Degrading natural or existing drainage patterns through the significant alteration of groundwater flow and recharge and volume of runoff - CGS Section 22a-93(15)(D)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Degrading natural erosion patterns through the significant alteration of littoral transport of sediments in terms of deposition or source reduction - CGS Section 22a-93(15)(C)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Degrading visual quality through significant alteration of the natural features of vistas and view points - CGS Section 22a-93(15)(F)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Degrading water quality through the significant introduction into either coastal waters or groundwater supplies of suspended solids, nutrients, toxics, heavy metals or pathogens, or through the significant alteration of temperature, pH, dissolved oxygen or salinity - CGS Section 22a-93(15)(A)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Degrading or destroying essential wildlife, finfish, or shellfish habitat through significant alteration of the composition, migration patterns, distribution, breeding or other population characteristics of the natural species or significant alterations of the natural components of the habitat - CGS Section 22a-93(15)(G)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

17. Identification of Potential Adverse Impacts on Water-dependent Uses: (Complete only if the project/activity is proposed at a waterfront site.)

- a) Identify the adverse impact categories below that apply to the proposed project or activity. The applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(17). If an adverse impact **may result** from the proposed project or activity, use Question #16 to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts. [SEE ATTACHED CAM REPORT](#)

Potential Adverse Impacts on Future Water-dependent Development Opportunities and Activities	Applicable	Not Applicable
Locating a non-water-dependent use at a site physically suited for or planned for location of a water-dependent use - CGS Section 22a-93(17)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Replacing an existing water-dependent use with a non-water-dependent use - CGS Section 22a-93(17)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Siting a non-water-dependent use which would substantially reduce or inhibit existing public access to marine or tidal waters - CGS Section 22a-93(17)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

b) Identification of existing and/or proposed Water-dependent Uses:

Describe the features or characteristics of the proposed activity or project that qualify as water-dependent uses as defined in CGS Section 22a-93(16). If general public access to coastal waters is provided, please identify the legal mechanisms used to ensure public access in perpetuity, and describe any provisions for parking or other access to the site and proposed amenities associated with the access (e.g., boardwalk, benches, trash receptacles, interpretative signage, etc.) *:

[SEE ATTACHED CAM REPORT](#)

*If there are no water-dependent use components, describe how the project site is not appropriate for the development of a water-dependent use.

18. Mitigation of Potential Adverse Impacts:

Explain how all potential adverse impacts on coastal resources and/or future water-dependent development opportunities and activities identified in Questions #14 & #15 have been avoided, eliminated, or minimized (*attach additional pages if necessary*):

SEE ATTACHED
CAM REPORT

19. Remaining Adverse Impacts:

Explain why any remaining adverse impacts resulting from the proposed activity or use have not been mitigated and why the project as proposed is consistent with the Connecticut Coastal Management Act (*attach additional pages if necessary*):

SEE ATTACHED
CAM REPORT

By signing this application, the applicant or his/her agent certifies that they are familiar with the information provided in this application and are aware of the penalties for obtaining a permit through deception or by submission of inaccurate or misleading information.

By signing this application, permission is hereby given to necessary and proper inspection of the subject property by the Commissioners and designated staff of the Commission or consultants to the Commission, at reasonable times, during the pendency of the application.

Applicant's Signature: See attached authorization form DATE: 3.10.26

Agent's Signature: Adam Blank DATE: 3.9.26

Instructions for Coastal Site Plan Review Application

Notification of Neighbors

Coastal Site Plan Reviews require the applicant make three actions to notice to neighbors during the review of the application: 1) initial notification of the application submittal, 2) notice of public hearing (if applicable), and 3) legal notice of the public hearing in the newspaper (if applicable).

1) Notice of Application Submittal: ALL applications shall notify *by a certificate of mailing* the owners of land within 100 feet of the subject parcel *within ten (10) days of submitting an application* to the Planning & Zoning Commission. The name of the owners shall be taken from the latest Tax Assessor records. *Proof of mailings shall be evidenced by providing a certificate of mailing* that must be submitted to the Planning & Zoning staff immediately following mailing. See Sample Letter below.

2) Public Hearing Notice: Any application for which a public hearing is required, the applicant shall notify *by certified mail, return receipt requested at least ten (10) days prior to the public hearing*, the owners of land that abut or are directly across the street from the subject parcel. The name of the owners shall be taken from the latest Tax Assessor records. See Sample Letter below.

When a condominium is located across the street or abuts the subject proposal notification may be sent to the condominium association in lieu of the individual unit owners. Evidence of certified mailings shall be submitted by the applicant on or before the public hearing date.

3) Legal Notice Payment: When a public hearing is required, applicants shall be responsible for payment of three legal notices in The Hour newspaper. Two notices will advertise the application's public hearing date and one will advertise the Commission's action on the application.

The Planning & Zoning staff will provide the required legal notices to The Hour. Applicants must contact The Hour at the number given below to arrange for payment in advance of the publication date.

Classified Advertising Manager

The HOUR

Phone: (203) 354-1100 or 846-3281

Fax: (203) 846 – 9897

Application Decision Publication

Decisions on ALL Coastal Site Review Applications must be published in The Hour. All application decisions must be published as a Legal Notice in The Hour. The applicant is responsible for payment of the Legal Notice of Decision. The Planning & Zoning staff will provide the required legal notices to The Hour. Applicants must contact The Hour at the number given below to arrange for payment.

Classified Advertising Manager

The HOUR

Phone: (203) 354-1100 or 846-3281

Fax: (203) 846 – 9897

Sample Letter: APPLICATION SUBMITTAL NOTIFICATION

Dear _____,

Be advised that _____ has applied for a Coastal Site Plan
(Applicant)

application for property located at the following address: _____

(Street name and number and District, Block and Lot numbers)

The proposal is for _____
(Description of Proposal)

You are being notified because your property abuts the property or is located directly across the street from the subject parcel. The application is on file in the Planning & Zoning Office located at City Hall, 125 East Avenue, Room 129, Norwalk, Connecticut 06856. The application materials can be reviewed on the City webpage at <https://www.norwalkct.gov/1746/Pending-Application-Materials>. If you have any questions regarding this application, you can email the staff person noted on the pending application webpage or you can call the Planning & Zoning Office at (203) 854-7780.

Signature of applicant

***Applicant must sign above and provide contact information below.
(THIS FORM IS TO BE COMPLETED BY APPLICANT)***

Sample Letter: PUBLIC HEARING NOTIFICATION

Dear _____,

Be advised that **[Applicant Name]** has applied for a Coastal Site Plan Review application for property located at the following address: **[Project Address – street name and number]** and **[District/Block/Lot number]**.

The proposal is for **[Description of Proposal]**.

The Norwalk Planning & Zoning Commission will conduct a public hearing on this proposal on **[Day, Date, Time, and Location of Public Hearing]**.

You are being notified because your property abuts the property or is located directly across the street from the subject parcel. The application is on file in the Planning & Zoning Office located at City Hall, 125 East Avenue, Room 129, Norwalk, Connecticut 06856. The application materials can be reviewed on the City webpage at <https://www.norwalkct.gov/1746/Pending-Application-Materials>. If you have any questions regarding this application, you can email the staff person noted on the pending application webpage or you can call the Planning & Zoning Office at (203) 854-7780.

Signature of applicant

***Applicant must sign above and provide contact information below.
(THIS FORM IS TO BE COMPLETED BY APPLICANT)***

Application Form Instructions:

8. Project Site Plans

It is important to include clear and concise project plans that delineate coastal resources on and/or adjacent to site, especially the waterbody receiving stormwater discharges, if applicable. *Complete plans will expedite the review process.*

9. Site Information

Describe in detail the current land use on the site, current zoning classification, and any significant features of the project site. Indicate overall area of disturbance of the project. "Disturbance" includes not only the footprint of any construction, but also the extent of the project's work area. If the disturbance is 5 or more total acres of land area, then a CT DEEP stormwater permit may be required.

10. Description of Proposed Project or Activity Provide a detailed description of the proposed project or activity, including the construction phasing, timing, and methodology. Include all activities related to construction such as site clearing, grading, and demolition. Also include the percentage of increase or decrease in impervious cover over existing conditions resulting from the project, and any changes or new uses of the property.

11. Description of Proposed Stormwater Best Management Practices

Describe in detail the stormwater best management practices (BMP), which will be utilized in this project. Explain how these stormwater BMPs will retain on-site the volume of runoff generated by the first inch of rainfall, especially if the site or ultimate discharge is adjacent to tidal wetlands. If retention is not a feasible option, explain why not and describe how the stormwater will be treated before it is discharged. It is also necessary to demonstrate that the loadings of total suspended solids from the site will be reduced by 80% on an average annual basis, and that post-development runoff rates and volumes will not exceed pre-development rates and volumes.

12. Identification of Applicable Coastal Resources and Coastal Resource Policies

Check ALL appropriate coastal resources and their associated Coastal Management Policies. This information should be based on a field-verified determination of on-site and adjacent coastal resources. Note that there is a box provided for the

identification of resources, which are off-site but "within the influence of project." This is particularly applicable to "downstream" resources, such as those, which could be affected by project drainage, erosion sedimentation or other impacts unless the project is designed with proper mitigation.

Coastal Resource Maps may not be substituted for field surveys by qualified personnel where warranted by the presence of sensitive resources.

Please note that general "Coastal Resources" is "pre-checked" as its policies apply to all activities in the coastal boundary.

Additionally, check "Shorelands" for any site which is not entirely within the coastal flood hazard area, since shorelands are statutorily defined as, "...those land areas within the coastal boundary exclusive of coastal hazard areas...."

13. Consistency with Applicable Coastal Resource Policies and Standards

Explain how the proposed activity is consistent with the associated policies for each of the identified coastal resources in Question #10. Describe the location and condition of the coastal resources identified and explain how the proposed project is consistent with ALL applicable coastal resource policies. Where appropriate, describe mitigation measures proposed to offset any impacts from the project. For example, if "Tidal Wetlands" are identified on-site, explain the proposed wetland protection measures that will be incorporated into the project including setbacks, buffer areas, conservation easements and other protective measures, since the CCMA policies require strict protection of tidal wetland resources. Or, if off-site Tidal Wetlands could be affected by construction, provide a detailed description of the measures that will mitigate potential impacts.

14. Identification of Applicable Coastal Use and Activity Policies and Standards

This section provides a list of all statutory policies and standards for land and water uses in Connecticut's Coastal Boundary which are either set forth in, or referenced by, Section 22a-92 of the CCMA. Using the appropriate fact sheet(s) identify all policies and standards applicable to the proposed activity. Please note that "General Development" is "pre-checked" as its policies apply to all activities in the coastal boundary.

15. Consistency with Applicable Coastal Use Policies and Standards

Explain how the proposed activity, including any mitigation proposed to offset adverse impacts, is consistent with the coastal use policies and standards. Because all activities invoke the "*General Development*" policies, consistency must be addressed in every case.

16. Identification of Potential Adverse Impacts on Coastal Resources

This section requires the identification of applicable adverse impacts to coastal resources. "Adverse Impacts" are specifically defined by statute and are discussed in the Fact Sheet for Adverse Impacts. Based upon the proposed activity and its location, identify the potential adverse impacts to the resources on and adjacent to the site.

17. Identification of Potential Adverse Impacts on Future Water-dependent Uses:

Complete this Question if the project abuts marine or tidal waters, or tidal wetlands. Identify applicable adverse impacts to future water-dependent development opportunities and activities. As a reference, each statutorily defined adverse impact is listed with its statutory citation. Based upon the proposed activity and its location, carefully identify the potential adverse impacts on future water-dependent uses.

Identify the components of the project that constitute water-dependent uses and therefore render the project consistent with the CCMA. If there are no water-dependent use components, describe how the project is not appropriate for development of a water dependent use.

18. Mitigation of Potential Adverse Impacts

Explain how all potential adverse impacts to coastal resources and future water-dependent development opportunities have been avoided, minimized, or mitigated. For example, potential water-quality impacts might be minimized through preservation of pervious surfaces, which reduce runoff and mitigated by stormwater pre-treatment prior to discharge off-site. Impacts to water-dependent uses could be avoided by locating a water-dependent use at an appropriate site where no such water-dependent use currently exists.

19. Remaining Adverse Impacts

Identify any remaining impacts to coastal resources and/or future water-dependent development opportunities that have not been mitigated and explain why no other mitigation is proposed. Clearly explain why there are no feasible or prudent alternatives to the proposed activity that would result in fewer or lesser impacts to coastal resources and water-dependent uses.

N.B.

The Commission reserves the right to require any further plans or documentation which in its judgement may be necessary for the proper exercise of its responsibilities under the terms of Article 6, Section 10 of the Norwalk Zoning Regulations.

NO APPLICATION WILL BE ACCEPTED BY THE COMMISSION UNTIL IT IS COMPLETE AND DOCUMENTED AS SPECIFIED ABOVE. The applicant is encouraged to review their application with the Planning and Zoning Staff prior to the date of submission to facilitate expeditious administration of the application and to ensure that all necessary information and documentation is included.

Upon written request, the Commission may waive any of the requirements of a Coastal Site Plan Review application where such requirements are inappropriate or do not apply.

**97 ROWAYTON AVENUE - NARRATIVE DESCRIPTION
COASTAL AREA MANAGEMENT (CAM) APPLICATION**

This CAM application is submitted for property located at 97 Rowayton Avenue, Norwalk (the “Site”) (mblu: 6-1D-15-0) by the owner, Blue Fish Partners, LLC (the “Applicant”). The purpose of this CAM application is to obtain the City of Norwalk’s approval on the bulkhead at the Site as reconstructed pursuant to DEEP’s approval, as evidenced by License 202410763-COP (the “DEEP Bulkhead Approval”).

The project includes the reconstruction of an existing bulkhead (from ~1999, see attached 1999 Deep Bulkhead Approval, COP-99-016-DS) that needed repair to maintain the existing structure. At the time of the recent 2025 application to DEEP, the Applicant was under the mistaken impression that DEEP had exclusive jurisdiction over the bulkhead due to its location relative to the coastal jurisdiction line. The Applicant now understands local planning and zoning approval is additionally required and submits this Application in order to obtain the City of Norwalk’s approval on the bulkhead as installed and as approved by DEEP.

The DEEP Bulkhead Approval is attached, which contains the Certificate of Permission from DEEP. Also included in the DEEP Bulkhead Approval are various plans prepared by Sound Engineer Associates depicting the Site and the bulkhead, including Project Tidal Elevations, a Vicinity Map, Existing and Proposed Site Plans, and Existing and Proposed Section details of the Bulkhead. As detailed in the Certificate of Permission from DEEP, the max seawall height shall not exceed 7.4’ NAVD88, and any work on the wall is prohibited between April 1 and November 1 in order to minimize conflicts with the harbor. DEEP also imposed various other

conditions as contained in the DEEP Bulkhead Approval. Also included in the attached application is the Compliance Certification form from DEEP, which was submitted upon conclusion of the reconstruction of the seawall, certifying to DEEP LWRD that the final site conditions are in general conformance with the site plans.

Finally, also attached is a CAM report prepared by Redniss & Mead. As further detailed in the CAM report, the bulkhead is consistent with goals and policies outlined in C.G.S. 22a-92 (a), including preserving and enhancing coastal resources with the reconstructed flood and erosion control structure, which will help protect Five Mile River erosion. This bulkhead previously existed, and the project is therefore consistent with current/former use of the site, and will not interfere with neighboring/harbor uses, as further detailed in the CAM report and as evidenced by DEEP's approval (license number 202410763-COP).

In conclusion, the bulkhead reconstruction does not have any adverse impact on coastal resources. The bulkhead as installed is functioning as expected, and DEEP has not raised any concerns regarding the bulkhead as constructed. We believe this Application fully complies with your regulations, and we hope the Commission will look favorably upon it.

Respectfully submitted,
Blue Fish Partners LLC

By: Adam J. Blank
Adam J. Blank, Esq.
Wofsey, Rosen, Kweskin & Kuriansky, LLP
600 Summer Street—Seventh Floor
Stamford, CT 06901-1490
Tel: (203) 327-2300; Fax: (203) 967-9273

COASTAL AREA MANAGEMENT APPLICATION

Prepared For
97 Rowayton Avenue
Blue Fish Partners LLC
97 Rowayton Avenue
Norwalk, CT 06853

Prepared by
Redniss & Mead, Inc.
22 First Street
Stamford, CT
(203) 327-0500

Issued on
March 5, 2026



TABLE OF CONTENTS

1.0 - INTRODUCTION.....	3
1.1 - Project Purpose	
1.3 Existing Site Conditions	
2.0 - COASTAL AND ENVIRONMENTAL RESOURCES	5
2.1 - Consistency with General Goals and Policies	
2.2 - Potential Effects on Coastal Resources	
2.3 - Identification of Significant Natural Features	8
2.4 - Identification of Significant Historical and Cultural Resources	
2.5 - Identification of Applicable Coastal Policies Affected by Project	
3.0 - SUMMARY AND CLOSING	9
4.0 - LIMITATIONS.....	10
5.0 - SIGNATURES OF REPORT AUTHORS	11

I.0 - INTRODUCTION

Redniss & Mead, Inc. has prepared this Coastal Area Management (CAM) report on behalf of Blue Fish Partners LLC in support of a site plan approval process for the reconstructed bulkhead at 97 Rowayton Avenue in Norwalk, Connecticut. The property is located within the CD-3W zoning district (Rowayton Avenue Village District Overlay) and is abutting the Five Mile River (to the west) which discharges to Long Island Sound. The CAM Application is required as the site is located within the Coastal Area Management (CAM) zone of the City of Norwalk. The following sections of this document present a project narrative and provide information required by the CAM application.

I.1 - Project Purpose

The applicant has previously received CT DEEP approval for reconstruction of the bulkhead and that work was performed in 2024. This application seeks to address an open violation related to this work as City of Norwalk permitting was not obtained prior to performing the reconstruction. Reference is made to the Bulkhead Replacement Project plans prepared by Sound Engineering Associates.

I.2 - Existing Site Conditions

The property at 97 Rowayton Avenue is approximately 11,526 sf (0.265± acres) in size (to the approximate Mean High-Water Line). There is an existing two-story structure, asphalt pavement, and areas of gravel improvements on the parcel; the curb cut opening for the site is shared with 95 Rowayton Avenue and asphalt extends between the two lots. The topography of the site is generally flat with site runoff sheet flowing toward drainage infrastructure at 95 Rowayton or directly into City infrastructure within the Rowayton Avenue right-of-way. Ultimately, all stormwater runoff from the site is tributary to the abutting river.

The image on the following page illustrates the location of the project site in relation to the Five Mile River, which is to the immediate west of the site. The neighborhood indicated in the image is located within the coastal zone boundary.

Location of Site in relation to the Coastal Boundary
Norwalk, CT



2.0 - COASTAL AND ENVIRONMENTAL RESOURCES

Redniss & Mead, Inc. conducted a review of coastal and environmental resources at the site and adjacent areas as required by the Coastal Area Management (CAM) application. This review was conducted to determine the potential for impacts associated with the proposed project and to ensure that the project design is consistent with applicable regulations and policies.

2.1 - Consistency with General Goals and Policies

The proposed project is consistent with the general goals and policies outlined in C.G.S. 22a-92(a), as follows:

- (1) To insure that the development, preservation or use of the land and water resources of the coastal area proceeds in a manner consistent with the capability of the land and water resources to support development, preservation or use without significantly disrupting either the natural environment or sound economic growth.*

The project includes reconstruction of an existing bulkhead and will otherwise maintain the existing, allowed uses, on the parcel and therefore there will be no long-term disruption to the natural environment or sound economic growth of the area.

- (2) To preserve and enhance coastal resources in accordance with the policies established by chapters 439, 440, 446i, 446k, 447, 474 and 477.*

The project will preserve and enhance the coastal resources in accordance with the policies established by the aforementioned chapters by providing a reconstructed flood and erosion control structure that will protect erosion along the Five Mile River.

- (3) To give high priority and preference to uses and facilities which are dependent upon proximity to the water or the shorelands immediately adjacent to marine and tidal waters.*

The project is consistent with the existing/former use of the site and will not interfere with existing waterfront uses adjacent to the site.

- (4) To resolve conflicts between competing uses on the shorelands adjacent to marine and tidal waters by giving preference to uses that minimize adverse impacts on natural coastal resources while providing long term and stable economic benefits.*

Given the existing use of the site, the project will not create conflicts with competing coastal uses.

(5) *To consider in the planning process the potential impact of coastal flooding and erosion patterns on coastal development so as to minimize damage to and destruction of life and property and reduce the necessity of public expenditure to protect future development from such hazards.*

The site will not affect erosion patterns of the abutting Five Mile River or the Long Island Sound as it is expected to maintain similar site characteristics as are currently on the site. Construction activities were completed using best management practices and in accordance with the CT DEEP approved documentation (license number 202410763-COP).

(6) *To encourage public access to the waters of Long Island Sound by expansion, development and effective utilization of state-owned recreational facilities within the coastal area that are consistent with sound resource conservation procedures and constitutionally protected rights of private property owners.*

The scope of work is located at a private property and therefore will not adversely affect state-owned recreational facilities.

(7) *To conduct, sponsor and assist research in coastal matters to improve the data base upon which coastal land and water use decisions are made.*

The scope of work will not impede the goals of the State or efforts of third parties to conduct, sponsor or assist in research into coastal matters.

(8) *To coordinate the activities of public agencies to insure that state expenditures enhance development while affording maximum protection to natural coastal resources and processes in a manner consistent with the state plan for conservation and development adopted pursuant to part I of chapter 297.*

State funding is not proposed.

(9) *To coordinate planning and regulatory activities of public agencies at all levels of government to insure maximum protection of coastal resources while minimizing conflicts and disruption of economic development.*

The project will not impede the duties of planning and regulatory activities of public agencies.

(10) *To insure that the state and the coastal municipalities provide adequate planning for facilities and resources which are in the national interest as defined in section 22a-93 and to insure that any restrictions or exclusions of such facilities or uses are reasonable.*

The project will not adversely affect any facilities which are defined as 'in the national interest' in accordance with 22a-93.

2.2 - Potential Effects on Coastal Resources

The subject site is located in a developed mixed-use neighborhood and has frontage on the Five Mile River. Based on a review of the City of Norwalk's Building Zone Map, the site is located within the Coastal Area Management Boundary. As part of this evaluation, Redniss & Mead, Inc. has reviewed available information regarding coastal resources in the vicinity of the site to determine whether they would be affected by the project. In general, coastal resources include:

- A. General Resources
- B. Bluffs & Escarpments
- C. Rocky Shorefronts
- D. Beaches & Dunes
- E. Intertidal Flats
- F. Tidal Wetlands
- G. Freshwater Wetlands
- H. Coastal Hazard Areas
- I. Developed Shorefront
- J. Islands
- K. Shorelands
- L. Shellfish Concentrations
- M. Coastal Waters & Embayments
- N. Air Resources & Quality

Based on the Connecticut Department of Environmental Protection (CTDEP) Coastal Resources Map (dated 1979), coastal resources identified at or adjacent to the site include general resources, developed shorefront, and the site is located within the regulatory floodplain of Five Mile River; the site lies within the VE zone (El. 15) and AE zone (El. 13) as depicted on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) No. 09001C0529G dated February 21, 2019. Based on the City of Norwalk Inland Wetlands and Watercourses Map (dated 2009), there are no mapped inland wetlands within 50 feet of the proposed activity.

The construction will not have an adverse impact on the above identified resources. With proper implementation of the site plans, including temporary sediment and erosion controls, no adverse effects are expected regarding the resources identified above.

2.3 - Identification of Significant Natural Features

Given the existing development of the site, no significant natural features will be affected by the bulkhead reconstruction.

2.4 - Identification of Significant Historical and Cultural Resources

No significant cultural resources have been identified at the site.

2.5 - Identification of Applicable Coastal Policies Affected by Project

Redniss & Mead, Inc. has reviewed applicable coastal use policies which could be affected by the project, including:

- | | |
|---------------------------------|---|
| A. General Development | J. Energy Facilities |
| B. Water and Dependent Use | K. Fuels, Chemicals, & Hazardous Material |
| C. Ports & Harbors | L. Transportation |
| D. Coastal Structures & Filling | M. Solid Waste |
| E. Dredging & Navigation | N. Dams, Dikes & Reservoirs |
| F. Boating | O. Cultural Resources |
| G. Fisheries | P. Open Space & Agricultural |
| H. Coastal Recreation & Access | |
| I. Sewer and Water Lines | |

Given the location of the site, the following may be affected:

- A. General Development - The proposed project is consistent with the existing use of the site and therefore there will be no long-term disruption to the natural environment or sound economic growth of the area.

The temporary activities of construction have the potential to produce noise, odor, fumes, and dust which were mitigated to the best of the contractors ability during construction .

The proposed development will provide additional long-term erosion control by reinforcing the shoreline.

3.0 - SUMMARY AND CLOSING

Based on a review of the proposed development of 97 Rowayton Avenue, as well as information concerning coastal resources in the site vicinity and proper sediment and erosion control during construction no adverse coastal impacts are anticipated with the project. Activities will be conducted in accordance with all local, state, and federal requirements, including those for environmental remediation and management of stormwater. For these reasons and other stated above, the proposed use is consistent with state goals and policies for coastal management and should be acceptable to the City of Norwalk.

4.0 - LIMITATIONS

In completing this application, Redniss & Mead, Inc. has relied upon information provided by Blue Fish Partners LLC, their subcontractors, information contained in previously prepared documents and resource maps prepared by others.

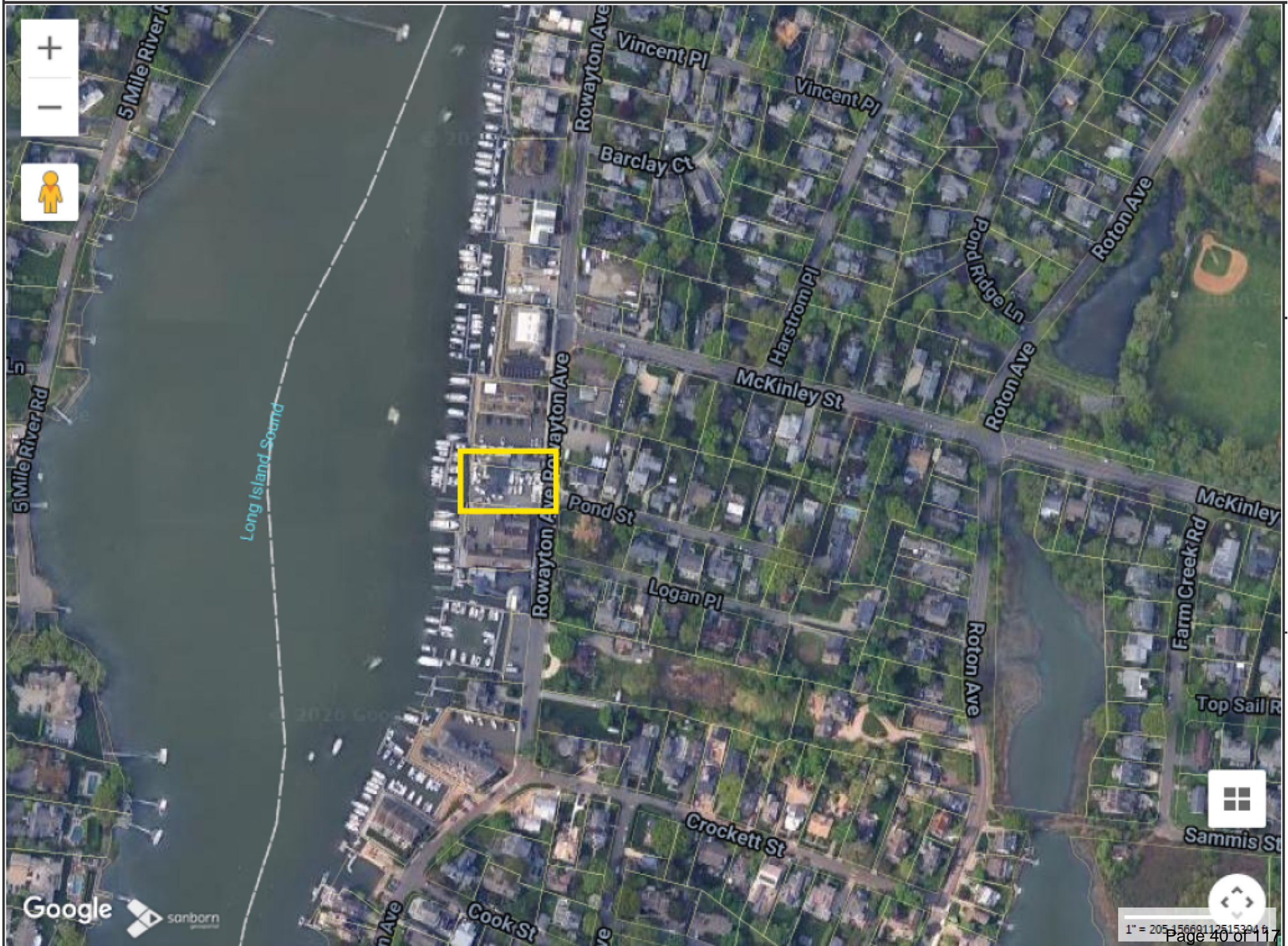
This application was prepared specifically for the City of Norwalk on behalf of Blue Fish Partners LLC. No person or other body shall be entitled to rely upon or use information presented in this report without written consent of Blue Fish Partners LLC and Redniss & Mead, Inc.

5.0 - SIGNATURES OF REPORT AUTHORS

This report has been prepared by Redniss & Mead, Inc. The names listed below are the principal authors of this report. Requests for information regarding the content of this report should be directed to those individuals.



Vincent J. Hynes, P.E.
Senior Engineer





Connecticut Department of Energy and Environmental Protection License*

Certificate of Permission

Licensee(s): Blue Fish Partners, LLC c/o
Kevin Conroy

Licensee Address(s): 300 Wilson Avenue,
Norwalk, CT 06854

License Number(s): 202410763-COP

Municipality: Norwalk

Project Description: Replacement of a bulkhead for marine commercial use and for
flood & erosion control

Project Address/Location: 95 and 97 Rowayton Avenue

Waters: Five Mile River

Authorizing CT Statute(s) CGS Section 22a-359 to 363g; CGS Section 22a-90 to 112;
and/or Federal Law: Section 401 CWA (33 USC 1341)

Applicable Regulations of 22a-426-1 to 9
CT State Agencies:

Agency Contact: Land & Water Resources Division,
Bureau of Water Protection & Land Reuse, 860-424-3019

License Expiration: Five (5) years from the date of issuance of this license.

Project Site Plan Set: Nine sheets of plans prepared by Sound Engineering Associates
and dated 11/25/2024, sheets 7, & 9 revised on 12/27/2024 and
sheet 5 revised on 01/27/2025.

License Enclosures: LWRD General Conditions; Site Plan Set; Land Record Filing;
LWRD Work Commencement Form; LWRD Compliance
Certification Form

*Connecticut’s Uniform Administrative Procedure Act defines License to include, “*the whole or part of any agency permit, certificate, approval, registration, charter or similar form of permission required by law . . .*”

Authorized Activities:

The Licensee is hereby authorized to conduct the following work as described in application # 202410763-COP and as depicted on any site plan sheets / sets cited herein:

replace a 108' long bulkhead to have a maximum elevation of +7.4' as follows;

1. relocate, temporarily, the existing floats;
2. install a turbidity curtain;
3. drive soldier piles 8' on center;
4. place timber lagging between each soldier pile;
5. splice new tie-back rods with existing rods to secure the new wall;
6. place 25 CY of crushed stone between the new and old walls; and,
7. replace floats.

Failure to comply with the terms and conditions of this license shall subject the Licensee and / or the Licensee's contractor(s) to enforcement actions and penalties as provided by law.

This license is subject to the following Terms and Conditions:

1. **License Enclosure(s) and Conditions.** The Licensee shall comply with all applicable terms and conditions as may be stipulated within the License Enclosure(s) listed above.
2. **Discharge of Fill.** At no time shall the Licensee allow fill to discharge into the Five Mile River.
3. **Waterward Encroachment for Bulkhead.** Waterward encroachment of the new bulkhead shall extend no further than 12" to 18" from the face of the existing seawall, except in the immediate vicinity of the jog in the bulkhead where the encroachment shall not exceed 22".
4. **Barge Staging and Storage.** Any barge utilized in the execution of the work authorized herein shall occur only during periods of higher water to prevent the barge from resting on, or coming into contact with, the substrate at any time.
5. **Seawall height.** The maximum seawall top of height shall not exceed 7.4' NAVD88.
6. **Turbidity Curtain.** Prior to the commencement of work authorized herein, the Licensee shall install turbidity curtains extending from the water surface to the substrate around the work area. Such erosion and sediment control structures shall be maintained in optimal operating condition until project completion at which time the erosion and sediment controls shall be removed to an upland location.
7. **Temporary Marina Structure Relocation.** Prior to conducting the activities authorized herein, the Licensee shall obtain all necessary approvals for construction access. The Licensee shall store such structures at an upland location, landward of the coastal jurisdiction line and outside of tidal wetlands.

8. **Seasonal Work Prohibition.** Work authorized herein is prohibited between April 1st and November 1st, in order to minimize navigation conflicts within the harbor unless authorized in writing by the Commissioner.

Issued under the authority of the Commissioner of Energy and Environmental Protection on:

January 28, 2025

Date



Brian P. Thompson
Division Director
Land & Water Resources Division



LWRD General Conditions

1. **Land Record Filing (for Structures Dredging & Fill, Tidal Wetlands, Certificate of Permission, and Long Island Sound General Permit Licenses only).** The Licensee shall file the Land Record Filing on the land records of the municipality in which the subject property is located not later than thirty (30) days after license issuance pursuant to Connecticut General Statutes (CGS) Section 22a-363g. A copy of the Notice with a stamp or other such proof of filing with the municipality shall be submitted to DEEP.LWRDRegulatory@ct.gov no later than sixty (60) days after license issuance. If a Land Record Filing form is not enclosed and the work site is not associated with an upland property, no filing is required.
2. **Contractor Notification.** The Licensee shall give a copy of the license and its attachments to the contractor(s) who will be carrying out the authorized activities prior to the start of construction and shall receive a written receipt for such copy, signed and dated by such contractor(s). The Licensee's contractor(s) shall conduct all operations at the site in full compliance with the license and, to the extent provided by law, may be held liable for any violation of the terms and conditions of the license. At the work site, the contractor(s) shall, whenever work is being performed, have on site and make available for inspection a copy of the license and the authorized plans.
3. **Work Commencement¹.** Not later than two (2) weeks prior to the commencement of any work authorized herein, the Licensee shall submit to DEEP.LWRDRegulatory@ct.gov, on the Work Commencement Form attached hereto, the name(s) and address(es) of all contractor(s) employed to conduct such work and the expected date for commencement and completion of such work, if any.
 - For water diversion activities authorized pursuant to 22a-377(c)-1 of the Regulations of Connecticut State Agencies, the Licensee shall also notify the Commissioner in writing two weeks prior to initiating the authorized diversion.
 - For emergency activities authorized pursuant Connecticut General Statutes Section 22a-6k, the Licensee shall notify the Commissioner, in writing, of activity commencement at least one (1) day prior to construction and of activity completion no later than five (5) days after conclusion.
4. **For Coastal Licenses Only - License Notice.** The Licensee shall post the first page of the License in a conspicuous place at the work area while the work authorized therein is undertaken.
5. **Unauthorized Activities.** Except as specifically authorized, no equipment or material, including but not limited to, fill, construction materials, excavated material or debris, shall be deposited, placed or stored in any wetland or watercourse on or off-site. The Licensee may not

¹ The Work Commencement condition and the need for a Work Commencement Form is not applicable to Flood Management Certification approvals.

conduct work within wetlands or watercourses other than as specifically authorized, unless otherwise authorized in writing by the Commissioner. Tidal wetlands means “wetland” as defined by section 22a-29 and “freshwater wetlands and watercourses” means “wetlands” and “watercourses” as defined by section 22a-38.

6. **Management of Materials.** Any materials removed from the site shall be managed in accordance with all federal, state, and local requirements, including Chapter 446K Water Pollution Control, Chapter 445 Hazardous Waste, and Chapter 446d Solid Waste of the Connecticut General Statutes.
7. **Unconfined Instream Work.** Unless otherwise noted in a condition of the license, the following conditions apply to projects in non-coastal waters:
 - Unconfined instream work is limited to the period June 1 through September 30.
 - Confinement of a work area by cofferdam techniques using sand bag placement, sheet pile installation (vibratory method only), portadam, or similar confinement devices is allowed any time of the year. The removal of such confinement devices is allowed any time of the year.
 - Once a work area has been confined, in-water work within the confined area is allowed any time of the year.
 - The confinement technique used shall completely isolate and protect the confined area from all flowing water. The use of silt boom/curtain or similar technique as a means for confinement is prohibited.
8. **For State Actions Only - Material or Equipment Storage in the Floodplain.** Unless approved by a Flood Management Exemption, the storage of any materials at the site which are buoyant, hazardous, flammable, explosive, soluble, expansive, radioactive, or which could in the event of a flood be injurious to human, animal or plant life, below the elevation of the five-hundred (500) year flood is prohibited. Any other material or equipment stored at the site below said elevation by the Licensee or the Licensee's contractor must be firmly anchored, restrained or enclosed to prevent flotation. The quantity of fuel stored below such elevation for equipment used at the site shall not exceed the quantity of fuel that is expected to be used by such equipment in one day. In accordance with the licensee's Flood Contingency Plan, the Licensee shall remove equipment and materials from the floodplain during periods when flood warnings have been issued or are anticipated by a responsible federal, state or local agency. It shall be the Licensee's responsibility to obtain such warnings when flooding is anticipated.
9. **Temporary Hydraulic Facilities for Water Handling.** If not reviewed and approved as a part of the license application, temporary hydraulic facilities shall be designed by a qualified professional and in accordance with the *Connecticut Guidelines for Soil Erosion and Sediment Control*, the *2004 Connecticut Stormwater Quality Manual*, or the *Department of Transportation's ConnDOT Drainage Manual*, as applicable. Temporary hydraulic facilities may include channels, culverts or bridges which are required for haul roads, channel relocations, culvert installations, bridge construction, temporary roads, or detours.
10. **Excavated Materials.** Unless otherwise authorized, all excavated material shall be staged and

managed in a manner which prevents additional impacts to wetlands and watercourses.

- 11. Best Management Practices.** The Licensee shall not cause or allow pollution of any wetlands or watercourses, including pollution resulting from sedimentation and erosion. In constructing or maintaining any authorized structure or facility or conducting any authorized activity, or in removing any such structure or facility, the Licensee shall employ best management practices to control storm water discharges, to prevent erosion and sedimentation, and to otherwise prevent pollution of wetlands and other waters of the State. For purposes of the license, “pollution” means “pollution” as that term is defined by CGS section 22a-423. Best Management Practices include, but are not limited, to practices identified in the *Connecticut Guidelines for Soil Erosion and Sediment Control* as revised, *2004 Connecticut Stormwater Quality Manual*, Department of Transportation’s *ConnDOT Drainage Manual* as revised, and the Department of Transportation Standard Specifications as revised.
- 12. In-Water Work Vessel Staging and Storage. (for Structures Dredging & Fill, Tidal Wetlands, Certificate of Permission, and Long Island Sound General Permit Licenses only).** For any barge, vessel, skiff or floating work platform (“work vessels”) utilized in the execution of the work authorized herein, the Licensee shall ensure that such work vessels:

 - do not rest on, or come in contact with, the substrate at any time, unless specifically authorized in the license.
 - are not stored over intertidal flats, submerged aquatic vegetation or tidal wetland vegetation or in a location that interferes with navigation. In the event any work vessel is grounded, no dragging or prop dredging shall occur to free it.
- 13. Work Site Restoration.** Upon completion of any authorized work, the Licensee shall restore all areas temporarily impacted by construction, or used as a staging area or accessway in connection with such work, to their condition prior to the commencement of such work.
- 14. Inspection.** The Licensee shall allow any representative of the Commissioner to inspect the project location at reasonable times to ensure that work is being or has been conducted in accordance with the terms and conditions of this license.
- 15. Change of Use. (Applies only if a use is specified within the License “Project Description”)**

 - a. The work specified in the license is authorized solely for the purpose set forth in the license. No change in purpose or use of the authorized work or facilities as set forth in the license may occur without the prior written approval of the Commissioner. The Licensee shall, prior to undertaking or allowing any change in use or purpose from that which is authorized by this license, request permission from the Commissioner for such change. Said request shall be in writing and shall describe the proposed change and the reason for the change.
 - b. A change in the form of ownership of any structure authorized herein from a rental/lease commercial marina to a wholly-owned common interest community or dockominium may constitute a change in purpose as specified in paragraph (a) above.
- 16. De Minimis Alteration.** The Licensee shall not deviate from the authorized activity without prior written approval from the Commissioner. The Licensee may request a de minimis change

to any authorized structure, facility, or activity. A de minimis alteration means a change in the authorized design, construction or operation that individually and cumulatively has minimal additional environmental impact and does not substantively alter the project as authorized.

- For diversion activities authorized pursuant to 22a-377(c)-2 of the Regulations of Connecticut State Agencies, a de minimis alteration means an alteration which does not significantly increase the quantity of water diverted or significantly change the capacity to divert water.

17. Extension Request. The Licensee may request an extension of the license expiration date. Such request shall be in writing and shall be submitted to DEEP.LWRDRegulatory@ct.gov at least thirty (30) days prior to the license expiration. Such request shall describe the work done to date, what work still needs to be completed, and the reason for such extension. The Commissioner may extend the expiration date of this license for a period of up to one year, in order for the Licensee to complete the authorized activities. It shall be at the Commissioner's sole discretion to grant or deny such request. No more than three (3) one-year extensions will be granted under this license.

18. Compliance Certification². Not later than 90 days after completion of the authorized work, the Licensee shall prepare and submit to DEEP.LWRDRegulatory@ct.gov, the attached Compliance Certification Form. Such Compliance Certification shall be completed, signed, and sealed by the Licensee and a Connecticut Licensed Design Professional. If non-compliance is indicated on the form, or the Commissioner has reason to believe the activities and/or structures were conducted in non-compliance with the license, the Commissioner may require the Licensee to submit as-built plans as a condition of this license.

19. Maintenance. The Licensee shall maintain all authorized structures or work in optimal condition or shall remove such structures or facility and restore the affected waters to their pre-work condition. Any such maintenance or removal activity shall be conducted in accordance with applicable law and any additional approvals required by law.

20. No Work After License Expiration. Work conducted after the license expiration date is a violation of the license and may subject the licensee to enforcement action, including penalties, as provided by law.

21. License Transfer. The license is not transferable without prior written authorization of the Commissioner. A request to transfer a license shall be submitted in writing and shall describe the proposed transfer and the reason for such transfer. The Licensee's obligations under the license shall not be affected by the passage of title to the license site to any other person or municipality until such time as a transfer is approved by the Commissioner.

22. Document Submission. Any document required to be submitted to the Commissioner under the license or any contact required to be made with the Commissioner shall, unless otherwise specified in writing by the Commissioner, be directed to:

DEEP.LWRDRegulatory@ct.gov or

² The Work Commencement condition and the need for a Work Commencement Form is not applicable to Flood Management Certification approvals.

Regulatory Section
Land & Water Resources Division
Department of Energy and Environmental Protection
79 Elm Street
Hartford, Connecticut 06106-5127
860-424-3019

- 23. Date of Document Submission.** The date of submission to the Commissioner of any document required by the license shall be the date such document is received by the Commissioner. The date of any notice by the Commissioner under the license, including but not limited to notice of approval or disapproval of any document or other action, shall be the date such notice is personally delivered or the date three (3) days after it is mailed by the Commissioner, whichever is earlier. Except as otherwise specified in the license, the word “day” as used in the license means calendar day. Any document or action which is required by the license to be submitted or performed by a date which falls on a Saturday, Sunday or a Connecticut or federal holiday shall be submitted or performed on or before the next day which is not a Saturday, Sunday, or a Connecticut or federal holiday.
- 24. Certification of Documents.** Any document, including but not limited to any notice, which is required to be submitted to the Commissioner under the license shall be signed by the Licensee and by the individual or individuals responsible for actually preparing such document, each of whom shall certify in writing as follows: “I have personally examined and am familiar with the information submitted in this document and all attachments and certify that based on reasonable investigation, including my inquiry of those individuals responsible for obtaining the information, the submitted information is true, accurate and complete to the best of my knowledge and belief, and I understand that any false statement made in this document or its attachments may be punishable as a criminal offense.”
- 25. Accuracy of Documentation.** In evaluating the application for the license, the Commissioner has relied on information and data provided by the Licensee and on the Licensee’s representations concerning site conditions, design specifications and the proposed work, including but not limited to representations concerning the commercial, public or private nature of the work or structures, the water-dependency of said work or structures, its availability for access by the general public, and the ownership of regulated structures or filled areas. If such information proves to be false, deceptive, incomplete or inaccurate, the license may be modified, suspended or revoked, and any unauthorized activities may be subject to enforcement action.
- 26. Limits of Liability.** In granting the license, the Commissioner has relied on all representations of the Licensee, including information and data provided in support of the Licensee’s application. Neither the Licensee’s representations nor the issuance of the license shall constitute an assurance by the Commissioner as to the structural integrity, the engineering feasibility or the efficacy of such design.
- 27. Reporting of Violations.** In the event that the Licensee becomes aware that they did not or may not comply, or did not or may not comply on time, with any provision of this license or

of any document incorporated into the license, the Licensee shall immediately notify the agency contact specified within the license and shall take all reasonable steps to ensure that any noncompliance or delay is avoided or, if unavoidable, is minimized to the greatest extent possible. In so notifying the agency contact, the Licensee shall provide, for the agency's review and written approval, a report including the following information:

- a. the provision(s) of the license that has been violated;
- b. the date and time the violation(s) was first observed and by whom;
- c. the cause of the violation(s), if known;
- d. if the violation(s) has ceased, the duration of the violation(s) and the exact date(s) and times(s) it was corrected;
- e. if the violation(s) has not ceased, the anticipated date when it will be corrected;
- f. steps taken and steps planned to prevent a reoccurrence of the violation(s) and the date(s) such steps were implemented or will be implemented; and
- g. the signatures of the Licensee and of the individual(s) responsible for actually preparing such report.

If the violation occurs outside of normal business hours, the Licensee shall contact the Department of Energy and Environmental Protection Emergency Dispatch at 860-424-3333. The Licensee shall comply with any dates which may be approved in writing by the Commissioner.

- 28. Revocation/Suspension/Modification.** The license may be revoked, suspended, or modified in accordance with applicable law.
- 29. Other Required Approvals.** License issuance does not relieve the Licensee of their obligations to obtain any other approvals required by applicable federal, state and local law.
- 30. Rights.** The license is subject to and does not derogate any present or future property rights or powers of the State of Connecticut, and conveys no property rights in real estate or material nor any exclusive privileges, and is further subject to any and all public and private rights and to any federal, state or local laws or regulations pertinent to the property or activity affected hereby.
- 31. Condition Conflicts.** In the case where a project specific special condition listed on the license differs from, or conflicts with, one of the general conditions listed herein, the project specific special condition language shall prevail. It is the licensee's responsibility to contact the agency contact person listed on the license for clarification if needed prior to conducting any further regulated activities.

BLUE FISH PARTNERS LLC BULKHEAD REPLACEMENT PROJECT

DRAWING LIST			
DRAWING No.	DRAWING TITLE	DRAWING No.	DRAWING TITLE
1	TITLE SHEET & GENERAL NOTES	6	EXISTING SECTION A-A
2	VICINITY MAP	7	PROPOSED SECTION A-A
3	TAX ASSESSOR'S MAP	8	EXISTING SECTION B-B
4	EXISTING SITE PLAN	9	PROPOSED SECTION B-B
5	PROPOSED SITE PLAN		

GENERAL NOTES

1. THE PURPOSE OF THESE DRAWINGS ARE FOR REGULATORY REVIEW ONLY.
2. VICINITY MAP TAKEN FROM USGS TOPO, NORWALK SOUTH QUADRANGLE, 7.5 MINUTE SERIES 2021.
3. ELEVATIONS REFERENCE NAVD88, UNLESS NOTED OTHERWISE.
4. THIS SITE INFORMATION HAS BEEN TAKEN FROM A DRAWING TITLED "ZONING LOCATION SURVEY", PREPARED FOR BLUEFISH PARTNERS LLC, BY LANDTECH, DATED 9/30/2024.
5. SUPPLEMENTARY INFORMATION OBTAINED BY SOUND ENGINEERING ASSOCIATES ON 10/02/2024 AND ONLY REPRESENT THE SITE CONDITIONS AT THAT TIME.
6. TIDAL ELEVATION DATA HAS BEEN TAKEN FROM BENCH MARK SHEET FOR TIDE STATION 8467150, CT BRIDGEPORT HARBOR FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION TIDES AND CURRENTS WEBSITE.

PROJECT TIDAL ELEVATIONS	NAVD 88 (FT) PROJECT DATUM	NGVD 29 (FT)	MLW (FT)
COASTAL JURISDICTIONAL LINE (CJL)	+5.5	+6.6	+9.3
HIGH TIDE LINE (HTL)	+4.7	+5.8	+8.5
MEAN HIGH WATER (MHW)	+3.3	+4.4	+7.1
NAVD 88	0.0	+1.1	+3.8
NGVD 29	-1.1	0.0	+2.7
MEAN LOW WATER (MLW)	-3.8	-2.7	0.0

ALL RIGHTS RESERVED.
© 2024 SOUND ENGINEERING ASSOCIATES LLC

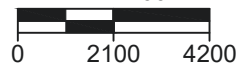
NOT FOR CONSTRUCTION
FOR REGULATORY REVIEW ONLY

 <p>195 TUNXIS HILL RD, SUITE 203 FAIRFIELD, CT 06825</p>	PROJECT: BULKHEAD REPLACEMENT PROJECT 97 ROWAYTON AVENUE, NORWALK, CT 06853	 <p>VALID ONLY WITH ENGINEER'S STAMP</p>	REV:
	PREPARED FOR: BLUE FISH PARTNERS, LLC 300 WILSON AVENUE, NORWALK, CT 06854		DATE: 11/25/2024
	AGENT: JAMES J. BAJEK, LLC 4570 BOWEN BAYOU ROAD, SANIBEL, FL 33957		SCALE: N/A
	SOUNDENGINEERINGASSOCIATES.COM		DATUM: NAVD88
			PROJECT NO: 2024078
			DRAWING NO: 1 / 9



VICINITY MAP

1" = 4200'



ALL RIGHTS RESERVED.

© 2024 SOUND ENGINEERING ASSOCIATES LLC

NOT FOR CONSTRUCTION
FOR REGULATORY REVIEW ONLY



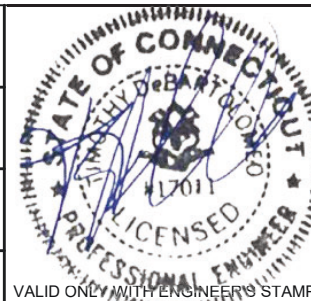
195 TUNXIS HILL RD, SUITE 203
FAIRFIELD, CT 06825

PROJECT:
BULKHEAD REPLACEMENT PROJECT
97 ROWAYTON AVENUE, NORWALK, CT 06853

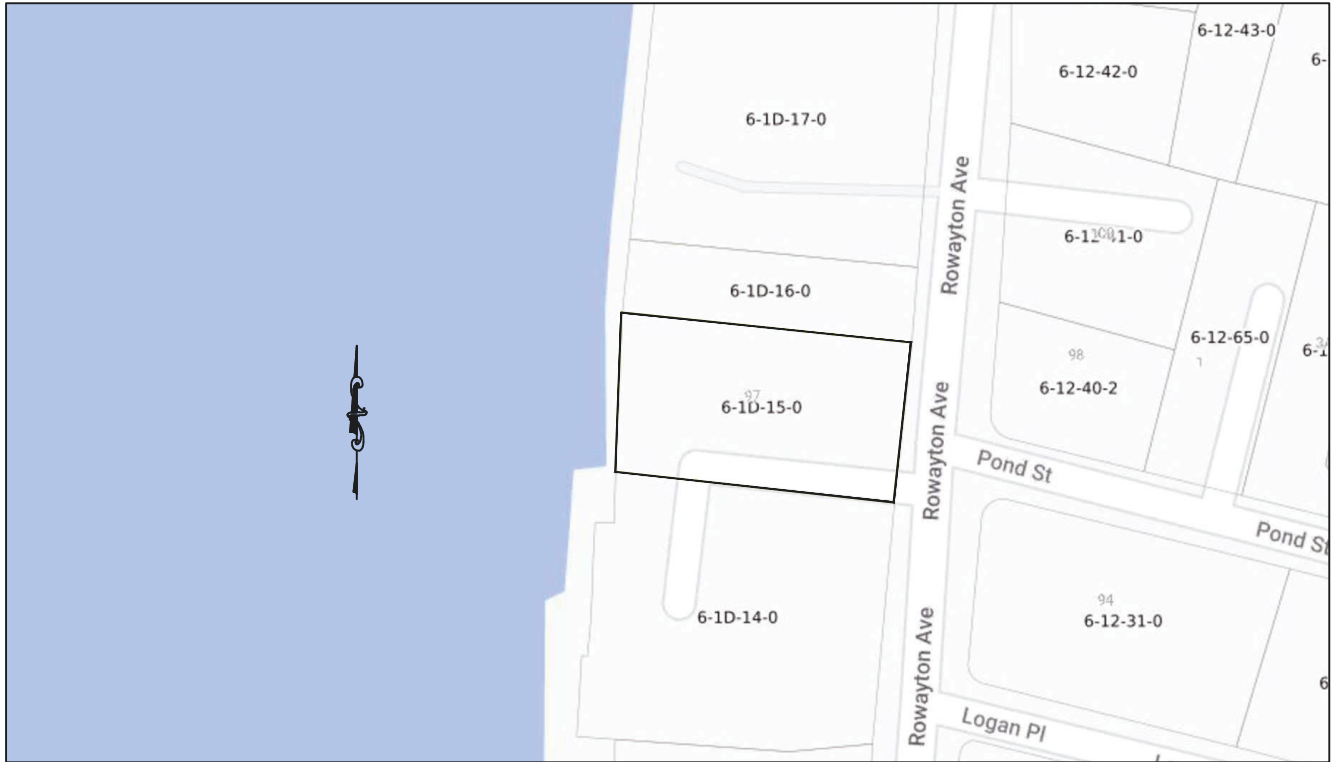
PREPARED FOR:
BLUE FISH PARTNERS, LLC
300 WILSON AVENUE, NORWALK, CT 06854

AGENT:
JAMES J. BAJEK, LLC
4570 BOWEN BAYOU ROAD, SANIBEL, FL 33957

203-275-8506
SOUNDENGINEERINGASSOCIATES.COM



REV:
DATE:
11/25/2024
SCALE:
1" = 4200'
DATUM:
NAVD88
PROJECT NO:
2024078
DRAWING NO:
2 / 9



TAX ASSESSOR'S PARCEL ID 6-1D-15-0

ABUTTER INFORMATION

ADDRESS	PARCEL ID	OWNER OF RECORD
101 ROWAYTON AVENUE	6-1D-16-0	101 ROWAYTON PARTNERS LLC 101 ROWAYTON AVE, NORWALK, CT 06853
95 ROWAYTON AVENUE	6-1D-14-0	95 ROWAYTON AVE CONDO. ASSOC. 95 ROWAYTON AVE, NORWALK, CT 06853

ALL RIGHTS RESERVED.
© 2024 SOUND ENGINEERING ASSOCIATES LLC

NOT FOR CONSTRUCTION
FOR REGULATORY REVIEW ONLY



195 TUNXIS HILL RD, SUITE 203
FAIRFIELD, CT 06825

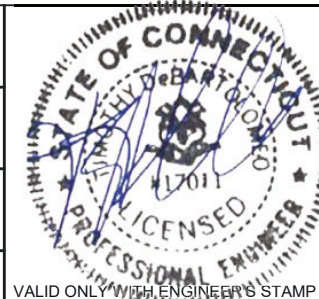
PROJECT:
BULKHEAD REPLACEMENT PROJECT
97 ROWAYTON AVENUE, NORWALK, CT 06853

PREPARED FOR:
BLUE FISH PARTNERS, LLC
300 WILSON AVENUE, NORWALK, CT 06854

AGENT:
JAMES J. BAJEK, LLC
4570 BOWEN BAYOU ROAD, SANIBEL, FL 33957

203-275-8506

SOUNDENGINEERINGASSOCIATES.COM



REV:

DATE:
11/25/2024

SCALE:
1" = 100'-0"

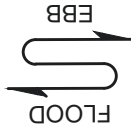
DATUM:
NAVD88

PROJECT NO:
2024078

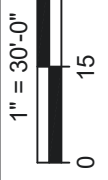
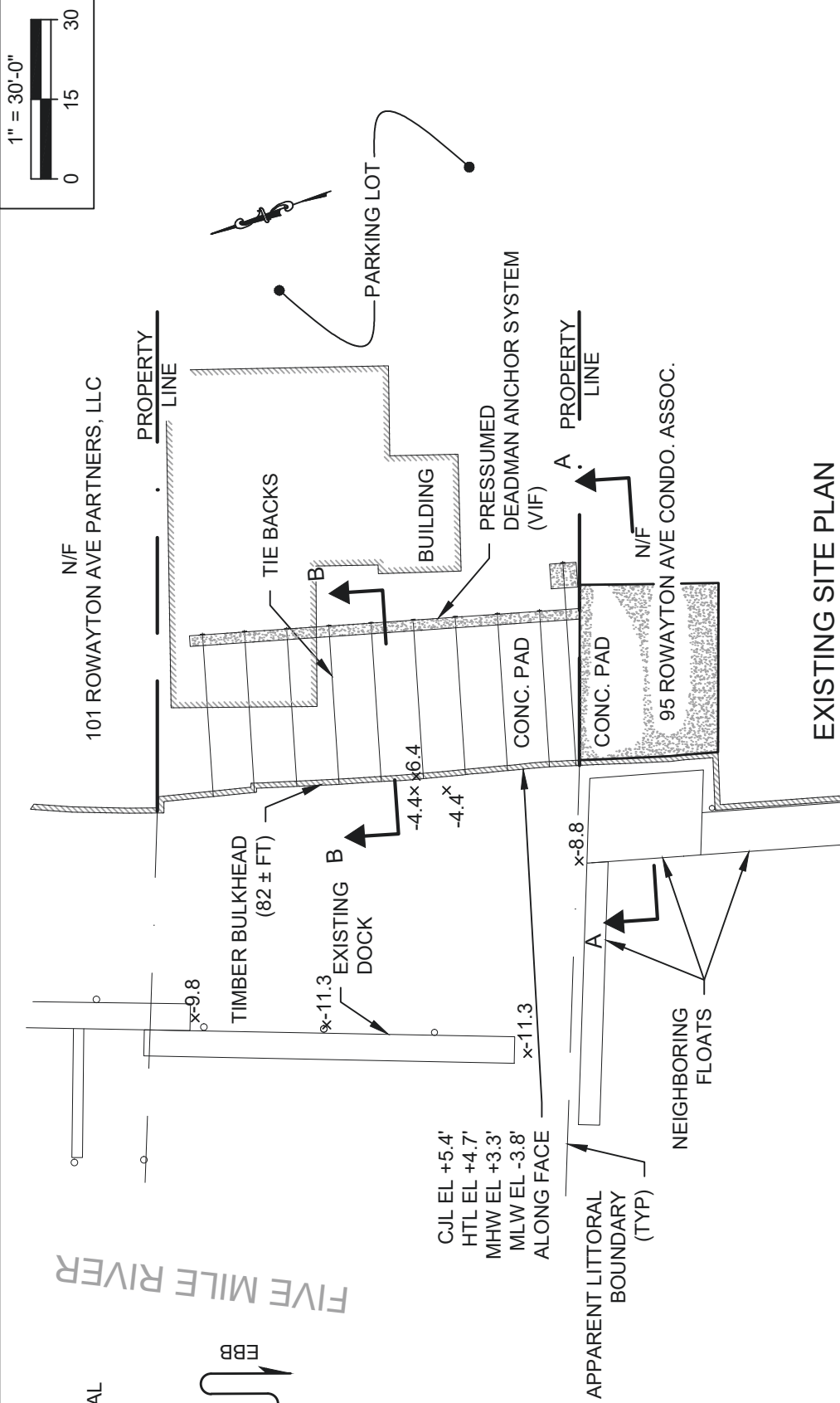
DRAWING NO:
3 / 9

NOTE:

SITE IS A NATURAL SHELLFISH BED



FIVE MILE RIVER



EXISTING SITE PLAN

ALL RIGHTS RESERVED.
© 2024 SOUND ENGINEERING ASSOCIATES LLC



195 TUNXIS HILL RD, SUITE 203
FAIRFIELD, CT 06825

PROJECT:
BULKHEAD REPLACEMENT PROJECT
97 ROWAYTON AVENUE, NORWALK, CT 06853

PREPARED FOR:
BLUE FISH PARTNERS, LLC
300 WILSON AVENUE, NORWALK, CT 06854

AGENT:
JAMES J. BAJEK, LLC
4570 BOWEN BAYOU ROAD, SANIBEL, FL 33957
203-275-8506
SOUNDENGINEERINGASSOCIATES.COM



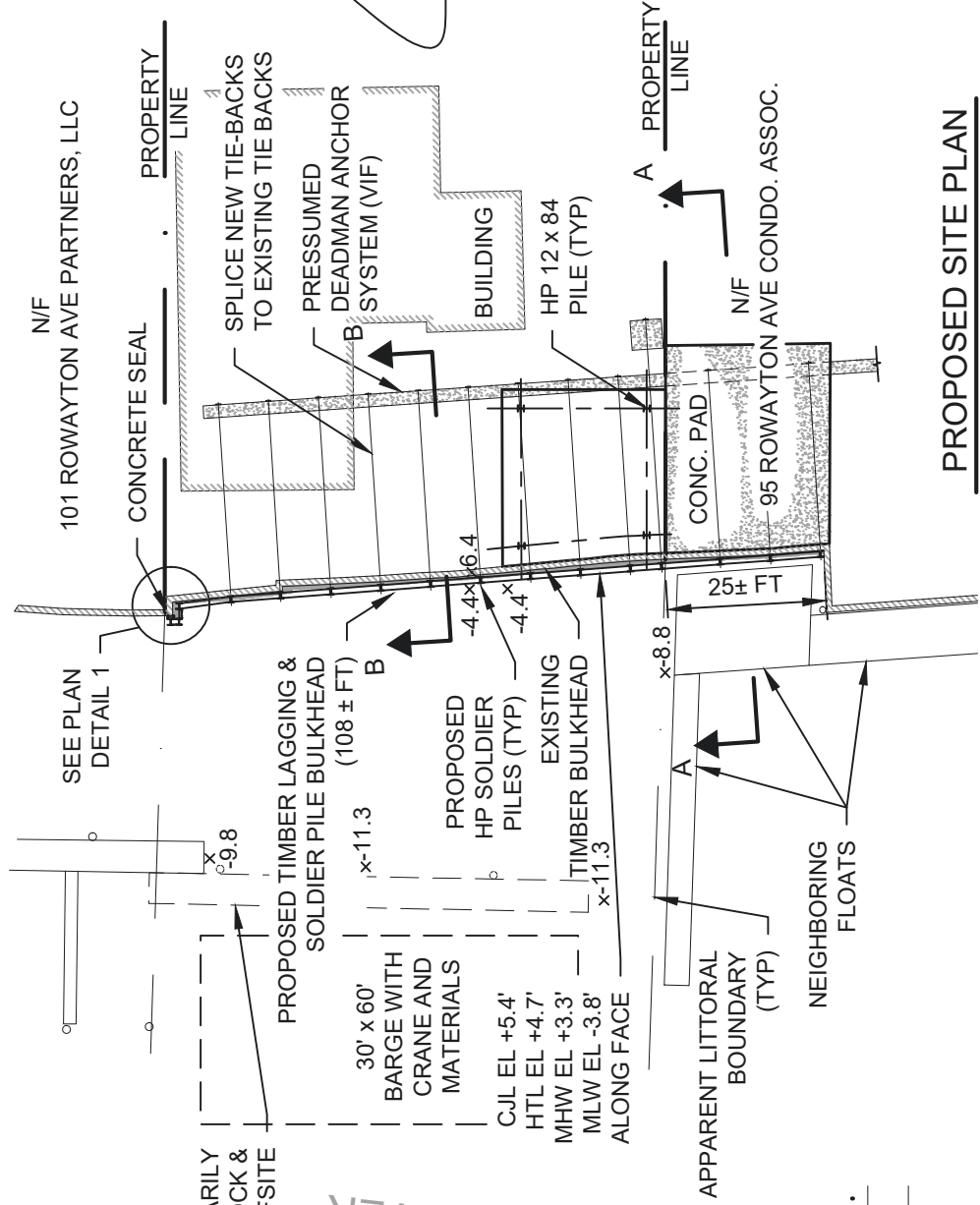
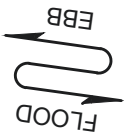
REV:	
DATE:	11/25/2024
SCALE:	1" = 30'-0"
DATUM:	NAVD88
PROJECT NO.:	2023097
DRAWING NO.:	4 / 9

NOTE:

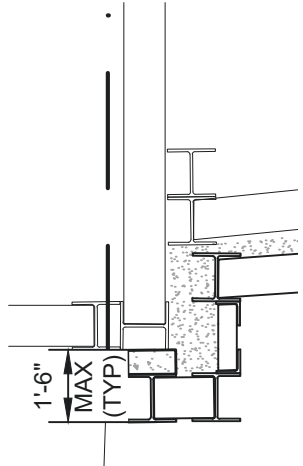
SITE IS A NATURAL SHELLFISH BED

TEMPORARILY RELOCATED DOCK & PILES OFFSITE

FIVE MILE RIVER



PROPOSED SITE PLAN



PLAN DETAIL 1



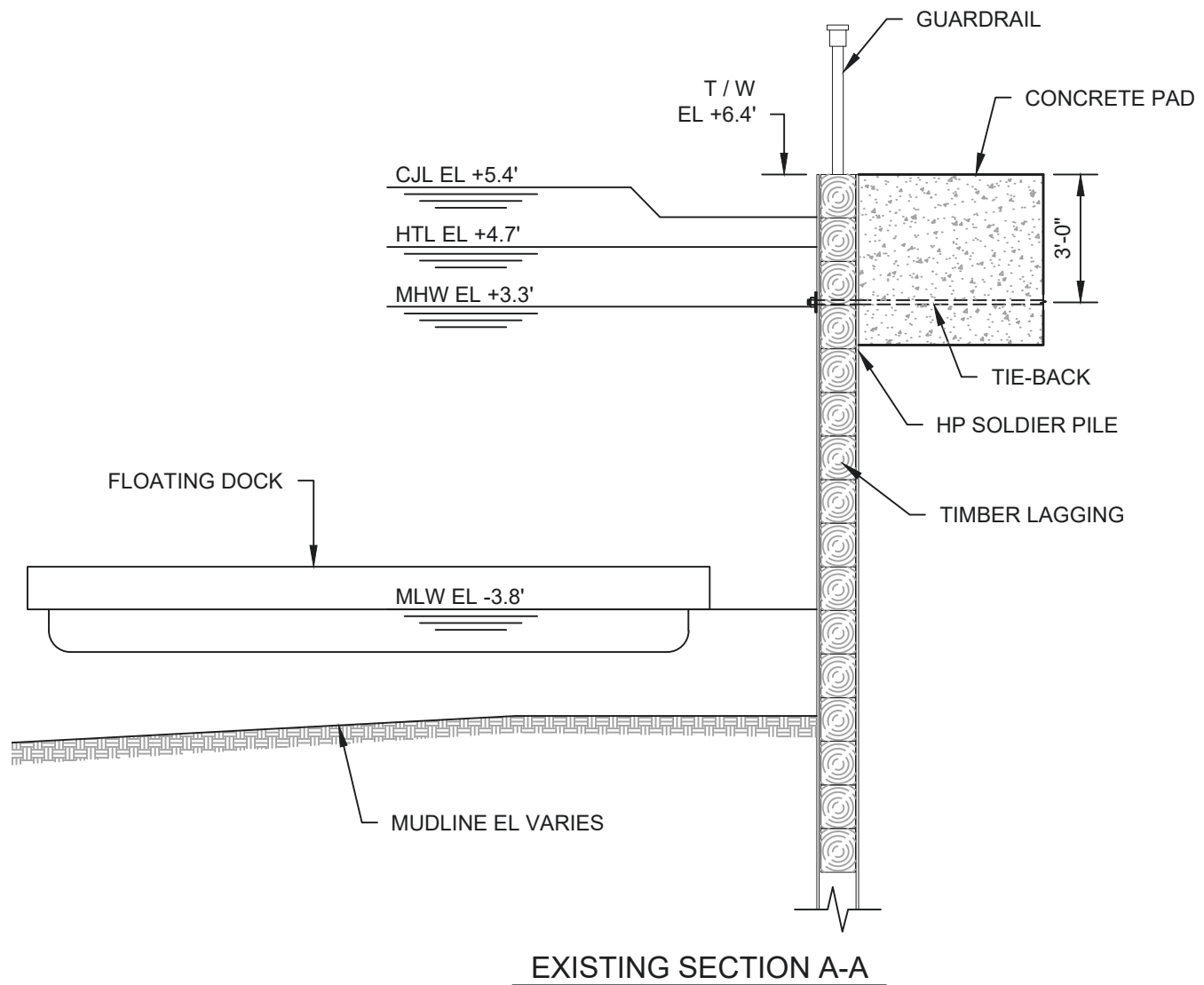
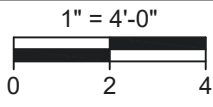
ALL RIGHTS RESERVED.
© 2024 SOUND ENGINEERING ASSOCIATES LLC



PROJECT: BULKHEAD REPLACEMENT PROJECT
97 ROWAYTON AVENUE, NORWALK, CT 06853
PREPARED FOR: BLUE FISH PARTNERS, LLC
300 WILSON AVENUE, NORWALK, CT 06854
AGENT: JAMES J. BAJEK, LLC
4570 BOWEN BAYOU ROAD, SANIBEL, FL 33957
203-275-8506
SOUNDENGINEERINGASSOCIATES.COM



REV:	2
DATE:	1/27/2025
SCALE:	AS SHOWN
DATUM:	NAVD88
PROJECT NO.:	2023097
DRAWING NO.:	5 / 9



ALL RIGHTS RESERVED.
 © 2024 SOUND ENGINEERING ASSOCIATES LLC

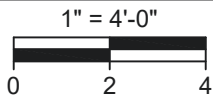
NOT FOR CONSTRUCTION
 FOR REGULATORY REVIEW ONLY

SEA
 Sound Engineering
 Associates
 195 TUNXIS HILL RD, SUITE 203
 FAIRFIELD, CT 06825

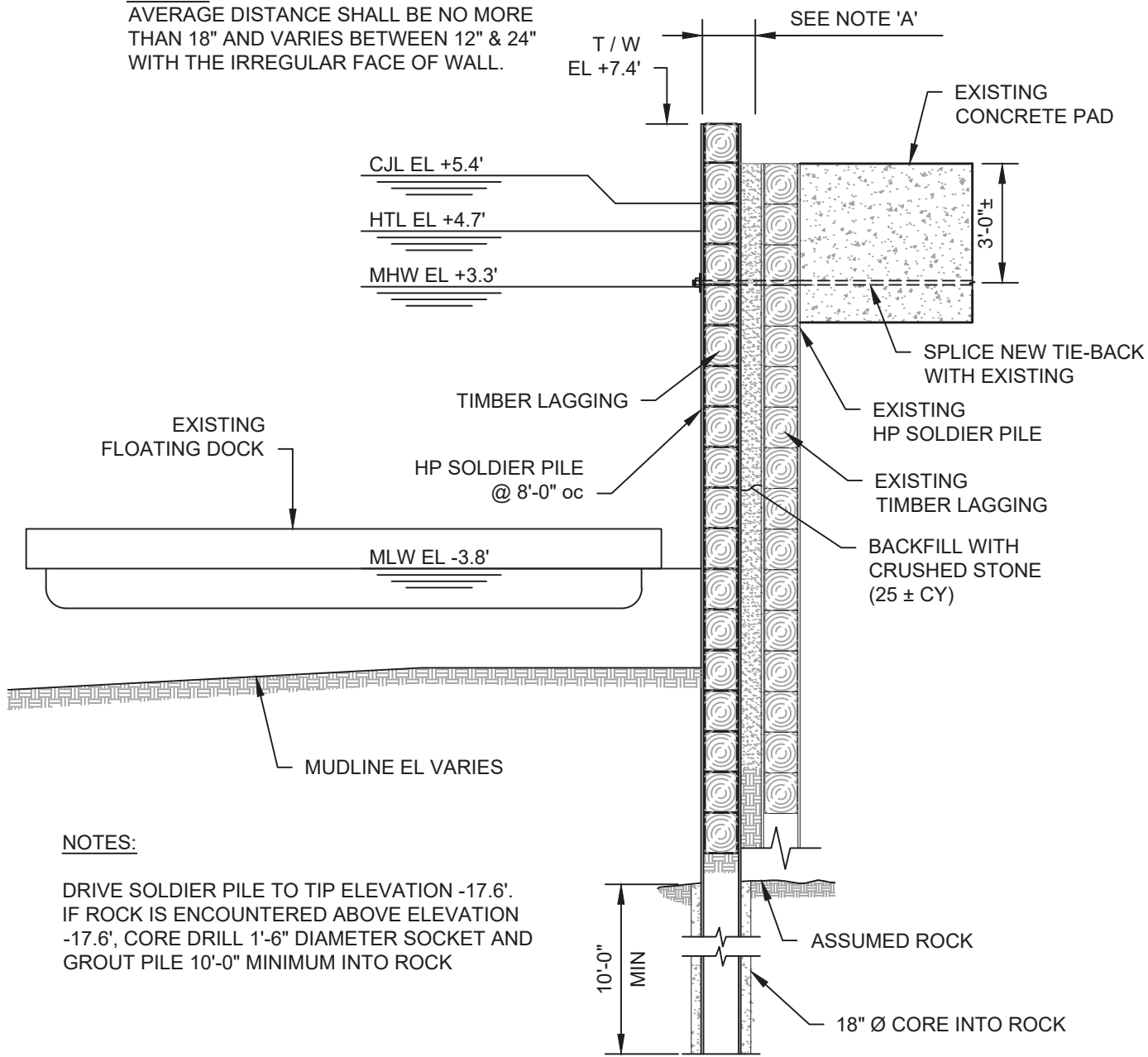
PROJECT:	BULKHEAD REPLACEMENT PROJECT 97 ROWAYTON AVENUE, NORWALK, CT 06853
PREPARED FOR:	BLUE FISH PARTNERS, LLC 300 WILSON AVENUE, NORWALK, CT 06854
AGENT:	JAMES J. BAJEK, LLC 4570 BOWEN BAYOU ROAD, SANIBEL, FL 33957

STATE OF CONNECTICUT
 PROFESSIONAL ENGINEER
 #17011

REV:	
DATE:	11/25/2024
SCALE:	1" = 4'-0"
DATUM:	NAVD88
PROJECT NO:	2024078
DRAWING NO:	6 / 9



NOTE A:
 AVERAGE DISTANCE SHALL BE NO MORE THAN 18" AND VARIES BETWEEN 12" & 24" WITH THE IRREGULAR FACE OF WALL.



NOTES:
 DRIVE SOLDIER PILE TO TIP ELEVATION -17.6'.
 IF ROCK IS ENCOUNTERED ABOVE ELEVATION -17.6', CORE DRILL 1'-6" DIAMETER SOCKET AND GROUT PILE 10'-0" MINIMUM INTO ROCK

PROPOSED SECTION A-A

ALL RIGHTS RESERVED.
 © 2024 SOUND ENGINEERING ASSOCIATES LLC

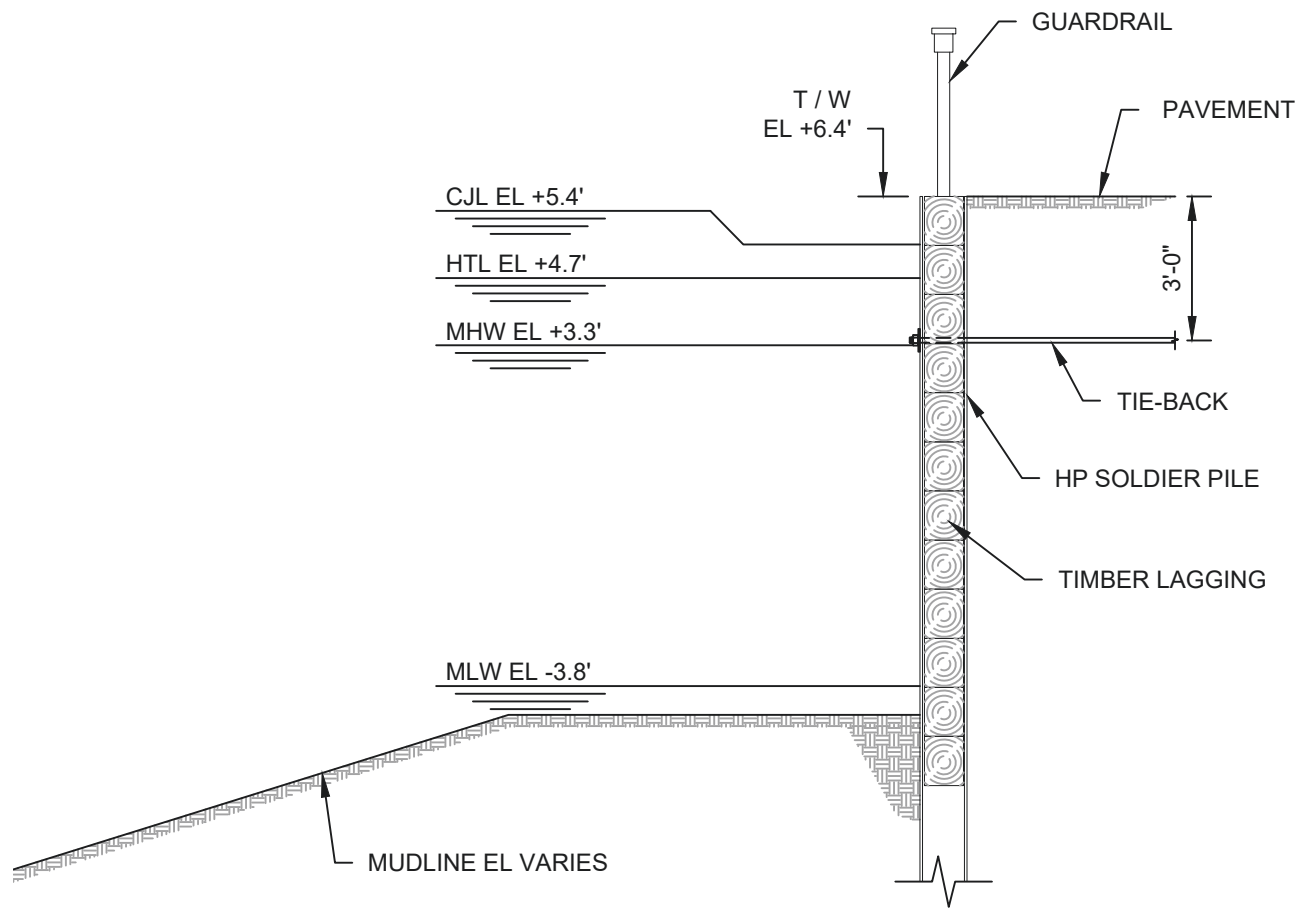
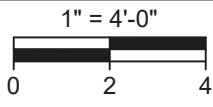
NOT FOR CONSTRUCTION
 FOR REGULATORY REVIEW ONLY

SEA
 Sound Engineering
 Associates
 195 TUNXIS HILL RD, SUITE 203
 FAIRFIELD, CT 06825

PROJECT:	BULKHEAD REPLACEMENT PROJECT 97 ROWAYTON AVENUE, NORWALK, CT 06853
PREPARED FOR:	BLUE FISH PARTNERS, LLC 300 WILSON AVENUE, NORWALK, CT 06854
AGENT:	JAMES J. BAJEK, LLC 4570 BOWEN BAYOU ROAD, SANIBEL, FL 33957

STATE OF CONNECTICUT
 JAMES J. BAJEK
 17011
 PROFESSIONAL ENGINEER

REV:	1
DATE:	12/27/24
SCALE:	1" = 4'-0"
DATUM:	NAVD88
PROJECT NO:	2024078
DRAWING NO:	7 / 9



EXISTING SECTION B-B

ALL RIGHTS RESERVED.
© 2024 SOUND ENGINEERING ASSOCIATES LLC

NOT FOR CONSTRUCTION
FOR REGULATORY REVIEW ONLY

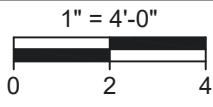
SEA
Sound Engineering
Associates

195 TUNXIS HILL RD, SUITE 203
FAIRFIELD, CT 06825

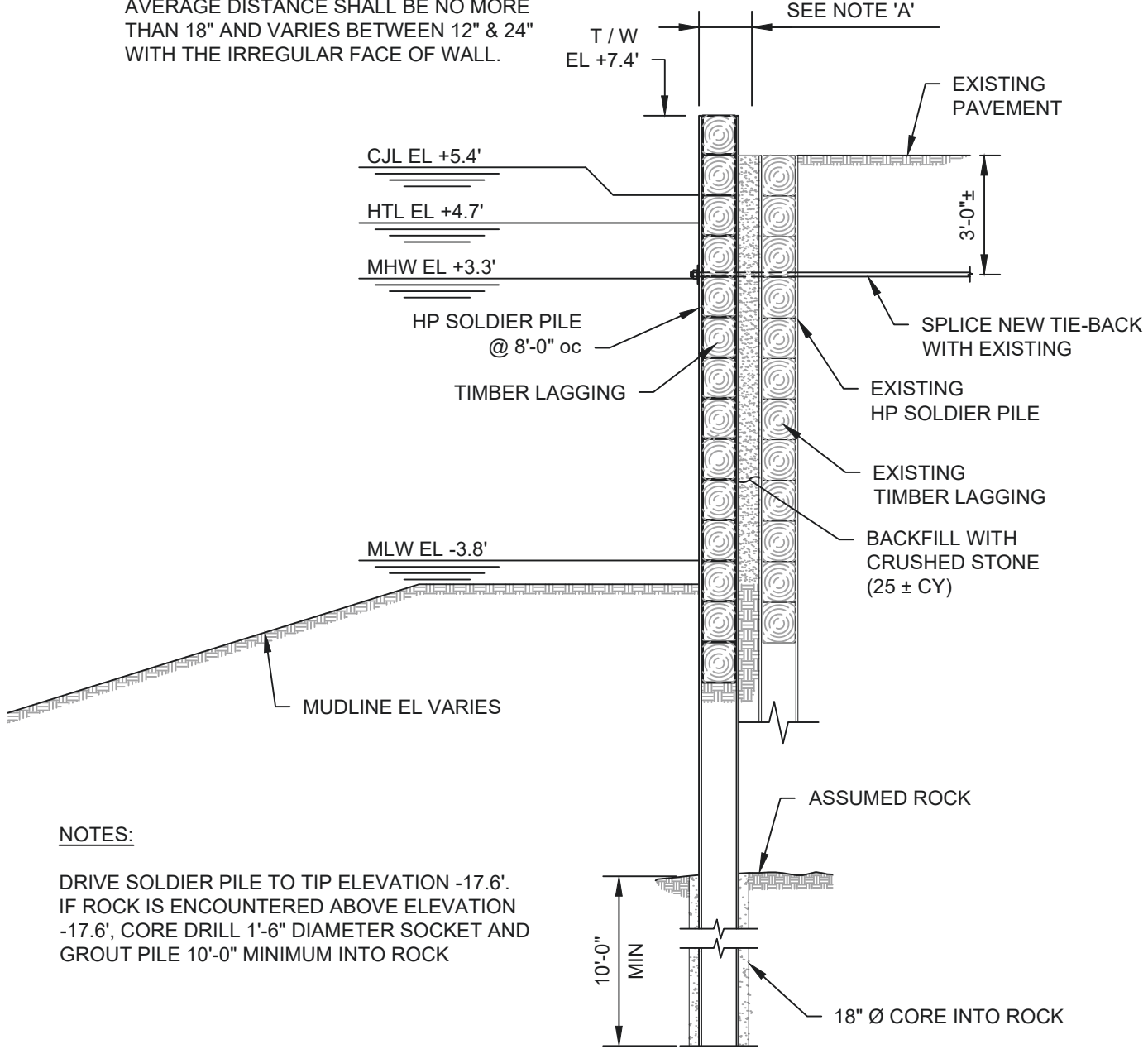
PROJECT:	BULKHEAD REPLACEMENT PROJECT 97 ROWAYTON AVENUE, NORWALK, CT 06853
PREPARED FOR:	BLUE FISH PARTNERS, LLC 300 WILSON AVENUE, NORWALK, CT 06854
AGENT:	JAMES J. BAJEK, LLC 4570 BOWEN BAYOU ROAD, SANIBEL, FL 33957

STATE OF CONNECTICUT
JAMES J. BAJEK
#17011
PROFESSIONAL ENGINEER

REV:	
DATE:	11/25/2024
SCALE:	1" = 4'-0"
DATUM:	NAVD88
PROJECT NO:	2024078
DRAWING NO:	8 / 9



NOTE A:
 AVERAGE DISTANCE SHALL BE NO MORE THAN 18" AND VARIES BETWEEN 12" & 24" WITH THE IRREGULAR FACE OF WALL.



NOTES:
 DRIVE SOLDIER PILE TO TIP ELEVATION -17.6'.
 IF ROCK IS ENCOUNTERED ABOVE ELEVATION -17.6', CORE DRILL 1'-6" DIAMETER SOCKET AND GROUT PILE 10'-0" MINIMUM INTO ROCK

PROPOSED SECTION B-B

ALL RIGHTS RESERVED. © 2024 SOUND ENGINEERING ASSOCIATES LLC NOT FOR CONSTRUCTION FOR REGULATORY REVIEW ONLY

SEA
 Sound Engineering
 Associates
 195 TUNXIS HILL RD, SUITE 203
 FAIRFIELD, CT 06825

PROJECT:	BULKHEAD REPLACEMENT PROJECT 97 ROWAYTON AVENUE, NORWALK, CT 06853
PREPARED FOR:	BLUE FISH PARTNERS, LLC 300 WILSON AVENUE, NORWALK, CT 06854
AGENT:	JAMES J. BAJEK, LLC 4570 BOWEN BAYOU ROAD, SANIBEL, FL 33957

STATE OF CONNECTICUT
 JAMES J. BAJEK
 17011
 PROFESSIONAL ENGINEER
 VALID ONLY WITH ENGINEER'S STAMP

REV:	1
DATE:	12/27/2024
SCALE:	1" = 4'-0"
DATUM:	NAVD88
PROJECT NO:	2024078
DRAWING NO:	9 / 9



Land Record Filing*

To: DO NOT FILE

Signature and

NOTE: Due to the electronic delivery of this license and the legal requirement to have a live signature on this document, the “Land Record Filing” as detailed in General Condition #1 will be sent to the Licensee via U.S. Mail for the Licensee to file with the city/town clerk.

Date:

Subject: _____
License # _____

If you have any questions pertaining to this matter, please contact the Land & Water Resources Division at 860-424-3019.

Return to:

~~Land & Water Resources Division~~
~~State of Connecticut~~
~~Department of Energy & Environmental Protection~~
~~79 Elm Street~~
~~Hartford, CT 06106-5127~~

*The Licensee shall file the Land Record Filing on the land records of the municipality in which the subject property is located not later than thirty (30) days after license issuance pursuant to Connecticut General Statutes (CGS) Section 22a-363g. A copy of the Notice with a stamp or other such proof of filing with the municipality shall be submitted to the Commissioner no later than sixty (60) days after license issuance.



LWRD Work Commencement Form

To: DEEP.LWRDRegulatory@ct.gov or
Regulatory Section
Department of Energy and Environmental Protection
Land & Water Resources Division
79 Elm Street
Hartford, CT 06106-5127

Licensee Name: Blue Fish Partners, LLC c/o Kevin Conr

Municipality in which the project is occurring: Norwalk

DEEP License No(s): 202410763-COP

CONTRACTOR(s):

1 Name: _____
Address: _____
Telephone: _____
E-mail: _____

2 Name: _____
Address: _____
Telephone: _____
E-mail: _____

3 Name: _____
Address: _____

Date Contractor(s) received a copy
of the license and approved plans: _____

EXPECTED DATE OF COMMENCEMENT OF WORK: _____

EXPECTED DATE OF COMPLETION OF WORK: _____

LICENSEE: _____
(Signature) (Date)



Compliance Certification Form

The following certification must be signed by the licensee working in consultation with a Connecticut-licensed design professional and must be submitted to the address indicated at the end of this form within ninety (90) days of completion of the authorized work.

1. Licensee Name: Blue Fish Partners, LLC c/o Kevin Conroy _____ DEEP License Number(s): 202410763-COP _____ Municipality in which project is occurring: Norwalk _____	
2. Check one: (a) <input type="checkbox"/> "I certify that the final site conditions and / or structures are in general conformance with the approved site plans". Identify and describe any deviations and attach to this form. (b) <input type="checkbox"/> "The final site conditions and / or structures are not in general conformance with the approved site plans. The enclosed "as-built" plans note the modifications".	
3. "I understand that any false statement in this certification is punishable as a criminal offence under section 53a-157b of the General Statutes and under any other applicable law."	
_____ Signature of Licensee	_____ Date
_____ Name of Licensee (print or type)	
_____ Signature of CT-Licensed Design Professional	_____ Date
_____ Name of CT-Licensed Design Professional (print or type)	
_____ Professional License Number (if applicable)	Affix Stamp Here <div style="border: 1px solid black; width: 150px; height: 100px; display: inline-block; vertical-align: middle;"></div>
<ul style="list-style-type: none"> As-built plans shall include: elevations or tidal datums, as applicable, and structures, including any proposed elevation views and cross sections included in the approved license plans. Such as-built plans shall be the original ones and be signed and sealed by an engineer, surveyor or architect, as applicable, who is licensed in the State of Connecticut. The Licensee will be notified by staff of the Land and Water Resources Division (LWRD) if further compliance review is necessary. Lack of response by LWRD staff does not imply compliance. <p>Submit this completed form to : DEEP.LWRDRegulatory@ct.gov or Regulatory Section Department of Energy and Environmental Protection Land & Water Resources Division 79 Elm Street Hartford, CT 06106-5127</p>	



Compliance Certification Form

The following certification must be signed by the licensee working in consultation with a Connecticut-licensed design professional and must be submitted to the address indicated at the end of this form within ninety (90) days of completion of the authorized work.

1. Licensee Name: <u>Blue Fish Partners, LLC c/o Kevin Conroy</u> DEEP License Number(s): <u>202410763-COP</u> Municipality in which project is occurring: <u>Norwalk</u>	
2. Check one: (a) <input checked="" type="checkbox"/> "I certify that the final site conditions and / or structures are in general conformance with the approved site plans". Identify and describe any deviations and attach to this form. (b) <input type="checkbox"/> "The final site conditions and / or structures are not in general conformance with the approved site plans. The enclosed "as-built" plans note the modifications".	
3. "I understand that any false statement in this certification is punishable as a criminal offence under section 53a-157b of the General Statutes and under any other applicable law."	
_____ Signature of Licensee	_____ Date
_____ Name of Licensee (print or type)	
	_____ 10/24/2025 Date
_____ Signature of CT-Licensed Design Professional	Affix Stamp Here
<u>Tim DeBartolomeo, PE</u> Name of CT-Licensed Design Professional (print or type)	
<u>17011</u> Professional License Number (if applicable)	
<ul style="list-style-type: none"> As-built plans shall include: elevations or tidal datums, as applicable, and structures, including any proposed elevation views and cross sections included in the approved license plans. Such as-built plans shall be the original ones and be signed and sealed by an engineer, surveyor or architect, as applicable, who is licensed in the State of Connecticut. The Licensee will be notified by staff of the Land and Water Resources Division (LWRD) if further compliance review is necessary. Lack of response by LWRD staff does not imply compliance. 	
Submit this completed form to : DEEP.LWRDRegulatory@ct.gov or Regulatory Section Department of Energy and Environmental Protection Land & Water Resources Division 79 Elm Street Hartford, CT 06106-5127	



**STATE OF CONNECTICUT
DEPARTMENT OF ENVIRONMENTAL PROTECTION
OFFICE OF LONG ISLAND SOUND PROGRAMS**



April 28, 1999

**CERTIFIED MAIL
RETURN RECEIPT REQUESTED**

Mr. Arthur Van Sciver
The Bait Shop, Inc.
99 Rowayton Avenue
Norwalk, CT 06853

Subject: COP-99-016-DS
City: Norwalk

Dear Mr. Van Sciver:

Enclosed please find a copy of the certificate of permission which is being issued pursuant to your application of January 28, 1999 to authorize an existing dock configuration and bulkhead, perform maintenance dredging and increase the width of a 4' x 70' float to 5' x 70'. Your attention is directed to the conditions of the enclosed certificate. All work must conform to that which is specifically authorized by this certificate. Any work in tidal wetlands or waterward of the high tide line in tidal, navigable and coastal waters of the State which has not been authorized by a valid permit or certificate of permission is a violation of state law and subject to enforcement action by this Department and the Office of the Attorney General.

Your initiation of authorized activities will be relied upon as your agreement to comply with the terms and conditions of the certificate of permission.

If you have not already done so, you should contact your local Planning and Zoning Office to determine local permit requirements for your project. Also, your activity may be eligible for General Permit authorization from the U.S. Army Corps of Engineers. Most maintenance and reconstruction activities require no further authorization from the Corps. Other activities, generally involving work in tidal wetlands or other special aquatic sites, and in or near a federal Navigation Project or involving filling, must receive written authorization from the Corps prior to beginning work. The State of Connecticut will automatically forward this COP authorization to the Corps for its determination of General Permit eligibility. You do not need to apply directly to the Corps unless they notify you. For more information regarding this new federal process, you may write to the Corps New England Division, Regulatory Branch, 696 Virginia Road, Concord, Massachusetts, 02254 or call (978) 318-8335 or (800) 343-4789.

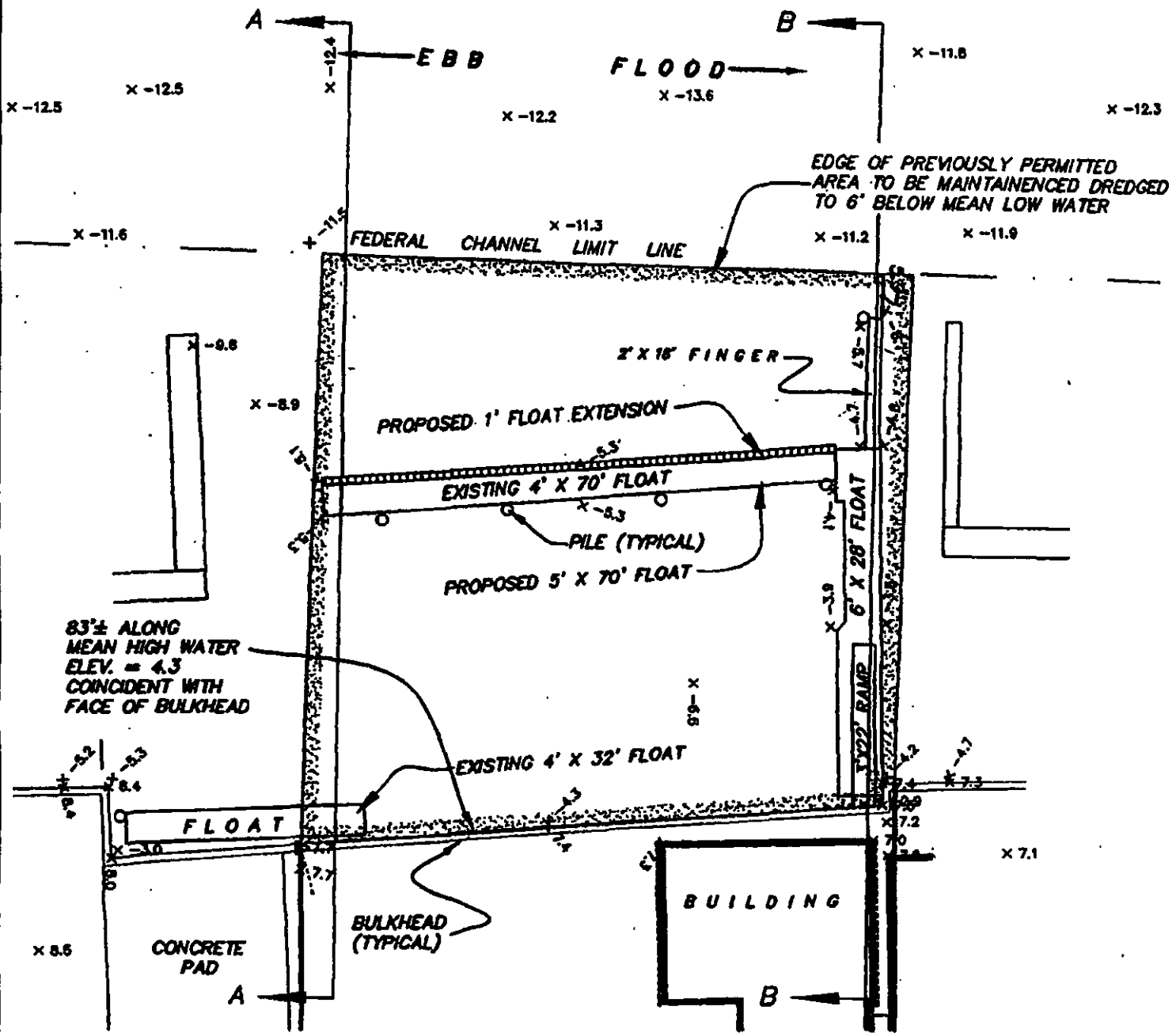
Sincerely,
Deborah Simon
Deborah Simon
Environmental Analyst

DS/lv
Enclosures
cc:

Mayor Frank Esposito, Jr.
Army Corps of Engineers (PGP Only)
National Marine Fisheries Service (PGP Only)
US Fish & Wildlife Service (PGP Only)
EPA - Regulatory (PGP Only)
State Sen. Robert Genuario
State Rep. Alex Knopp

State Rep. Lawrence Cafero, Jr.
Nick DePalma, HMC
James Bajek
File COP-99-016-DS Norwalk
Desk Copy

FIVE MILE RIVER



EXISTING AND PROPOSED CONDITIONS MAP
PREPARED FOR

THE BAIT SHOP, INC.

99 ROWAYTON AVENUE

NORWALK, CONNECTICUT

SCALE: 1" = 20'

JANUARY 8, 1999

WILLIAM W. SEYMOUR & ASSOCIATES, P.C.

LAND SURVEYORS ~ DARIEN, CONN.

AREA TO BE DREDGED = 6,100± SQ.FT.
VOLUME TO BE DREDGED = 730± CU. YDS.



DATUM: MEAN SEA LEVEL N.G.V.D. 1929

SHEET 3 OF 4

81269000



Transportation Mobility & Parking

CITY OF NORWALK
Transportation Mobility & Parking
Norwalk City Hall
125 East Avenue, PO Box 5125
Norwalk, CT 06856-5125

To: Steven Kleppin, Director – Norwalk Planning and Zoning
Bryan Baker, Principal Planner – Norwalk Planning and Zoning

From: Benjamin Yeung, P.E., Senior Traffic Engineer – Norwalk TMP

Cc: Jay Habansky - Chief of Economic and Community Development
Jim Travers, Director – Norwalk TMP
Garrett Bolella, P.E., PTOE, RSP1, Assistant Director – TMP
Nathan Fankhanel, E.I.T., Junior Engineer – TMP
Greg Pacelli, Transportation Planner – TMP
Vanessa Valadares, P.E., Chief of Department of Public Works
Wilber Giron, P.E., Permit Engineer – Department of Public Works
Ron Toth, Public Works Coordinator – Department of Public Works
Christine Cardascia, P.E., Assistant Engineer – Department of Public Works
Michelle Andrzejewski, Land Use Planner – Planning and Zoning
Amelia Williams, Land Use Planner – Planning and Zoning

Subject: East Norwalk TOD Design Guidelines – Proposed Crosswalk Design Revision

Date: April 2, 2026

Dear Mr. Kleppin and Mr. Baker,

The City of Norwalk Transportation, Mobility, and Parking Department (TMP) respectfully requests revisions to the crosswalk design guidance given in the East Norwalk Village TOD Design Guidelines (Guidelines), last revised and posted online November 4, 2021. Page 22 of the current Guidelines indicates a standard “Crosswalk Pattern” to be used within the East Norwalk Village TOD Zone (EVTZ); the image and description are shown on the following page next to the proposed standard revision.

The reasons for the change are all meant to bring the crosswalk standard in conformance with Federal/State regulations and road safety best practices for crosswalks. The proposed standard is depicted on the following page, with the following reasons explained in this memorandum.

1. Legally Establish Crosswalk with White Transverse Line Crosswalk Markings
2. Improve Color Contrast of Crosswalk Against Roadway
3. Eliminate Risk of Differential Settlement

Current Crosswalk Standard from East Norwalk TOD Design Guidelines

Excerpt from *Current East Norwalk Village TOD Design Guidelines, 11.4.21; “Standards for Sidewalks, Crosswalks, Lighting and Bus Shelters” (page 22)*



Crosswalk Pattern

Figure 23: Flush set granite curb for edge restraint. 90-degree herringbone using the concrete brick pavers.

Source:

<https://i.pinimg.com/236x/88/5a/38/885a386371a45cd69aa769e2c3d591f3--brick-pathway-front-walkway.jpg>

Note: All streetscape improvements must comply with the Department of Public Works Streetscape Manual for East Norwalk.

Proposed Crosswalk Standard for East Norwalk TOD Design Guidelines

Proposed Revision for East Norwalk Village TOD Design Guidelines “Standards for Sidewalks, Crosswalks, Lighting and Bus Shelters” (page 22)



Crosswalk Pattern

Figure 23: Impressed Surface System Crosswalk with Preformed Thermoplastic

Source: Stuart Avenue and Stevens Street, Norwalk, CT; Norwalk TMP

Note: All streetscape improvements must comply with the Department of Public Works Standard Details for East Norwalk.

Legally Establish Crosswalk with White Transverse Line Crosswalk Markings

TMP staff have identified the example crosswalk in the photo for the current standard as being non-compliant with the Manual on Uniform Traffic Control Devices (MUTCD), which are the Federal/State standards for traffic control devices, including crosswalk markings. Section 3C.03 of the MUTCD 11th Edition states, “Standard: Crosswalk markings shall be white...”.

Marked crosswalks are allowed to have “aesthetic treatments” such as the brick paver herringbone pattern, but the white transverse bars on the sides of the crosswalk must still be installed to legally establish the crosswalk and to enhance its visibility.

Improve Color Contrast of Crosswalk Against Roadway

The current standard calls for a granite color for the pavers in the interior of the crosswalk. This conflicts with road safety best practices because the granite color does not provide enough visual contrast with the surrounding asphalt pavement. For the same reason, a granite or gray color is also not compliant with the MUTCD.

Typical asphalt is dark gray to black, but tends to lighten over time. Gray or granite tones for crosswalks tend to blend into the roadway surface, especially under low-light conditions, during wet weather, or as materials age and darken. Other colors such as brick red, by contrast, create a clear and immediate distinction between the crosswalk and the adjacent travel lanes, helping to visually reinforce the crossing area for both motorists and pedestrians. This increased contrast improves recognition of the crosswalk from a greater distance and supports quicker driver comprehension of pedestrian priority.

Eliminate Risk of Differential Settlement

Due to settlement issues that are typically associated with a mix of granite, pavers, and roadway asphalt, the City no longer installs brick paver crosswalks. Precast concrete pavers and granite edge restraints introduce a greater risk of differential settlement relative to the surrounding asphalt pavement. Even minor variations in subgrade support or base material compaction can cause individual pavers to settle or shift at rates different from the adjacent roadway. This can result in uneven surfaces, bumps, or lips at the crosswalk, which reduce ride quality for vehicles, create discomfort and noise for drivers, and present tripping hazards for pedestrians, wheelchair users, and others with mobility devices.

By contrast, an impressed brick pattern applied using preformed thermoplastic adheres directly to the existing pavement surface. This approach maintains a smooth, flush surface across the crosswalk, improving safety, comfort, and long-term performance while still achieving the desired visual and aesthetic effect. The material is engineered with special elements to provide skid and slip resistance, as well as retroreflectivity to enhance visibility.

Moving forward, the City will be using preformed thermoplastic for decorative crosswalks citywide. This proposed update of the East Norwalk standard is necessary to be consistent with best practices.

Conclusion

TMP is proposing this design revision and will coordinate with Planning and Zoning Department and the Department of Public Works to ensure that all applicable standards documentation is updated appropriately and that all known upcoming projects in the EVTZ are notified of the new standard.

Sincerely,



Benjamin Yeung, P.E., Senior Traffic Engineer – TMP

MEMORANDUM

April 2, 2026

TO: Norwalk Planning & Zoning Commission; Chapin Bryce, Chairman


FROM: Steve Kleppin, Planning & Zoning Director

SUBJECT: #2026-03 R – Norwalk Planning & Zoning Commission – Regulation Amendments

Article 6: Section 6.12.4 Regulations for Workforce Housing - Proposed Workforce Housing Inclusion: Any Artist Live/Work Unit, designated as a Workforce Housing Unit, may count that Artist Live/Work Unit as two (2) Workforce Housing Units for purposes of complying with the ten percent (10%) requirement indicated in §6.12.4.2, provided that the aggregate number of Artist Live/Work units in such a Development that are counted as two affordable Dwelling Units shall not exceed the aggregate number of market-rate Artist Live/Work Units in such Development. A certificate in the form of an affidavit which verifies that the unit continues to be used and designated as an Artist Live/Work Unit shall be submitted to the Planning and Zoning Director by January 31 of each year.

Article 7: SIGNS – Change location of Band Signs

ARTICLE 7: SIGN STANDARDS

BAND SIGN	TABLE 71.2.B-2 SIGN TYPES SPECIFIC STANDARDS										
											
<p>Permitted Districts</p> <p style="text-align: center; background-color: #2c3e50; color: white; padding: 2px;">CD-3 CD-3W CD-3C CD-4 CD-4W SD-LI SD-HI SD-MC CV</p>											
<p>General Description</p> <p>A Sign that is flat against the Facade and placed directly above the main entrance and often run horizontally along the entablature of traditional Buildings. Band Signs are typically intended to be seen from a distance and are often accompanied by additional pedestrian-scaled signage.</p>	<p>Additional Standards</p> <p>In addition to all other applicable standards, each Band Sign allowed under this Article:</p> <p>a. shall be applied to the first Story Façade and not project vertically above the roof line;</p> <p>b. shall have letters individually attached to the wall, on a separate background panel affixed to the wall, or printed or etched on the same surface as the background;</p> <p>c. shall not obscure any architectural element of the Building and shall be in vertical alignment with the center of an architectural element such as a storefront window or entrance, or centered over the bay or overall space occupied by the business.</p>										
<p>Dimensions</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>Quantity (max)</td> <td>1 per first floor business Frontage</td> </tr> <tr> <td>Area</td> <td>1.5 sf per linear ft of Façade</td> </tr> <tr> <td>Width/Height</td> <td>max 100% width of business Façade / max 3 ft</td> </tr> <tr> <td>Depth / Projection</td> <td>max 7 in</td> </tr> <tr> <td>Clearance</td> <td>min 7 ft</td> </tr> </table>	Quantity (max)	1 per first floor business Frontage	Area	1.5 sf per linear ft of Façade	Width/Height	max 100% width of business Façade / max 3 ft	Depth / Projection	max 7 in	Clearance	min 7 ft	<p>When attached to a Building Façade, shall be applied to the first Story Façade and not project vertically above the roof line; or parapet, provided the parapet does not project more than five (5) feet above the roof line. shall have letters individually attached to the wall or canopy, on a separate background panel affixed to the wall, or printed or etched on the same surface as the background; and</p>
Quantity (max)	1 per first floor business Frontage										
Area	1.5 sf per linear ft of Façade										
Width/Height	max 100% width of business Façade / max 3 ft										
Depth / Projection	max 7 in										
Clearance	min 7 ft										

A Sign that is flat against either the Facade and placed directly above the main entrance and often run horizontally along the entablature of traditional Buildings; or located flat against the canopy of a Motor Vehicle Fuel facility. Band Signs are typically intended to be seen from a distance and are often accompanied by additional pedestrian-scaled signage.

Article 9: DEFINITIONS

Modify Section 9.3 Defined Terms to include the following amendment(s):

Dormer Definition

Existing:

~~**Dormer:** Any Structure whose framing projects out from a sloping roof to form a vertical wall designed to accommodate a window or other opening. When constructed as part of a Half Story, Dormers shall be setback a minimum of two (2) feet from all building faces. Dormers located on the front of the structure facing the street, shall occupy no more than fifty percent (50%) of the length of the second story roof and shall comply with the Story definition. When the gabled end of the Structure faces the street, dormers on both roof faces shall occupy no more than fifty percent (50%) of the length of the second Story roof and shall comply with the Story definition criteria.~~

Proposed:

Dormer: A projection from a sloping roof which may accommodate a window or other opening and is clearly subordinate in area and volume to the sloping roof. When constructed within a Half-Story, Dormers shall not span more than 50% of the sloping roof from which it projects.

Earth Processing and Contractor's Materials Storage Yard: A Lot or Building Site, with or without Structures, Used for the storage of equipment and materials Used in Construction, landscaping, **landscape nursery**, masonry or arborist trade; including, but not limited to, excavation and earth moving equipment, dump trucks, bulldozers, backhoes and other similar equipment and/or stockpiles of construction or property improvement materials, such as topsoil, fill, concrete, gravel, woodchips, logs, plant stock, masonry supplies, and other similar materials.

Landscape Nursery: A Lot or Building Site, with or without Structures, Used for the storage of or growing of plants for transplanting, for use as stocks for budding and grafting, or for sale.

Allowed zones: SD-HI, SD-LI and CD-3C with Limitations:

?? Landscape Nursery shall be permitted in accordance with the applicable Use Table, subject to the following:

1. Any Accessory equipment used in association with the Landscape Nursery shall not be stored in the Front Yard and not visible from any adjoining properties.
2. Any Accessory retail sales of materials, such as topsoil, plant material, etc., is clearly incidental to the Principal Use;
3. Within the SD-HI Zone, all stockpiled materials shall be limited to a maximum Height of twenty feet (20') and covered when not in use. When in use, adequate measures to control dust must be employed;
4. When located in the SD-LI and CD-3C Zones:
 - a. No more than two (2) materials storage bins are permitted for topsoil or mulch only.
 - b. Material bins are limited to 20'x20' in area and 10' in height.
 - c. Material bins shall be covered when not in use. When in use, adequate measures to control dust must be employed.
 - d. There shall be no screening or sorting of materials on-site.

TABLE 4.3.9.A BUILDING, LOT & BUILDING SITE PRINCIPAL USES

PRINCIPAL USE	CD-1L	CD-1M	CD-1S	CD-2	CD-3	CD-3W	CD-3C	CD-4	CD-4W	SD-H	SD-IC	SD-LI	SD-HI	SD-MC	CV
Earth Processing and Contractor's Materials Storage Yard	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	SPU	NP	NP
Indoor Contractor Facility	NP	NP	NP	NP	NP	NP	SPU	NP	NP	NP	NP	PL	P	NP	NP
Junkyard	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	SPU	NP	NP
Manufacturing & Processing, Boutique	NP	NP	NP	NP	SPU	SPU	PL	P	P	NP	NP	P	P	NP	NP
Manufacturing & Processing, Light	NP	NP	NP	NP	NP	NP	SPU	NP	NP	NP	NP	PL	P	NP	NP
Manufacturing & Processing, Heavy	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	P	NP	NP
Landscape Nursery	NP	NP	NP	NP	NP	NP	PL	NP	NP	NP	NP	PL	P	NP	NP

Patio: An improved area located at-grade, with no structural supports such as retaining walls or roof, whose surface is no higher than the adjacent grade. A Patio shall not be deemed a Structure.

Porch: A portion of a structure which has a roof and a floor and is open to the air without walls or screened-in or glassed-in openings. When used as a Private Frontage type, having a planted Frontage, the Facade is generally set back from the Frontage Line, and an attached exterior covered area large enough to accommodate outdoor furniture and/or gathering, which is permitted to Encroach into the Front Setback or Setback Area. This may be used with or without a Fence to maintain street spatial definition. See Table 4.3.7.A (Private Frontage Types).

Stoop: A landing or steps to a door of a building without a roof of any kind. When used as a Private Frontage type wherein the first Story is elevated from the Sidewalk for privacy. An exterior stair and landing provides access to the entrance. This type is recommended for ground-floor Residential Use. See Table 4.3.7.A (Private Frontage Types)

TABLE 4.3.10 ENCROACHMENTS

Encroachments – Required Setbacks*

**Encroachments shall not violate Section 4.3.3.G, Visibility.*

Encroachment Type	Front/street	Side	Rear
Steps to Building Entrance	P	P	P
Open Porches, including steps, and Stoops	P	NP	NP

By no more than 10 ft.

Wetbar: An area distinct from the Kitchen used for entertaining purposes; provided that:

- The counter area does not exceed eight (8) feet in length,
- Any sink does not exceed one (1) square foot,
- There are no cooking facilities,
- The only appliance is a small, under-counter refrigerator.

Additional Standards for Village Overlays CD-3, CD-3W, CD-4

GENERAL VILLAGE DISTRICT REVIEW STANDARDS

All Uses, Buildings and Structures located in the Village District Overlays shall be subject to design review in accordance with the following standards:

1. 1. The Planning and Zoning Commission shall hire a Village District Consultant, who shall be an architect, landscape architect or certified planner, with pertinent experience, which may include historic preservation, to review the design of new Construction and substantial rehabilitation of all properties within the District. The report of such consultant shall be entered into the public hearing record and considered by the Planning and Zoning Commission in making its decision.
2. Any Development within a Village District Overlay, that would otherwise be exempt from either Coastal Site Plan Review, Site Plan or Special Permit approval from the Commission is still subject to design review and must conform to applicable Village District Overlay design standards. The Commission shall authorize third-party peer review of the Development and upon verification from the third-party design reviewer that the Development is consistent with the Village District Overlay design standards, authorize the issuance of the Zoning Permit.

Staff offers the following resolutions for your consideration:

RESOLUTION

THEREFORE, BE IT RESOLVED by the Norwalk Planning & Zoning Commission that application #2026-03 R – Planning & Zoning Commission – Zoning Regulation Text Amendment(s) to Articles 4, 6, 7 and 9 regarding details on public realm, workforce housing, signage and new definitions for Landscape Nursery, Patio, Porch, Stoop and Wetbar, be **APPROVED** to implement the following goals, policies, strategies and actions of the Norwalk Plan of Conservation and Development:

1. Chapter 12, Goal 3: “The user-friendly zoning ordinance is consistent with the future land use map and achievement of the vision and goals of the POCD.”
 - a. Policy: “Support revision of the zoning ordinance to promote desired development and design patterns.”
 - b. Policy: “Support permit streamlining for projects with desired characteristics.”
 - i. Strategy A: “Modernize the zoning ordinance and the development approval process to achieve the goals of the POCD.”
 1. Action i: “Rewrite the zoning ordinance to reflect contemporary best practices in administration and user-friendliness and to be consistent with the POCD.”

BE IT FURTHER RESOLVED that the effective date of this action shall be April 17, 2026.



125 East Avenue
Norwalk, Connecticut 06851

MEMORANDUM

April 17, 2026

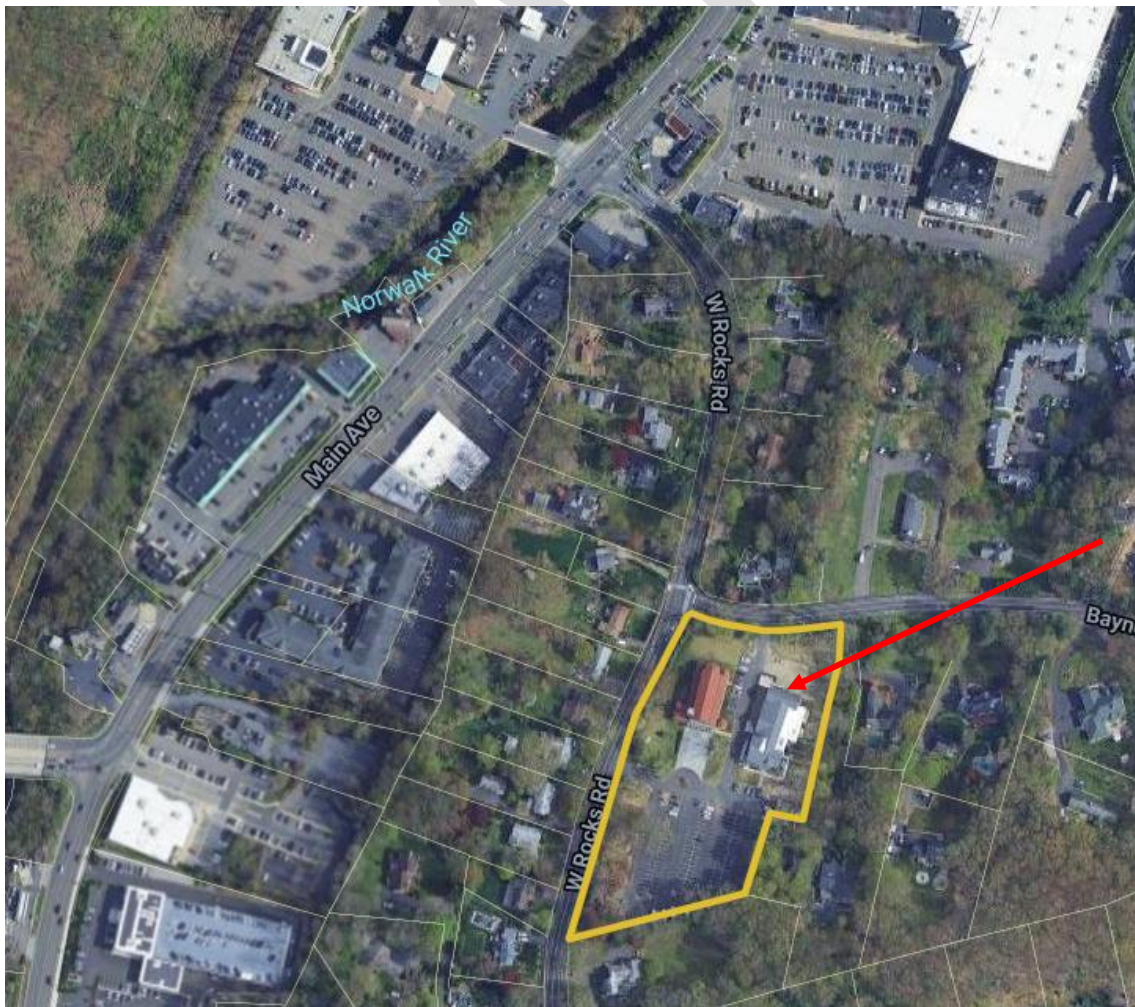
TO: Norwalk Planning & Zoning Commission; Chapin Bryce, Chairman

FROM: Steve Kleppin, Planning & Zoning Director

SUBJECT: #2026-13 SP – St. George Greek Orthodox Church – 238 West Rocks Rd. – Special Permit Modification to allow event space

Narrative

St. George’s is located in the CD-1L zone. They seek to modify their 2006 special permit that outlined conditions under which the church’s community building could operate. Specifically, condition #10 does not permit the church to use the function hall for outside events.



Many churches have function halls that are used by the congregation for gathering space or flex space. However, those are often used solely in conjunction with church functions or by members of the congregation or even allowed for use by local organizations such as Scouts or local civic organizations.

In this instance, St. George is seeking to lift the restriction on outside use and potentially rent the facility for outside functions. It is important to note that the church has done that for some time and did so several times after Staff informed them this was not permitted. In response to that, Staff issued a Notice of Violation and a Citation to the church. Any action on that is paused pending the outcome of this application.

There are several questions the Commission must consider prior to acting on this application:

1. Is the use/renting of the hall for outside uses consistent with a religious facility?
2. Is Live Music a permitted use at this location?
 - a. If your determination is no, then guidance should be given to the applicant regarding whether a text amendment is appropriate.
3. Are the conditions proposed by the applicant adequate to safeguard the neighbors?

Question 1

The applicant cited St. Mathews and Temple Shalom as religious facilities located in residential zones that also rent out their halls for outside events. Staff is not aware of this being permitted at either facility. Staff found nothing in the approval files for either indicating or referencing that. In looking at their web sites, there is no indication of advertising the function halls for rental. St. Mathews does provide guidance on use of their gym.

Question 2

The second question is whether Live Music is a permitted accessory use at the function hall. Presently Live Music is only a permitted accessory use in the CD-1L zone within the Silvermine Tavern Village District.

ARTICLE 4: BUILDING & LOT/BUILDING SITE STANDARDS

TABLE 4.3.9.D BUILDING, LOT & BUILDING SITE ACCESSORY USES

ACCESSORY USE	CD-1L	CD-1M	CD-1S	CD-2	CD-3	CD-3W	CD-3C	CD-4	CD-4W	SD-H	SD-IC	SD-LI	SD-HI	SD-MC	CV
Helicopter Landing Site	NP	NP	NP	NP	NP	NP	NP	NP	NP	SPU ¹	NP	NP	NP	NP	NP
Home Office, Occupation, or Business	PL	PL	PL	PL	PL	PL	PL	PL	PL	NP	NP	PL	NP	PL	NP
Industrial office and/or showroom space	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	PL	PL	NP	NP
Live Music	NP [*]	NP	PL	NP	PL	PL	PL	PL	PL	NP	NP	PL	NP	PL	P

LEGEND The following notations are utilized in this table.

¹Limitations also required

*Permitted by Right with Limitations in Silvermine Tavern Village District Overlay

The regulations define Live Music as: *any form of musical entertainment performed live for patrons of a specific establishment, including but not limited to live bands, disc jockeys playing recorded music, and any music played using equipment that amplifies the music.*

Obviously, there is a clear distinction between music in conjunction as part of a religious service and an outside event, such as a wedding where there may be a band or a DJ. In addition, music typically heard as part of a religious service occurs during the times services are conducted. Obviously this varies by religion and there are exceptions for special services and music from church bells, etc.

Based on what has been submitted by the applicant, is a text amendment permitting Live Music necessary? Staff's position is that parties and events outside of church functions (church picnic, after service gatherings) involving a DJ or band would fall under the definition of Live Music and is not presently permitted at the zone, unless within the Silvermine Tavern Village District.

Question 3

The applicant has offered several conditions, many based on the conditions imposed by the Commission as part of the Graybarns application.

Condition 1: The Community Building may be used for events for religious and youth celebrations for members of the community.

Is a wedding by someone who is not a member of the congregation a religious celebration allowing use of the facility for weddings? At one juncture in the enforcement process I was told that the perspective users become "members" for the purposes of using the facility. In addition, more information and clarification on what youth celebrations are? This could be interpreted widely and should be narrowed.

A clearer description and delineation of what this entails is necessary.

Condition 5: The applicant shall have private security present for evening events involving one hundred (100) or more people to ensure compliance with the noise ordinance.

Is this security trained in the Norwalk noise ordinance and are they equipped with the tools necessary to monitor for compliance? And if they determine noise emanating from the facility exceed permissible standards, what actions are they authorized to take?

Condition 6. All events within the Community Center will end no later than 10:30 p.m. Sunday through Thursday or by 12:00 a.m. Friday & Saturday.

First and foremost, the applicant would need to comply with the noise ordinance. This is stated as Condition 7. Regardless, the Commission would need to consider whether these hours are appropriate considering the location of the use.

Condition 9. Any sound system existing or installed within the Community Building shall include a compressor installed to ensure compliance with the Norwalk Noise Ordinance.

The applicant should verify whether this condition needs modifying since there were recent changes to the noise ordinance.

Staff offers the following resolutions for your consideration:

RESOLUTION 1

WHEREAS, the Commission has determined the proposed activity is inconsistent with the definition of a Religious Facility;

WHEREAS, the Commission has determined that Live Music Public is currently not permitted in this zone;

NOW, THEREFORE, BE IT RESOLVED, by the Norwalk Planning & Zoning Commission, that #2026-13 St. George Greek Orthodox Church – 238 West Rocks Rd. – Special Permit Modification to allow event space be denied.

RESOLUTION 2

WHEREAS, the Commission has determined that the proposed activity is consistent with the definition of a Religious Facility;

WHEREAS, the Commission has determined that any music associated with the event space is consistent with a Religious Facility;

NOW, THEREFORE, BE IT RESOLVED, by the Norwalk Planning & Zoning Commission, that #2026-13 St. George Greek Orthodox Church – 238 West Rocks Rd. – Special Permit Modification to allow event space be approved, subject to the following conditions.

1. The Community Building may be used for events for religious and *youth celebrations* for members of the community.
2. The Community Building may not be marketed as an event venue.
3. At no time can the capacity of the Community Building exceed what is permissible by either the Health Department or Fire Marshall's office.
4. If applicable, the Applicant will obtain all necessary City permits prior to hosting events at the Community Building, and satisfy the requirements of all City agencies, including but not limited to:
 - a. All requirements of the Fire Marshal.
 - b. All requirements of the Health Department.
 - c. ADA compliance with the Regulations and Building Code.
 - d. All requirements of the Transportation, Mobility & Parking Department.
5. The applicant shall have private security present for evening events involving one hundred (100) or more people to ensure compliance with the noise ordinance.
6. All events within the Community Center will end no later than 10:30 p.m. Sunday through Thursday or by 12:00 a.m. Friday & Saturday.
7. Events hosted at the Community Building shall comply with Table 2 of the Norwalk Noise Ordinance.
8. To the extent practicable, the doors and windows to the Community Building will remain closed during any event.
9. Any sound system existing or installed within the Community Building shall include a compressor installed to ensure compliance with the Norwalk Noise Ordinance.

10. Rental contracts shall include a condition that compliance with the City of Norwalk Noise Ordinance is strictly enforced.
11. Excluding lighting permissible in § 4.3.17, Private Lighting Standards, event lighting associated with the Community shall not be located outside of the Community Building.
12. All parking for guests, employees of the Applicant, valet parked vehicles, or vendors shall remain on the Property. Unless otherwise approved by the appropriate City department, no such parking is permissible along the public roads for any event held at the Community Building.
13. Passenger vans, buses or Ubers shall not park, idle or queue along West Rocks Road or Bayne Street.
14. Adequate staff shall be employed to ensure that cars are parked safely and that the adjacent road network operates safely.
15. Any verified and documented violation of these conditions shall be reported to the Commission, who shall determine the appropriate action, as outlined in Article 8.5 of the Zoning Regulations.
16. Cap on the number of events per year?
17. Upon request, St. George's shall provide Planning & Zoning staff with a listing of all concluded and scheduled events in the calendar year.

18.

BE IT FURTHER RESOLVED that the effective date of this action shall be May 1, 2026.

END

For use for mail purposes only
Classified Mail
Priority Mail
Certified Mail
Registered Mail
Special Mail
Express Mail
Priority Mail
Certified Mail
Registered Mail
Special Mail
Express Mail



ZONING COMMISSION

February 23, 2006

Tierney, Zullo, Flaherty and Murphy, P.C.
Attorneys At Law
Attorney Elizabeth A. B. Suchy
134 East Avenue
Post Office Box 2028
Norwalk, CT 06852-2028

RE: # 19-05SP – St. George Greek Orthodox Church – 238 West Rocks Road –
Construction of 21,000 SF community center and associated parking

Dear Attorney Suchy:

At its meeting of February 15, 2006, the Norwalk Zoning Commission adopted the following resolution in regards to the above referenced application:

RESOLUTION

RESOLVED that Application #19-05SP, submitted by St. George Greek Orthodox Church, at 238 West Rocks Road, to construct a 21,000 SF church community center, as shown on site plan entitled, "St. George Greek Orthodox Church, 238 West Rocks Road", Scale 1"=30', Sheets 1 through 4, dated 4-28-05, revised to 1-10-06, by Grumman Engineering LLC, Norwalk, CT; and architectural drawings entitled, "Saint George Greek Orthodox Church Community Center" 238 West Rocks Road, Scale 1/8"=1', Sheets A1 through SPEC; by Economou Partners be approved subject to the following conditions:

1. That all required soil and sedimentation controls be in place prior to the start of any work on site; and
2. That any additional soil and sedimentation controls deemed necessary by staff be installed at the direction of staff; and
3. That a surety in an amount to be determined by staff, be submitted prior to any work on site; and
4. That the lighting be installed as shown on the revised site plan, with 4' bollard lights on the perimeter and 12'tall lights on the interior of the lot; all with shielding; and
5. That all additional building lighting be properly shielded so as not to allow light to spill off the property; and

19-05SP – St. George Greek Orthodox Church – 238 West Rocks Road – Construction of
21,000 SF community center and associated parking

6. That a CT licensed engineer certify that all work has been installed according to approved plans prior to issuance of Certificate of Zoning Compliance; and
7. That no change to the plans are allowed, unless prior approval is obtained from the Zoning Commission as appropriate; and
8. That the landscaping as proposed be permanent and properly maintained; and
9. That 225 linear feet of a 6' stockade fence (or equal) be installed at the SE corner of the new parking lot to provide screening and security to the adjacent residential property; and
10. That the hall be used for church members only and not be rented out for any events; and
11. That the 26 proposed parking spaces on the western edge of the new parking field on West Rocks Road be eliminated and replaced with lawn, bringing the total number parking spaces on the site down to 159; and
12. That any trailers (construction or temporary office) be properly screened;

BE IT FURTHER RESOLVED that a Special Permit Certificate and map be filed in the Norwalk Land Records prior to any Zoning Compliance being issued; and

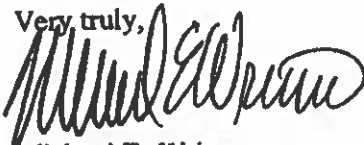
BE IT FURTHER RESOLVED that the effective date of this approval shall be February 24, 2006.

This Special Permit will become effective when the certificate and mylar site plan map is filed on the Norwalk Land Records in the Town Clerks Office. A Zoning Approval will not be issued until such a recording takes place. As you are aware, a building permit must be obtained within one (1) year from the effective date or the approval automatically becomes null and void.

Enclosed please find a copy of the "Policy on Construction Inspection in the City of Norwalk." You are responsible for obtaining permits from the Department of Public Works prior to any work in a street right-of-way. All work must comply with the standards for the City of Norwalk, whether or not those standards were specifically discussed in the process of reviewing the application.

If you have any questions regarding this matter, please contact this office.

Very truly,



Michael E. Wrinn,
Assistant Director



CITY OF NORWALK
 Planning and Zoning Department
 Enforcement
 www.norwalkct.org
 P: 203-854-7960
 Norwalk City Hall
 Room 129
 125 East Avenue, PO Box 5125
 Norwalk, CT 06856-5125

11/12/2025

Via Certified & Regular US Mail
9589 0710 5270 1452 3062 11

St George Greek Orthodox Church
 238 W Rocks Road
 Norwalk, CT 06851

Re: NOTICE OF ZONING VIOLATION: 238 WEST ROCKS RD (5-23-10-0)

Dear Owner:

Pursuant to Norwalk Municipal Code § 117-4, you are hereby notified that your property has zoning violations. You are hereby ordered to correct the following zoning violation(s) within fifteen (15) days of the date of this notice:

Norwalk Building Zone Regs – Section - 4.3.9.A (CD-1L Principal Uses - Pages 250-259)
 Event Space not a permitted use in CD-1L

To Wit: Community Center being used for unpermitted Event Space

To bring property into compliance with the City of Norwalk Zoning Regulations, the following actions are required:

- 1. Immediately cease unpermitted event hosting use at community center. Property is not permitted to rent out community center for events.**

If you do not correct these zoning violation(s) within fifteen (15) days of the date of this notice, then you may be subject to a citation of up to \$150.00 for each day that the violations remain. You may also be subject to subsequent enforcement procedures by the Deputy Zoning Inspector (DZI) and/or an injunctive or civil action in the Connecticut Superior Court.

If hardship or good cause is proven, in a written request to the DZI, by delivering to the below address, or via e-mail to the address below, on or before fifteen (15) days of the date of this notice, he may grant an extension of fifteen (15) days to remedy the above-referenced violation.

If you have any questions or concerns about this notice, please do not hesitate to contact me. Thank you for your anticipated time and cooperation.

Sincerely,
 Ian Hall
 Deputy Zoning Inspector
 203.854.7954
ihall@norwalkct.gov *preferred*

cc:
 Peter Lathouris (agent)
 1100 Summer St
 Stamford, CT 06905



**CITY OF NORWALK
Planning & Zoning**

Norwalk City Hall, Room 223
125 East Avenue, PO BOX 5125
Norwalk, CT 06856-5125

Staff Memo to Hearing Officer

April 1, 2026

TO: Zoning Citation Hearing Officer – Attorney Bob Maslan

FROM: Ian Hall – Deputy Zoning Inspector

SUBJECT: 238 West Rocks– St George Greek Orthodox Church

CITATION DATE: January 6, 2026

SECTIONS – 4.3.9.A (CD-1L Principal Uses - Pages 250-259)

DESCRIPTION OF VIOLATION ON PROPERTY *Community Center being used for unpermitted Event Space*

HISTORY–

- 11/12/25 NOV sent after Zoning received a complaint regarding unpermitted event space use at the community center at the Greek Church
- Research from DZI showed that the community center was being used as “Stone Hill By Nikki Glekas Collective” for events, weddings, galas, etc. and was being advertised as such
- Staff informed representatives for the church that a modification of their existing Special Permit will need to be taken out
- Representative for the Church has been prepping their application and anticipates to be submitting within the next few weeks
- 2/25/26 Matter was continued by Hearing Officer
- 2/28/26 Special Permit application was submitted and placed on the 4/22/26 PZ Commission Agenda
- Staff heard unconfirmed reports of events continuing to take place

RECOMMENDATIONS of STAFF –

Staff recommends, the violation be upheld and the matter continued to May Hearing agenda



CITY OF NORWALK
Planning and Zoning Department
Enforcement
www.norwalkct.org
P: 203-854-7960
Norwalk City Hall
Room 129
125 East Avenue, PO Box 5125
Norwalk, CT 06856-5125

01/06/2026

Via Certified & Regular US Mail & Constable Service
9589 0710 5270 1452 3068 77

St George Greek Orthodox Church
238 W Rocks Road
Norwalk, CT 06851

Re: CITATION FOR ZONING VIOLATION: 238 WEST ROCKS RD (5-23-10-0)

Dear Owner:

As Deputy Zoning Inspector for the City of Norwalk, I hereby issue this citation because your property contains zoning violations in contravention of Norwalk Municipal Code § 117-1, *et. seq.* **to wit (Event Space) Event Space use not permitted in CD-1L Zone.** You are hereby being cited for the following zoning code violation(s):

Norwalk Building Zone Regs - 4.3.9.A (CD-1L Principal Uses - Pages 250-259) - Event Space not a permitted use in CD-1L

To Wit: Community Center being used for unpermitted Event Space

To bring property into compliance with the City of Norwalk Zoning Regulations, the following actions are required:

- 1. Immediately cease unpermitted event hosting use at community center. Property is not permitted to rent out community center for events.**

As a result of this citation, **you are ordered to pay a \$150.00 fine**, pursuant to Section 117-4B(2)and(3). Furthermore, you shall be liable for a \$150.00 per day fine, **commencing on the fifth day after the date of this citation** and continuing until the day that you provide me with proof that you have corrected the aforementioned zoning violation(s).

You have the right to **request a hearing before a citation hearing officer** pursuant to Norwalk Municipal Code §117-8. In order to request a hearing before a citation hearing officer, **you must deliver written notice**, to me at the *above* address, or e-mail to the address *below*. Please be advised that the citation hearing officer will consider and decide liability on this alleged violation at a hearing on **01/28/2026** at **2:00pm** in the **Planning and Zoning Conference Room Norwalk City Hall (Room 125)**.

****PLEASE SEE ATTACHED HEARING PROCEDURES****

If you have any questions or concerns about this citation, please do not hesitate to contact me. Thank you for your anticipated time and cooperation.

Sincerely,

Ian Hall
Deputy Zoning Inspector
125 East Avenue Room 129
Norwalk, CT 06851
203.854.7954
Email – ihall@norwalkct.gov *preferred*

cc via email:
Eric Bernheim (agent) bernheim@flb.law

Kleppin, Steven

From: Laurajean <ljconk@aol.com>
Sent: Monday, March 16, 2026 10:48 AM
To: Baker, Bryan; Kleppin, Steven
Cc: Laurajean
Subject: ST. GEORGE GREEK CHURCH SPECIAL PERMIT APPLICATION

You don't often get email from ljconk@aol.com. [Learn why this is important](#)

CAUTION: EXTERNAL Email: Don't open links or attachments from untrusted senders

To the City of Norwalk Planning and Zoning Commission,

We were recently notified by FLB Law on behalf of St. George Greek Orthodox Church via certified mail that the church has applied to modify a Special Permit that was originally approved by the City of Norwalk Planning and Zoning Commission on February 16th, 2006 and revised and approved again on April 17th, 2013. We are writing as concerned neighbors and ask that this communication serve as our **written objection** to the Church's request to remove a condition limiting the use of the St. George Community to Church congregation members and thus allowing for commercial use by outside groups.

We moved here in 1990, fully aware of the church but not aware of the festival until it happened. As long-time neighbors of the church, we have supported the church's four-day, annual fundraising festival with rides, traffic and loud music, as well as all church-related events, including setting off fireworks at midnight yearly to celebrate Easter.

We accepted these events because they were once a year. But along with these events we have tolerated trash on our lawns, people on our lawn, vomit on the sidewalk, cars parked right up to my driveway, making it very dangerous for us to back out, and music well beyond sound ordinances and curfews. The thought now of having a permanent public event space puts it well outside of us supporting or tolerating it. The festival and Easter celebration are once a year, an event space would be year round!!

Creating an event space to be rented beyond the church community will most certainly have a negative impact on the quality of life of the neighborhood and go well beyond the limitations of the existing zoning law CD1L which prohibits use of the space outside of the church community.

The request to have music until 10:30 PM on weekdays and until midnight on the weekend is absolutely unacceptable in a residential neighborhood where people work and have children. Nightly congregations of people continuing the party in the parking lot as they leave these events will cause serious disruption, additional traffic and noise on our residential roads.

This open venue would also adversely affect our home values. We pay taxes to this town and expect that the City will respect and support our rights in this situation.

We strongly oppose any changes to the Special Permit and **DO NOT** support the proposed application by St. George Orthodox Church on this matter.

Thank you for your consideration in this matter.

Sincerely,

Laurajean & Richard Conklin
235 West Rocks Road
Norwalk, CT.
203-858-4226

Kleppin, Steven

From: Stephanie Mancini Stevenson <stephmancinistevenson@gmail.com>
Sent: Thursday, March 19, 2026 12:35 AM
To: Kleppin, Steven
Subject: Fwd: Special Permit application: 238 West Rocks Rd.

You don't often get email from stephmancinistevenson@gmail.com. [Learn why this is important](#)

CAUTION: EXTERNAL Email: Don't open links or attachments from untrusted senders

March 18th, 2026

To the City of Norwalk Planning and Zoning Commission,

We were recently notified by FLB Law on behalf of St. George Greek Orthodox Church via certified mail that the church has applied to modify a Special Permit that was originally approved by the City of Norwalk Planning and Zoning Commission on February 16th, 2006 and revised and approved again on April 17th, 2013. We are writing as concerned neighbors and ask that this communication serve as our written **objection** to the Church's request to remove a condition limiting the use of the St. George Community to church congregation members and thus allowing for commercial use by outside groups.

As long-time neighbors of the church, we have always supported the church's four-day, annual fundraising festival with rides, traffic and loud music, as well as all church-related events, including setting off fireworks at midnight yearly to celebrate Easter. Creating an event space to be rented beyond the church community will most certainly have a negative impact on the quality of life of the neighborhood and go well beyond the limitations of the existing zoning law CD1L which prohibits use of the space outside of the church community. The request to have music until 10:30 pm on weekdays and until midnight on the weekend is absolutely unacceptable in a residential neighborhood where people work and have children. Nightly congregations of partiers in the parking lot as they leave said events will cause serious disruption and additional traffic on our residential roads. We strongly oppose any changes to the Special Permit and **DO NOT** support the proposed application by St. George Orthodox Church on this matter.

Thank you for your careful consideration of this matter.

Sincerely,
Stephanie and Robert Stevenson
233 West Rocks Road
Norwalk, CT 06851

Kleppin, Steven

From: Ellen Passero <Ellen_Passero@campbells.com>
Sent: Friday, March 13, 2026 5:17 PM
To: bbakery@norwalkct.gov; Kleppin, Steven
Subject: Concerned neighbors of St. Geroge Church
Attachments: Zoning e-mail Mar_13_2026.docx

You don't often get email from ellen_passero@campbells.com. [Learn why this is important](#)

CAUTION: EXTERNAL Email: Don't open links or attachments from untrusted senders

Mr. Bakery / Kleppin – please see my attached letter and photo documentation voicing my concerns with the proposed change for the St. Geroge Church.

I understand a hearing will be scheduled and I would like the opportunity to speak to these concerns – I will make my concerns more concise but felt these details were important to give to you each.

There are other neighbors who are expressing concerns and have been communicating with me. Please let me know at your earliest convenience when the hearing date has been set.

Thank you,

Ellen Passero
Senior Director, Consumer Care and Quality Management Systems
Cell: 203-803-7335
One Campbell Place, Camden, NJ 08103

Campbell's | **Food Safety & Quality**



This e-mail and any files transmitted with it may contain confidential information and is intended solely for use by the individual to whom it is addressed. If you received this e-mail in error, please notify the sender, do not disclose its contents to others and delete it from your system.

I am writing to express my strong opposition to the proposed Greek Church amendment to expand use of the community center for outside events. Over the years, our relationship with the Church has been difficult and has resulted in significant out-of-pocket expense for our family. Additionally, because our bedroom and family rooms face the Church side of our home, we routinely experience event noise inside our house—including amplified music and DJ announcements—most recently during the event held this past Saturday.

As outlined below, the Church has not consistently responded to or addressed our concerns. Based on more than 20 years of living next to the property, we have experienced repeated instances in which agreements or understandings were not maintained. For these reasons, I do not have confidence that expanded outside-event use would be conducted in a manner that adequately protects neighboring residents.

I was a member of the neighborhood when permission was granted for the Church community center to be built, and more than 60% of the neighbors from that time remain in place. At the time, the request to the neighborhood was clear: the building was to serve the Church community, including the daycare space. That space is now being operated as a for-profit facility and rented for outside use, which appears inconsistent with the original understanding.

The Church has referenced other facilities (including St. Matthew and Temple Shalom) as comparators. I have contacted both those venues, neither of which generate disruption at a similar level. For example, St. Matthew enforces strict requirements regarding event timing and noise, including ensuring all attendees are off the property by 10:00 p.m. Temple Shalom indicated that the “vast majority” of events were for Temple members, and said non-Temple events were rare.

Importantly, neighbors have not sought to prevent the Church from continuing its festival, which attracts thousands of attendees each year and generates significant income. However, the festival already creates substantial impacts on surrounding residents. Noise from set-up occurs days in advance, and following the festival, the operating company is permitted to pack up rides and equipment late into the night—often continuing until 1:00–2:00 a.m.—with loud banging, engines, and other disturbances. The festival also routinely runs beyond posted closing times; lights, music, and generators frequently continue 20–25 minutes after close each night of the festival.

Parking during the festival has also created safety concerns. Cars are allowed to park on W Rocks, creating a dangerous blind spot when exiting our driveway. When I have raised this issue with the on-site security officer, I have been told that security is “paid for by the Church and only to watch the Church entrance.” Additionally, each year we have returned home to find juveniles drinking on our back porch and have had to personally intervene and ask them to leave.

Our most significant dispute occurred during the parking lot development. When I observed that trees along the property line were being marked for removal, I asked the supervisor to have the property line

staked because it was unclear whether several mature trees were on our property, on the line, or on Church property. When I returned from a business trip, the trees had been removed. The supervisor stated that readings were taken from pins on the other side of the property. Because there is a limited timeframe to dispute boundary issues, and because the exact line had not been confirmed, we paid over \$2,000 for a professional survey. The Church subsequently obtained its own survey after we had already incurred the cost, indicating that they were not, in fact, certain of the property line.

In addition, the "screening trees" installed as mitigation have not provided an effective noise or light barrier comparable to the original mature trees. Within a year, most of those replacement trees died. Multiple attempts to address this with Peter L. were not responded to, and many of the dead trees remain today.

When we first moved here, a priest lived on the property full-time and provided consistent oversight. That level of oversight no longer appears present. If cameras are installed, they do not appear to be actively monitored, and I have had to contact police regarding juveniles congregating in the parking lot. More broadly, the Church has not maintained an effective relationship with neighbors. There have been abandoned vehicles and heavy equipment stored on the property for extended periods, and my attempts to work with Peter to resolve these issues have gone unanswered.

My concerns are legitimate and based on a long-standing pattern of noise issues, insufficient security and property oversight (during and beyond festival operations), and a lack of engagement with neighboring residents. Based on information posted on the Norwalk Zoning site, CD 1L is a residential protection zone and should be maintained. As stated there: "It is not intended for ongoing public or commercial event use. Any expansion beyond a residential or narrowly defined community serving function faces a high bar for approval."

For these reasons, I respectfully request that you uphold the residential protection intent of the zoning requirements and deny the proposed expansion for outside events. I am also legitimately concerned about the potential impact on property value if my \$1M+ home becomes adjacent to a full-time event venue. To be clear, I am not seeking to interfere with worship services, and I am not requesting additional limits on current income-generating activities already in place, including the festival and the for-profit daycare.

Ellen & Kenneth Passero

220 West Rocks Road

Original "screening" trees:



Screening Trees now: (arrows show dead or signs of dying now)





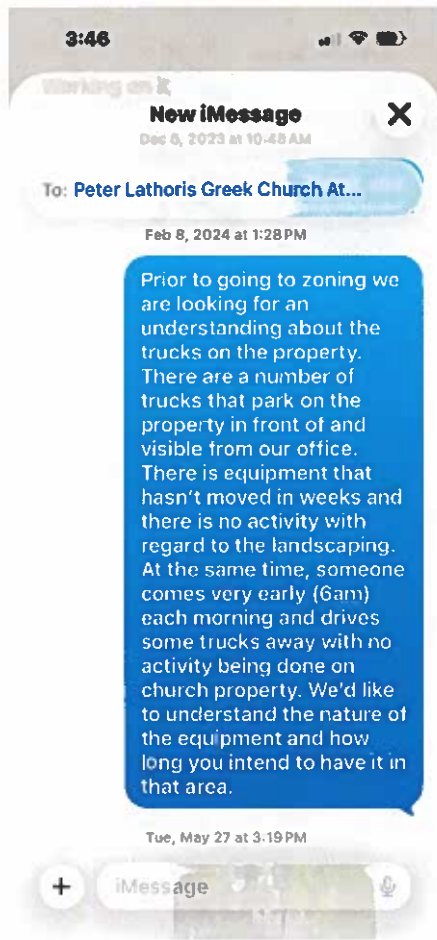
Absolute lack of screening to my husband's office:



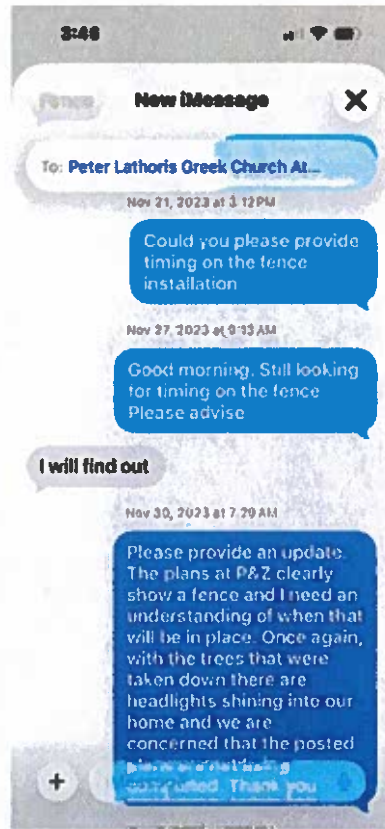
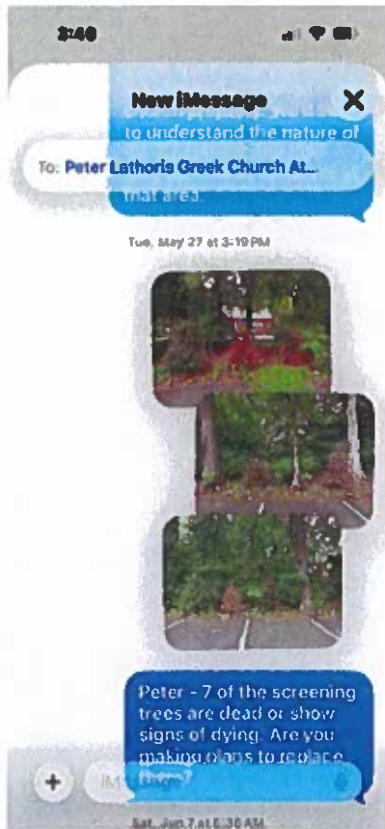
Abandoned trucks on property for 6+ months & garbage currently visible to my husband's office:



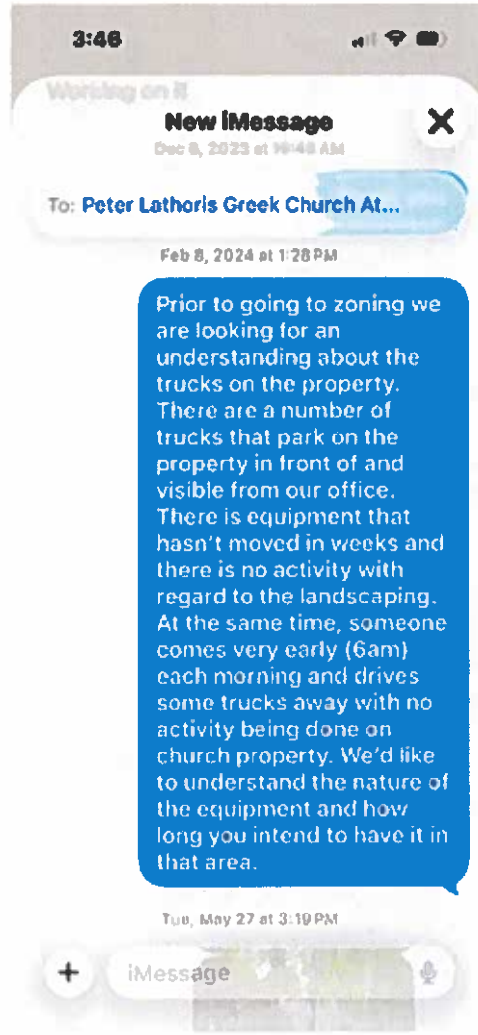
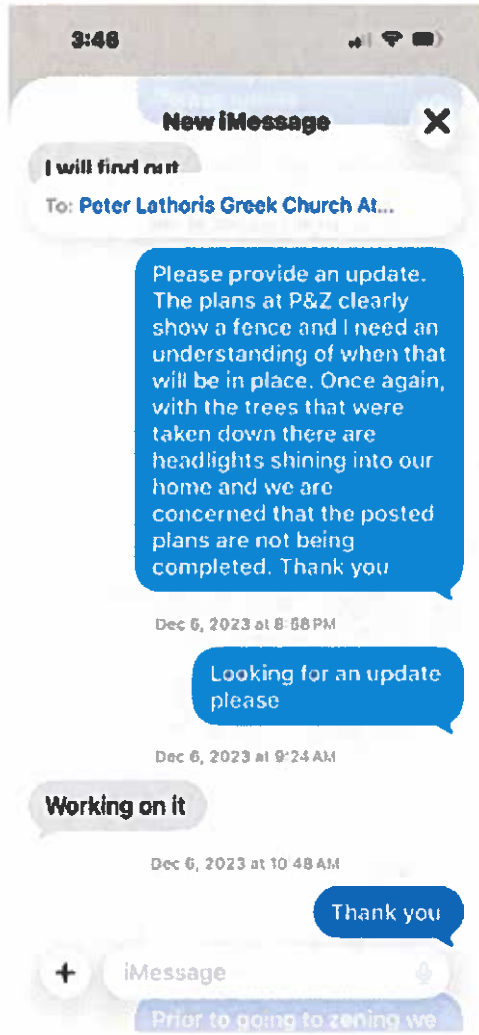
Message to Peter L – no response:



Multiple attempts to get screening trees replaced – May, Oct & Nov:



Further attempts – Dec & Feb:



Kleppin, Steven

From: Laurajean <ljconk@aol.com>
Sent: Tuesday, April 14, 2026 6:51 AM
To: Kleppin, Steven
Subject: Re: ST. GEORGE GREEK CHURCH SPECIAL PERMIT APPLICATION

CAUTION: EXTERNAL Email: Don't open links or attachments from untrusted senders

Good Morning Steve,

Our Cranbury neighborhood association met again last night about the upcoming meeting and we have a few questions prior to the 22nd.

1. Is this meeting strictly a Zoom meeting or a hybrid? And if hybrid, where will the in-person spot be?
2. Where, exactly, do we find the link for this meeting?
3. Is there an attendance sign-in so that we can all see who is there?
4. What exactly is the procedure/process for such a meeting?
(i.e. Who speaks first, is there a chance for a rebuttal... etc)
5. How long is everyone given to speak?
6. If there are hand outs from meeting, how would we get them if attending via Zoom?
7. When, and how, will we be informed of the outcome?

We are all anxious to make our feelings heard and just want this information prior to meeting.

Thank you for your time with this, we greatly appreciate it.
Laurajean

On Monday, March 16, 2026 at 01:59:02 PM EDT, Kleppin, Steven <skleppin@norwalkct.gov> wrote:

The hearing is scheduled for April 22nd. That could potentially change but that is the date we have agreed to. At the hearing you'll have the opportunity to address the Commission.

Steve

From: Laurajean <ljconk@aol.com>
Sent: Monday, March 16, 2026 1:55 PM
To: Kleppin, Steven <skleppin@norwalkct.gov>; Baker, Bryan <bbaker@norwalkct.gov>
Subject: Re: ST. GEORGE GREEK CHURCH SPECIAL PERMIT APPLICATION

You don't often get email from ljconk@aol.com. [Learn why this is important](#)

CAUTION: EXTERNAL Email: Don't open links or attachments from untrusted senders

Thank you, Steve.

Is there anything else I should be doing?

SCHEDULE OF FEES PLANNING & ZONING & ZBA

Effective May 22, 2026

PLANNING & ZONING COMMISSION & ZONING BOARD OF APPEALS APPLICATIONS¹

	APPLICATION FEE ²
UNAUTHORIZED MODIFICATIONS TO PLAN WITHOUT PRIOR COMMISSION APPROVAL	\$1,000
AMENDMENT TO THE POCD	\$1,060
ZONE CHANGE/ZONING AMENDMENT APPLICATION	\$1,560
SUBDIVISION APPLICATION: TWO-LOT	\$810
PER ADDITIONAL LOT	\$200
SPECIAL PERMIT APPLICATION: RESIDENTIAL GRADING & FILLING	\$560
ALL OTHERS	\$1,310
SITE PLAN or CSPR APPLICATION: 1 OR 2 FAMILY or NON-RES. < 5,000 SF	\$560
3 UNITS TO 14 UNITS OR NON-RES. 5,000 SF - 25,000 SF	\$810
ALL OTHERS	\$1,060
MOTOR VEHICLE LICENSE	\$510
SCENIC ROAD APPLICATION	\$200
VARIANCES/APPEALS RESIDENTIAL ONE & TWO FAMILY	\$560
ALL OTHERS	\$810
SPECIAL EXCEPTION	\$560
EXTENSION OF TIME	\$560

¹ ZBA and P&Z applications must pay the cost of the legal notice(s) directly to the Norwalk Hour

² Where applicable, fee includes a \$60 fee per CGS 22a-27j (PA 09-03)

ZONING PERMITS

AFTER THE FACT PERMIT – DOUBLE THE FEE LISTED BELOW!

ZONING PERMIT APPLICATIONS WITHIN A FLOOD ZONE ARE SUBJECT TO ADDITIONAL \$250 FEE

	APPLICATION FEE	ZONING FEE ²
PROPANE TANK, ELEC. METER , AC UNITS & ACCESSORY STRUCTURES ≤ 200 SF	\$0.00	\$110
ACCESSORY STRUCTURES & SPORTS COURTS > 200 SF	\$150	\$310
RESIDENTIAL CHANGE IN USE/HOME OCCUPATION/INTERIOR ALTERATION	\$0.00	\$160
NEW SINGLE-FAMILY DWELLING (including detached ADU's)	\$250	\$310
NEW TWO-FAMILY DWELLING	\$250	\$410
ONE- & TWO-FAMILY ADDITION (≤ 1,000 SF)	\$0.00	\$210
ONE- & TWO-FAMILY ADDITION (> 1,000 SF)	\$200	\$410
NEW MULTI FAMILY CONSTRUCTION (FIRST 3 UNITS)	\$250	\$560
<i>PER ADDITIONAL UNIT</i>	\$0.00	\$125
MULTI FAMILY ADDITION	\$250	\$560
NON-RESIDENTIAL NEW CONSTRUCTION (< 5,000 SF)	\$250	\$560
NON-RESIDENTIAL NEW CONSTRUCTION (5,000 SF – 24,999 SF)	\$250	\$810
NON-RESIDENTIAL NEW CONSTRUCTION (> 25,000 SF)	\$250	\$1,060
PER ADDITIONAL 10,000 SF > 35,000 sf	\$0.00	\$250
NON-RESIDENTIAL INTERIOR ALTERATION/TENANT FIT-UP (< 1,500 SF)	\$0.00	\$310
NON-RESIDENTIAL INTERIOR ALTERATION/TENANT FIT-UP (1,500 – 2,999 SF)	\$0.00	\$385
<i>PER ADDITIONAL 1,000 SF OVER 2,999 SF</i>	\$0.00	\$75
SIGNS (ADDRESS, DIRECTORY, OUTDOOR DISPLAY & PLAQUE)	\$0.00	\$60
SIGNS (AWNING, BAND, BLADE, POST, WALL & WINDOW)	\$150	\$160
SIGNS (CORNICE, LARGE PROJECTING, MARQUEE & MONUMENT)	\$300	\$310
EXCAVATION, FILLING AND GRADING (STAND-ALONE PERMITS)	\$150	\$160

MISCELLANEOUS

ZONING VERIFICATION LETTERS (ONE & TWO FAMILY)	\$200
ALL OTHERS	\$500
LOT LINE REVISIONS	\$200
FIRST CUT/DETERMINATION OF LOT	\$500
ZONING MAP 24"x36"	\$10
COPIES (PER PAGE)	\$0.50

Memorandum

April 10, 2026

To: Joshua Goldstein, City Council President
Chapin Bryce, Planning & Zoning Commission Chairman
Danielle Sanchick, Zoning Board of Appeals Chairman

From: Steve Kleppin, Planning & Zoning Director

Re: Proposed Fee Schedule

Attached is a revised fee schedule for your consideration. The last fee time the fee schedule was updated was in January, 2022.

Also attached (2026 Fee Schedule v. 2022 Fee Schedule) is the current fee schedule with the proposed fees indicated in a separate column, to make it clear what the increase is per category.

Some items of note regarding the proposed fee schedule:

- General increase in both application fees to the Zoning Board of Appeals and Planning & Zoning Commission, as well as increases to zoning permit fees.
- Increases in fees are based on several factors:
 - With adoption of the new zoning regulations in 2024 there are several new development facets that get reviewed as part of many of the applications such as grading, retaining walls, façade materials, massing, etc.
 - In comparison to other communities' applicable and comparable fees, our draft fees will tend to be on the higher side of other communities, but not the highest. It's likely that as these communities eventually increase their fees, they will likely exceed or equal our proposed fees.
 - Considering it has been 4 years since the fee schedule was last updated now is an appropriate time to evaluate and update fees.
- Inclusion of an application fee and a zoning fee for zoning permits. Staff often receives zoning permit applications, corresponds with the applicant and perhaps conducts a secondary or tertiary review and ultimately the applicant may decide to not move forward with the application. In response to that, we are proposing a separate application fee that will be collected upon submittal and the balance (zoning fee) collected upon issuance of the permit. For example:
Proposed new house (single-family dwelling). \$250 due at application and an additional \$310 due upon approval.

The total fee under this example is \$560, which is an increase of \$100 from the current fee. For an application like this our fee is determined based off the staff time needed to review a standard set of items, which includes but is not limited to:

- Site survey:
 - building and structure location with respect to property lines (setbacks)
 - verify the permitted amount of building coverage and impervious surface does not exceed permitted values (prevent over-development of a property and increase stormwater absorption)
 - verification of the location of and dimensions of required parking and associated drive aisles
 - wetlands and flood zones
- Site plan:
 - proposed grading, vegetation removal, retaining walls and slopes, which are newer standards to protect neighboring properties and prevent erosion and runoff issues
 - verification of required landscaping (type, location and number of plantings)
 - coastal considerations
- Architectural plans:
 - review of plans to verify that the proposed building size(s) do not exceed permissible limits to prevent over-development of a property
 - ensure that the general layout and use of the structure is consistent with the regulations and proposed use
 - analyze building elevations and cross sections to ensure that the proposed heights are compliant

This partial list does not include the staff time involved with applications that are incomplete or inadequate, nor does it include all the other permit types we review such as signage, coastal applications or flood zone applications which require significant staff time and are much more technical in nature.

Alternatively, the Building Department and many of our surrounding municipalities base their fee off the cost of construction as opposed to project size. We base our fees on project size, since size of the structure(s) and extent of the developed areas are larger drivers of P&Z staff time than project cost. In addition, determining and verifying construction costs would take more staff time.

Lastly, it is important to note that the intent of the fee schedule is not to cover all the costs incurred by the department, but meant to be a reasonable offset for some of the City resources that get devoted to the review of applications and permits. It is also important to note that these fees, in combination with the fees collected by the Building Department, have historically covered the costs of both departments, being the two departments most directly involved in the development process.

Feel free to reach out to me with any questions.

END

REVISED Schedule of Fees
FEES FOR MAPS & APPLICATIONS PLANNING, ZONING & ZBA
 Effective January 27, 2022

REGULATIONS & MAPS*

	<u>2022</u>	<u>2026</u>
PLAN OF CONSERVATION & DEVELOPMENT	\$25	
ZONING REGULATIONS	\$25	
ZONING MAP	\$10	
SUBDIVISION REGULATIONS	\$5	
HARBOR MANAGEMENT PLAN & ADDENDUM	\$10	
COPIES (PER PAGE)	\$0.50	

*All documents available for download online!

APPLICATION AND PERMIT FEE

AMENDMENT TO THE POCD	\$1,060	
ZONE CHANGE/ZONING AMENDMENT APPLICATION	\$1,060	\$1,560
SUBDIVISION APPLICATION: TWO-LOT	\$810	
PER ADDITIONAL LOT	\$200	
SPECIAL PERMIT APPLICATION	\$810	\$1,310
SITE PLAN APPLICATION	\$710	\$810
CAM APPLICATION: 1 OR 2 FAMILY	\$310	\$560
ALL OTHERS	\$810	\$1,060
MOTOR VEHICLE LICENSE	\$510	
SCENIC ROAD APPLICATION	\$200	
UNAUTHORIZED MODIFICATIONS TO PLAN WITHOUT PRIOR COMMISSION APPROVAL	\$1,000	
All Special Permit & site plan applications; CAM over 6 units, commercial & industrial		
VILLAGE DISTRICT APPLICATION (where peer review not otherwise authorized)	\$1,500	
EXTENSION OF TIME: SITE PLAN/CAM SITE PLAN & SPECIAL PERMIT (Must provide written confirmation from Tax Collector of property tax status)	\$500	

ZONING PERMIT:

PROPANE TANKS, AC UNITS & ACCESSORY STRUCTURES < 100 SF	\$110	
ALL OTHER ACCESSORY STRUCTURES	\$260	\$460
RESIDENTIAL CHANGE IN USE/HOME OCCUPATION/INTERIOR ALTERATION	\$160	
NEW SINGLE-FAMILY DWELLING	\$460	\$560
NEW TWO-FAMILY DWELLING	\$560	\$660
1 & 2 FAMILY ADDITION (< 1,000 SF)	\$210	
1 & 2 FAMILY ADDITION (> 1,000 SF)	\$310	\$610
MULTI FAMILY (MINIMUM)	\$660	\$810
PER ADDITIONAL UNIT	\$100	\$125
NON-RESIDENTIAL NEW CONSTRUCTION (< 5,000 SF)	\$560	\$810
NON-RESIDENTIAL NEW CONSTRUCTION (5,000 SF – 24,999 SF)	\$810	\$1,060
NON-RESIDENTIAL NEW CONSTRUCTION (> 25,000 SF)	\$1,060	\$1,310
NON-RESIDENTIAL INTERIOR ALTERATION/TENANT FIT-UP (< 1,500 SF)	\$310	
NON-RESIDENTIAL INTERIOR ALTERATION/TENANT FIT-UP (1,500 – 2,999 SF)	\$385	
PER ADDITIONAL 1,000 SF OVER 2,999 SF	\$75	
GROUND/BILLBOARD SIGN	\$460	\$610
ALL OTHER SIGNS (PER SIGN)	\$210	\$310
EXCAVATION, FILLING AND GRADING:	\$260	\$310

APPEALS AND VARIANCE APPLICATIONS

RESIDENTIAL ONE & TWO FAMILY	\$260	\$560
RESIDENTIAL MULTIFAMILY	\$560	\$810
COMMERCIAL/INDUSTRIAL	\$560	\$810
SPECIAL EXCEPTION	\$560	
APPEALS	\$260	\$560/\$810
EXTENSION OF TIME	\$510	\$560

ZONING VERIFICATION LETTERS

ONE & TWO FAMILY	\$200
ALL OTHERS	\$500

** Where applicable, fee includes a \$60 fee per CGS 22a-27j (PA 09-03)

*** Applicants for subdivisions, special permits, site plans, CAM or any amendments must pay the cost of the legal notice(s) directly to the Norwalk Hour.

CITY OF NORWALK
PLANNING & ZONING COMMISSION MINUTES
April 8, 2026

PRESENT: Chapin Bryce, Chair; Diana Lenkowsky; Tammy Langalis; John Hubers; Harvey Jones; Galen Wells; Jacquen Jordan-Byron (left the meeting at 8:20 pm)

STAFF: Steve Kleppin; Bryan Baker; Amelia Williams

OTHERS: Tom Ellis; Ben Yeung; Tom Ryder; Bob Vance; John Mallozzi; Kurt and Patty Schlegel; Kayla Hanocka; Jacob Hanocka; Richard Cohen; Diane Cece; Kathleen Lesko; Christopher Kaolian; Karen Murray; Atty Emma Dignati; Doug Adams; Andy Soumelidis; Colin Grotheer; Elan McDowell; Diane Lauricella; Deborah Corby; Cheryl Coppola; Richard Bonenfant; Adam Blank; Todd Ackert

I. CALL TO ORDER

Mr. Bryce called the meeting to order at 6 p.m. It should be noted that this meeting was held at 125 East Avenue, Council Chambers as well as on Zoom.com with participants calling in, separately.

II. ROLL CALL & SEATING OF ALTERNATES

Mr. Kleppin called the roll. Mr. Bryce said that Ms. Lenkowsky would be seated for the entire meeting.

III. REVIEW AND ACTION ON APPLICATIONS

A. #2026-26 SA - City of Norwalk - Special appropriation request to authorize Mayor Barbara Smyth to execute a sole source purchase order on behalf of the Norwalk Police Department for the purchase of one (1) armored rescue vehicle for a total amount not to exceed \$361,000 Account #(092-63010-5777-C0858) - Report & recommended action and B. #2026-28 SA - City of Norwalk - Authorize a special capital appropriation in the amount of \$361,000 to be transferred from the Communications Upgrade Project (account # 092-13610-5777-C0638) to the City's Police Department for the purchase of a new Police Rescue Vehicle (account # 092-63010-5777-C0858) - Report & recommended action

Tom Ellis, from the City's Finance Department, explained that he was addressing a technical correction. For this project, there was a new account number for which had the funding in it. He also addressed the next item on the agenda. He said that was not an additional request for funding. There had been a previous project, the 911 Communications upgrade, that was under budget. These funds were being used for this project with the new account number. Mr. Ellis then explained how they had been to other boards before this one and that this was step two of a four step process.

**** MR. JONES MOVED to APPROVE to correct the account number for Special appropriation request to authorize Mayor Barbara Smyth to execute a sole source purchase order on behalf of the Norwalk Police Department for the purchase of one (1) armored rescue vehicle for a total amount not to exceed \$361,000 Account #(092-63010-5777-C0858)**

Ms. Langalis seconded.

Chapin Bryce; Diana Lenkowsky; Tammy Langalis; John Hubers; Harvey Jones; Galen Wells; Jacquen Jordan-Byron approved.

No one opposed.

No one abstained.

**** MR. JONES MOVED to APPROVE to authorize a special capital appropriation in the amount of \$361,000 to be transferred from the Communications Upgrade Project (account # 092-13610-5777-C0638) to the City's Police Department for the purchase of a new Police Rescue Vehicle (account # 092-63010-5777-C0858) - Report & recommended action**

Ms. Langalis seconded.

Chapin Bryce; Diana Lenkowsky; Tammy Langalis; John Hubers; Harvey Jones; Galen Wells; Jacquen Jordan-Byron approved.

No one opposed.

No one abstained.

C. #2026-27 R - City of Norwalk - Zoning regulation text amendment to Article 4 and the EVTZ Village District Design Guidelines to modify the crosswalk standards as recommended by the Transportation, Mobility & Parking Department - Preliminary review

Ben Yeung, Sr. Traffic Engineer, Transportation, Mobility and Parking (TMP) began the presentation by explaining the minor design revision to the East Norwalk Transit Oriented Development (TOD) design guidelines. He asked them to review the existing and proposed guidelines for crosswalks which were in their packets. He said the

proposed crosswalk would be legally compliant and safer. He then showed the commissioners the crosswalk that had been accepted into the guidelines and what was being proposed. He explained what was necessary for them to be in legal compliance, as well. He also discussed the color of the bricks which would make things safer. He said that the asphalt would lighten over time. He said they would like two different colors to create a contrast to distinguish where the crosswalk is. He also discussed the materials for the crosswalk. The crosswalk pattern would be directly imprinted onto the pavement. It would be easy to maintain and cost effective.

The commission would vote on this application at their next meeting.

D. #2026-18 CSPR – LandTech – 20 Old Wharf Road – Expand an existing Shoreline Flood and Erosion Control Structure (SFECS) - Report & recommended action

Tom Ryder, senior ecologist, began the presentation by orienting the commissioners as to the location of the property on an aerial map. The owners of the property would like to extend their riprap. They have received permits from the Department of Energy and Environmental Protection (DEEP) as well as the Army Corp of Engineers. He explained that the riprap would be the same width and extended out to the same height that is currently there.

There was a discussion about the intent of the project. Mr. Ryder said it was to protect the wall which was not currently protected. There was also a discussion about whether the neighbors were notified. Mr. Ryder said that they had been notified during the DEEP process. The beach where the riprap would be going was the applicant's own beach.

**** MR. HUBERS MOVED: THEREFORE, BE IT RESOLVED** that application #2026-18 CSPR – LandTech – 20 Old Wharf Road – Expand an existing Shoreline Flood and Erosion Control Structure (SFECS) be **APPROVED** subject to the following conditions:

1. That the building and site will be occupied in accordance with the following plans:
 1. Per plan set dated 9/22/2025 and revised 1/5/2026 prepared by LandTech, Westport, CT; and
2. That any modifications to the approved plan be reviewed and approved by City Staff prior to implementing; and
3. That all required soil sedimentation and erosion controls (such as turbidity curtains) are in place prior to the start of any construction; and

4. That any additional needed soil sedimentation and erosion controls be installed at the direction of the Staff; and
5. Nothing in this permit shall obviate the requirements for the applicant to obtain any other assents, permits or licenses required by law or regulation by the City of Norwalk, State of Connecticut, or the Government of the United States, including any approval required by the Connecticut Department of Environmental Protection and U.S. Army Corps of Engineers- obtaining such assents, permits or licenses is the sole responsibility of the applicant; and

BE IT FURTHER RESOLVED that this proposal complies with all applicable sections of the Zoning Regulations for the City of Norwalk; and

BE IT FURTHER RESOLVED that these preceding conditions and modifications of this application are integral to the Commission's approval because, if not for those conditions and modifications, the Commission would have denied this application.

BE IT FURTHER RESOLVED that the effective date of this approval shall be April 17th, 2026.

You must obtain a zoning approval prior to any work on the site.

Mr. Jones seconded.

Ms. Williams said that the staff had no issues and that it was consistent with the Connecticut Coastal Management Act.

Chapin Bryce; Diana Lenkowsky; Tammy Langalis; John Hubers; Harvey Jones; Galen Wells; Jacquen Jordan-Byron approved.

No one opposed.

No one abstained.

IV. PUBLIC HEARINGS

Before the public hearings began, Mr. Bryce explained the rules for them at this meeting.

A. #2026-21 SP – Robert and Chunling Vance – 8 Timothy Road (District 5, Block 55, Lot 122) – Special permit application for after-the-fact soil disturbance and/or clear-cutting of approximately 2/3 of an acre - Public hearing, report & recommended action

Mr. Bryce opened the public hearing. Bob Vance began the presentation by saying that he had bought the property last year. He had asked something to cut $\frac{2}{3}$ of the yard for the planting of fruit trees. He explained that this would not be a farm, he was the only one doing the labor. The fruits would either be given away or sold at farmers' markets. He said that he had a drainage report which showed it should not pose a drainage problem. He also had a survey and is in the process of constructing a fence.

There was a discussion about the use of pesticides. Mr. Vance said that some of the trees would need pesticides but only used a small, handheld pump sprayer or one that he would wear on his back. There was also a discussion about irrigation. He said he would during the first couple of years but after that he would not. He would only irrigate if there were a couple of weeks in the summer without rain. There was also a discussion about fruit falling on the ground and attracting other animals. Mr. Vance said he would try not to let that happen.

There was a discussion about the drainage. John Mallozzi explained that they used the CN numbers that the United States Department of Agriculture had published. He said that what Mr. Vance is doing is better for drainage and runoff than what was there before.

There was a discussion about the size of the trees that were removed and how long would it take for the trees that were planted to reach the same size as the ones removed. Mr. Vance said that the apple trees would not be as large as the ones that were there. He said that the sizes varied. If a tree died, he would plant something else. He said that in his previous space he had the same number of trees but he would now be doubling his space. He said he would bring in bees, only if he thought it was necessary. Mr. Vance also said that there were no more trees on the property except one in the front yard. He would need as much sun as possible for the fruit trees. There was a discussion about the number of trees that were taken down. There are still trees on the south and east parts of the property.

There was also a discussion about the relocation of the wood chip and compost piles. There was a discussion about the use of equipment and fuel tanks and noise.

There was then a discussion about a special permit for clearing the trees. Mr. Kleppin explained that it was new to the 2024 zoning regulations update. He said that for this application, the applicant would have needed a special permit based on the size. He noted that there would be a press release from the Mayor's office to prevent this from happening again. The staff would have looked at any negative impacts on surrounding properties. Mr. Kleppin said that the Department of Public Works was satisfied with the

drainage report. There was a discussion about the old regulations still being online which Mr. Vance had seen when he did a search.

At this point, Mr. Bryce explained how members of the public could make a statement, for both those in person and online.

Kurt and Patty Schlegel, 19 Douglas Drive, said that they were neighbors. He said he was disappointed that the trees were cut down. He had concerns about the drainage, the pesticides and the noise. He would like to replace some of the privacy that they had with the other trees.

Kayla Hanocka, 17 Douglas Drive, shared her screen with the commissioners which showed a Google map of the location of the property on an aerial map. She said that she was concerned about runoff into her property. She and her husband said that she had spoken with some people at City Hall. She also explained that the tree cutters had cut some trees on her property as well which was more than $\frac{2}{3}$ of an acre. She also had reviewed the drainage report which she believed was inadequate. She had concerns about the planting plan which was not done by a professional. She then gave a brief family history of how she had grown up. She had concerns and asked for a buffer around the property.

Jacob Hanocka, 17 Douglas Drive, explained how Mr. Vance had come to his house to tell him about the fruit trees. Mr. Hanocka asked him to go to City Hall for permits. He continued to explain his conversations with Mr. Vance.

Richard Cohen, 10 Timothy, said that Mr. Vance had asked for permission to take down a few trees on his property. He also had concerns about the pesticides Mr. Vance would be using, because he had a little farm with animals including chickens.

Diane CeCe, said she was speaking as a resident and thanked the other neighbors who had spoken as well. She believed this would be a commercial business. She was surprised that this was happening. She asked that this application be denied and referred to either DPW or Conservation.

Kathleen Lesko, 24 Douglas Drive, said that she had concerns about the number of trees that were going to be planted. She noted that she understood there would be 200 trees planted. She also explained that she had 2 apple trees which were a lot of work. She had concerns about the pesticides, as well as this being a business. She also had concerns about the effects on the neighborhood.

Christopher Kaolian, 15 Douglas Drive, shared the concerns of previous speakers about the runoff. He said that the drainage report did not take into account what had been done at 6 Timothy Road, since trees had been removed there.

Karen Murray, 9 Douglas Drive, said that she had concerns about this becoming a commercial property. If it was, she was concerned about where the workers would be. She thought it did not seem like a residential property at the moment. She was concerned about the hand-held sprayer to be used for the pesticides.

At this point, the public portion of the meeting was ended by Mr. Bryce.

Mr. Mallozzi addressed comments from the public concerning the drainage. He explained that there would be more runoff if the applicant only had grass. He also discussed the CN numbers. There was a discussion about how long it would take for the trees to become established. Mr. Mallozzi said the roots have no impact on the drainage. He said that grass will help with the absorption of water in a drainage situation. There was a discussion about the analysis of the lot prior to removal of the trees including the average CN number. There was also a discussion as to how a berm could help with erosion or runoff. Mr. Mallozzi said that a berm would keep the water above ground, creating a pond, which would then be absorbed into the ground.

There was also a discussion about the water pressure and whether it was city water. Mr. Vance did not think that his watering of the trees would affect the neighborhood. There was also a discussion about the cutting of trees on other properties and whether they would plant new ones for them. Mr. Vance explained which trees had been cut. He said that he would prefer not to plant trees that would grow too tall and cause shade. There was also a discussion about the cutting of trees without a permit. Mr. Vance said that he did not think he needed a permit to cut them. There was also a discussion about whether this would be a commercial operation, as well as the fencing for this operation. He also discussed spraying the fruit trees and what he did and did not do.

There was a discussion about how the fruits would be taken to farmer's markets. Mr. Vance confirmed that there would not be big trucks on his property to take the fruit to these markets. There was a discussion about the yield from Mr. Vance's orchard. If the yields become large, he would thin the orchard so that the fruit would be better quality.

There was a discussion about the location of the compost pile and a request for a berm or retaining wall. Mr. Vance said that he thought the compost pile was in a good place and had boulders moved to that area for it. He thought it would be good on the

downhill side. He said that if it had to be moved within the 30 ft. strip he could do that. He said he could also put in a berm along the fence which would help keep the deer out.

There was a discussion about whether the berm would need a permit and whether this could be a condition in the proposed resolution. Mr. Kleppin clarified what was in the purview of the commission to require of the applicant.

**** MS. WELLS MOVED: THEREFORE BE IT RESOLVED** by the Norwalk Planning & Zoning Commission that application #2026-21 SP – Robert and Chunling Vance – 8 Timothy Road (District 5, Block 55, Lot 122) – Special permit application for after-the-fact soil disturbance and/or clear-cutting of approximately 2/3 of an acre be **APPROVED** with the following conditions:

1. That the site shall be developed in accordance with the following plans:
 - a. Per landscaping site plan submitted as part of this application and that was received by the Planning & Zoning Department on March 3, 2026 and as modified further within these conditions; and
2. That any changes to the approved plans shall be submitted to the Planning & Zoning Staff for review and approval prior to implementation, and if any proposed changes are determined to be substantive, Staff shall refer the changes to the Commission for their review and approval prior to implementation; and
3. That the property shall not be used for commercial purposes; and
4. That the applicant shall work with Staff to install a landscaped and/or grassed berm inside the southern fence; and
5. That the applicant shall plant ground cover within 45 days of the effective date of this approval; and
6. That the applicant shall work with the neighbors within 30 days of the effective date of this approval, who had trees had been removed without their permission, on a plan to replace what had been removed with similar landscaping; and
7. That the applicant shall provide an erosion and sedimentation control plan to Staff prior to the issuance of a zoning permit; and
8. That prior to the issuance of a zoning permit, the applicant shall submit an erosion and sedimentation control surety bond in an amount to be determined by Staff; and

BE IT FURTHER RESOLVED that this application complies with all applicable sections of the Norwalk Zoning Regulations; and

BE IT FURTHER RESOLVED that the effective date of this approval shall be April 17, 2026.

Mr. Jones seconded.

At this point, the commissioners reviewed the proposed resolution and discussed changes.

Chapin Bryce; Diana Lenkowsky; Tammy Langalis; John Hubers; Harvey Jones; Galen Wells; Jacquen Jordan-Byron approved.

No one opposed.

No one abstained.

At this point, Mr. Bryce announced that the commissioners would take a break and return to the meeting at 8:30 pm. Ms. Jordan-Byron left the meeting.

B. #2026-16 SP – 204 Flax Hill LLC c/o Edward Gormbley – 204 Flax Hill Road (District 2, Block 48, Lot 44) – Special permit application for a historic preservation development for a property currently used as multifamily per Section 4.3.20 of the zoning regulations to renovate an existing historic structure, construct a 4-story addition, and demolish two separate existing structures for a total of 53 dwelling units - Public hearing, report & recommended action

Mr. Bryce opened the public hearing and explained the rules for public comment.

Atty Emma Dignati, the attorney for the applicant, began the presentation by orienting the commissioners as to the location of the property on an aerial map. She also noted that the sign had been posted that notified neighbors of the public hearing as well as provided the certified, return receipt cards evidencing notice to the neighbors. She noted that there had been a previous approval on this property but a new architect had been hired since then. The applicant had revised the plans and there would still be the same number of units. The same plans for the mansion house were still in place. She also introduced the project team.

Doug Adams, who said that he was with Workforce Housing, which purchases dilapidated buildings, rehabilitates them and then rents them to those who can't afford luxury units. He noted other properties that they had worked on.

Atty Dignati continued the presentation and explained the plans for the buildings on the property which included 53 units. There would be 2 additional workforce housing units. She also discussed the modifications that the applicant was requesting. She showed them the proposed renderings. They would renovate the mansion. She also discussed the traffic impact study, as well as the parking requirements. She then referred to the site plan and discussed the proposed construction plan.

Andy Soumelidis, the engineer on the project, continued the presentation, by showing the existing conditions of the site. He said that the mansion would be restored with some parking areas being removed. He also discussed the reduction of the impervious surfaces and drainage patterns. He then discussed the utility infrastructure which included the connections to water and sewer lines. He also discussed the sediment control plan and silt fencing around the property during construction. He also discussed comments that they had received from an adjacent property owner. The proposed building would have a separate entrance. He said that parking would be handled on site. Since they are close to the train, there would be a reduction in parking. He noted that there would not be a retail or restaurant component to this project. He also said that there would be more parking that would have been approved for the previous application.

Colin Grotheer, the architect on the project, continued the presentation by giving a brief background of the firm and his time with it. He then oriented the commissioners as to the location of the property on an aerial map. He then showed them the proposed renderings of the buildings. He discussed the materials being used. He discussed the parking and carports, as well as the residential amenity space. He also said that three season porches would be added.

Atty Dignati continued the presentation by noting that the application met all the requirements, that they were preserving the mansion, and this project would contribute positively to the community. She also said that the application was compliant with the Plan of Conservation and Development (POCD) which was noted in the application. She reminded them that they had approved a similar application last year which was compliant with the POCD and special permit criteria.

There was a discussion about the height of the building and whether it would be taller than the mansion. There was also a discussion about the color of the mansion. There was a discussion about the easement and whether it would be retained. Atty Dignati said that there would be another driveway as well. There was also a discussion about the entrances to the mansion which would be locked and opened only by those living there. There was a discussion about the parking spaces under the building and whether they would be assigned. Mr. Adams said that they were not sure at this point.

Some of the ground floor units would have patio space.

There was a discussion about the retaining wall. It was noted that there were retaining walls in the previous application that had been approved. Mr. Soumelidis said that the retaining wall would raise the grade and flatten out the parking lot. There was also a discussion about an easement on the property. There was a request for more landscaping which could enhance their property and a neighboring property. There was also a discussion about making these moderately priced condominiums.

At this point, the public was given the opportunity to make comments on the application.

Elan McDowell, 208 Flax Hill Road, said that she was on the board of the property for several years. They had sent a letter to the commission. She said that she liked historical properties as well as affordable units for working people. She also had concerns about the retaining wall, as well as the easement. They would like this closed since vehicles drive down quickly. Another reason was because the vehicles from 204 Flax Hill would use their driveway but they were the ones that had to pay the special assessment for a new driveway. She also had concerns about the sewer line because sewage comes onto their property. She asked if there could be monthly meetings with the applicant. She also asked that snow not be dumped on their property.

Diane Lauricella, 60 Gregory Boulevard, said she appreciated the developer constructing affordable and middle housing. She noted the water quality improvements and asked if there would be renewable energy included such as rooftop solar on the new building in the back.

Deborah Corby, 208 Flax Hill Road, asked for clarification on the driveway. She said there had been many accidents there. She also asked for clarification of the sewer system which gets backed up.

Diane Cece, Olmstead Place, said she was impressed with the design of the mansion. She had comments on the new building including whether the three season porch was included as living space which would be taxed. She also asked them to clarify whether there would be a parking fee for additional parking for residents. She also asked them about where the mechanicals would be as well as when trash pickup would be. She had not seen them in the plans.

Cheryl Coppola, 208 Flax Hill Road, said that they had issues with the parking because they pay for their parking spaces. She would like it blocked off.

Atty Dignati continued the presentation by addressing the public comments including those about the retaining wall, and closing the easement. For the easement she suggested that the neighbors could work with Mr. Adams in monthly meetings to address their concerns. Mr. Soumelidis said that one of the buildings would be demolished and would help the sewage concerns by redirecting the sewage lines to another point. Mr. Bryce noted that the easement was not in their purview but that snow removal issues should be addressed. There was a discussion about traffic calming measures on the applicant's side of the easement. Mr. Grotheer discussed hiding the mechanicals as well as the trash pickup. He also said they would comply with the solar requirements. The comment about the 3 season porch, which would be added to the existing building, was addressed.

**** MS. LENKOWSKY MOVED: THEREFORE BE IT RESOLVED** by the Norwalk Planning & Zoning Commission that application #2026-16 SP – 204 Flax Hill LLC c/o Edward Gormbley – 204 Flax Hill Road (District 2, Block 48, Lot 44) – Special permit application for a historic preservation development for a property currently used as multifamily per Section 4.3.20 of the zoning regulations to renovate an existing historic structure, construct a 4 story addition, and demolish two separate existing structures for a total of 53 dwelling units be **APPROVED** subject to the following conditions:

1. That the site shall be developed in accordance with the following plans:
 - a. Per the Site Plans entitled "Site Improvements for a Proposed Multi-Family Residential Building," prepared for "204 Flax Hill, LLC," prepared by LandTech, and dated 2/17/26 and as revised per the plans presented at the 4/8/26 public hearing; and
 - b. Per Architectural Plans entitled "204 Flax Hill Rd," prepared by Beinfield Architecture, dated 2/12/26 and as revised per the plans presented at the 4/8/26 public hearing; and
 - c. Per Architectural Plans entitled "Ferris Mansion, 204 Flax Hill Road," prepared by Crosskey Architects, dated 5/21/25; and
2. That the site plans and architectural drawings shall be modified as follows:
 - a. That a landscaping streetscreen shall be provided to screen the parking as much as possible; and
3. That a certificate of special permit and mylar map of the approved site (as revised by any conditions of approval) shall be filed on the Norwalk Land Records prior to the issuance of a zoning permit; and

4. That a surety be submitted, in an amount to be determined by Staff, to guarantee the installation of the required erosion and sediment controls prior to the issuance of a zoning permit; and
5. That all erosion and sediment controls shall be installed and maintained prior to the start of any construction or site work and that additional controls shall be installed at the direction of the Commission's Staff (Staff), if necessary; and
6. That a final Workforce Housing Plan showing a total of two new workforce housing unit(s), and a total of five workforce housing unit equivalents on-site, shall be submitted for Staff review and approval and shall include deed restriction documents, architectural floor plans, and a list of the number of studio, one-bedroom, two-bedroom and three-bedroom workforce housing units, prior to the issuance of a Certificate of Zoning Compliance; and
 - a. Further provided that such workforce housing units shall be deed restricted in perpetuity and meet all requirements of Section 6.12 of the Norwalk Zoning Regulations; and
 - b. That the Workforce Housing Plan shall be filed on the Norwalk Land Records; and
7. That all mechanical equipment shall be adequately screened from the Front Lot or Building Site Line and from adjacent and abutting property(s); and
8. That a Connecticut licensed engineer shall certify that all of the required improvements were installed to all applicable City standards prior to the issuance of a Certificate of Zoning Compliance; and
9. That a surety shall be submitted, in an amount to be determined by Staff, to guarantee the completion and maintenance of the site plan and all modifications to the plan as well as all work required as a condition of approval under this special permit prior to the issuance of a Certificate of Zoning Compliance; and
10. That all conditions as required by the Norwalk Water Pollution Control Authority (WPCA) shall be applicable to this approval; and
11. That all conditions as required by the Norwalk Department of Public Works (DPW) shall be applicable to this approval; and
12. That all conditions as required by the Norwalk Department of Transportation, Mobility, and Parking (TMP) shall be applicable to this approval; and

13. That all conditions as required by the Norwalk Fire Marshal shall be applicable to this approval; and

14. That any revisions to the approved plans shall be submitted to Staff for review and approval prior to implementation, and that should any revisions be determined to be substantive by Staff, shall be submitted to the Commission for review and approval prior to implementation; and

BE IT FURTHER RESOLVED that this application complies with all applicable sections of the Norwalk Zoning Regulations; and

BE IT FURTHER RESOLVED that the effective date of this action is April 17, 2026.

Ms. Wells seconded.

At this point, the commissioners reviewed the proposed resolution.

Chapin Bryce; Diana Lenkowsky; Tammy Langalis; John Hubers; Harvey Jones; Galen Wells approved.

No one opposed.

No one abstained.

C. #2026-02 R – Planning & Zoning Commission – Zoning regulation text amendment to Article 4 and Article 9 regarding Accessory Dwelling Units - Public hearing, report & recommended action

Mr. Bryce opened the public hearing. Mr. Baker began the presentation by explaining that this revision was mainly for detached accessory dwelling units (ADUs). He discussed the proposed changes which included the application process. He said that they were proposing for some to be over the counter permits, under certain guidelines.

At this point, the hearing was opened to the public for comments. Mr. Bryce explained the rules.

Richard Bonenfant, 17 Park Avenue, said that he understood the removal of the parking requirements. He explained what he liked and did not like about the proposed regulations.

Diane Lauricella spoke in support of increasing the number of attached and detached ADUs in the city. She was pleased that the original amendments were continuing to be modified. She wanted seniors to be able to rent out their larger homes but stay in their neighborhood. She suggested some ideas for public outreach for ADUs.

Planning & Zoning Commission - Minutes

April 8, 2026

Page 14 of 20

She said she had also forwarded a guidebook from the AARP to Mr. Kleppin which she hoped the commissioners had received. She also made other suggestions to the proposed language, including having the permits be over the counter and not site plan review.

Adam Blank, 49 Bartlett Avenue, said that he agreed with the previous speaker. He explained that it was a good goal for more ADUs in the city. He made suggestions as to how to revise the language for accessory buildings, like garages, etc.

Diane Cece, 37 Olmstead Place, said that she would speak as a resident as well as for East Norwalk Neighborhood Association (ENNA). She had concerns about properties where there are situations that need a variance. She also had concerns about ADUs added over a garage. She was in favor of attached and detached ones. She said she was a proponent of tiny houses. She also spoke on behalf of ENNA which included support for public notification, including legal notices on the city's website. She also said that there were concerns about parking and suggested that the commission work with TMP on the residential parking permit study. She had questions about the notice of legal decision. She was in support of the owner remaining on the property when there is an ADU.

Todd Ackert, 22 Sylvan Lane, said he was speaking on behalf of his dad. He moved back in with his parents. His parents decided to add an ADU to the property instead of moving to a retirement community. He hoped their application would be approved.

Mr. Baker then responded to the comments from the public, including pre-approved plans in the future. He discussed adding Mr. Blank's comments to the regulations. He addressed comments about the legal notices as well. There was also a lengthy discussion about the language on the field cards which refer to square footage in two different ways, total living space and gross area.

**** MR. JONES MOVED: THEREFORE, BE IT RESOLVED** by the Norwalk Planning & Zoning Commission that application #2022-30 R – Planning & Zoning Commission – Zoning regulations text amendment to Article 10 and Article 42 to revise Accessory Dwelling Unit (ADU) regulations be **APPROVED**.

BE IT FURTHER RESOLVED that the approved language is the following:

- 1. General requirements:
 - a. The ADU is located on the same Lot as a Single-Family Detached Dwelling;

- b. The Lot shall be limited to one (1) ADU;
- c. The ADU may be within and/or attached to a Principal Building or Accessory Building;
- d. The owner of the Lot must reside on the Lot;
- e. The minimum rental duration of the ADU shall be no less than six (6) months;
- f. Lots utilizing public sewer and/or water shall be subject to approval by the Norwalk WPCA and the local water authority. Lots utilizing private water and/or septic systems shall be subject to approval by the Norwalk Health Department;
- g. The ADU shall be designed to generally maintain the architectural design, style, and appearance similar to a Cottage Principal Building Type;
- h. Recreational Vehicles, travel trailers, and any other wheeled or transportable Structures shall not be used as an ADU;
- i. The ADU is subject to Section 4.3.4.C.3.a which states that the Footprint of a detached Accessory Building shall not exceed 60% of the Principal Building.

2. Height, bulk, and location standards:

a. Attached ADUs:

- i. Shall comply with Principal Building Setback requirements;
- ii. Shall comply with the Height, as to Building or Structure and Total Height, as to Building or Structure for Principal Buildings permitted within the Zoning District, not to exceed 2 ½ Stories;
- iii. Shall not exceed 1,000 square feet in Floor Area;
- iv. Existing Principal Building(s) that are Nonconforming in respect to Setback or Setback Area and/or Height, as to Building or Structure and/or Total Height, as to Building or Structure may convert the portion of the Building that is Nonconforming into an ADU provided that all other requirements under this section are met;

b. Detached ADUs:

- i. Shall comply with Accessory Building Setback requirements, except that the Principal Building Front Setback(s) may be used provided that the ADU is not located between the Front Lot or Building Site Line and the Single-Family Detached Dwelling;

ii. Shall comply with the Height, as to Building or Structure and Total Height, as to Building or Structure for Accessory Buildings permitted within the Zoning District, not to exceed 1 ½ Stories;

iii. Shall not exceed 1,000 square feet in Floor Area;

iv. A legally conforming or legally non-conforming Accessory Building in existence as of the effective date of this amendment may be converted into an ADU and need not comply with Section 2(b)(i), 2(b)(ii) or 2(b)(iii) above, provided that said Accessory Building shall not be made anymore non-conforming

3. Permitting procedures:

a. Permitted by Zoning Permit in accordance with Section 8.4.10:

i. All ADUs that comply with Principal Building Setback requirements;

ii. Attached ADUs in accordance with 2.a.iv of this section;

iii. Notice of the decision shall be published in a newspaper having a substantial circulation in the City. Legal notice fees shall be the responsibility of the Applicant, who will be billed for the payment of legal notice fees directly by the publisher of such notice.

b. Permitted by Site Plan Review in accordance with Section 8.4.5:

i. Detached ADUs that comply only with Accessory Building Setback requirements;

ii. Detached ADUs in accordance with 2.b.iv of this section;

c. For all ADU applications, mailed notice shall be sent by the Applicant using U.S.P.S. Mail, with a Certificate of Mailing-Firm, to all owners of Lots that are within one hundred (100) feet of the subject Lot, as indicated on the Assessor's records. When a Residential condominium is located within one

hundred (100) feet of the subject Lot, mailed notice may be sent to the Residential condominium association in lieu of the individual unit owners. This section shall supersede Section 8.4.4.D.6.f.

d. A certificate in the form of an affidavit which verifies that the owner continues to reside on the Lot, the minimum rental duration, and all other conditions met at the time of the original application remain unchanged shall be submitted to the Planning and Zoning Director by January 31 of each year.

BE IT FURTHER RESOLVED that the reasons for this action are:

1. To achieve Plan of Conservation and Development Goal 1 listed in Chapter 4: Housing Choice & Healthy Lifestyles: “Norwalk has a neighborhood and housing strategy that maintains a variety of neighborhood types and housing choices through a variety of mechanisms,” by:

a. Enacting a policy to “Support housing policies that provide housing for Norwalk’s households across a range of preferences and household incomes,” and the policy to “Maintain the predominately single-family character of established single-family neighborhoods;” and

b. Enacting a policy to “Promote diverse housing types, such as townhouses, condos, live-work units and rental apartments in Norwalk’s urban core, at transit-oriented locations and in mixed-use clusters on major corridors, in village districts where appropriate and through redevelopment;” by:

i. The action to “Encourage redevelopment in mixed-use clusters, including housing, of suburban-style commercial land uses along major corridors such as Route 1...The City should take a proactive approach to the redevelopment that will happen over the next ten years with new zoning and design standards, and support for alternative transportation and mixed-income housing;” and

ii. The action to “Identify potential markets for downsizing by empty-nesters and aging seniors who want to stay in Norwalk and encourage housing for that market;” and

iii. The action to “As part of the zoning re-write, explore innovative housing types such as cottage communities and create zoning and design standards;” and

2. To achieve the Plan of Conservation and Development strategy to “Seek solutions to provide sufficient safe and affordable housing for low-income and very low-income residents;” and

3. To achieve Plan of Conservation and Development Goal 2 listed in Chapter 4: Housing Choice & Healthy Lifestyles: “Incorporate healthy lifestyles in city design and improvements,” by:

a. Enacting a policy to “Prepare an Aging in Norwalk report to identify future needs to provide a supportive city environment for seniors to help them age in place;” and

4. To achieve Plan of Conservation and Development Goal 3 listed in Chapter 12: Future Land Use, Urban Design & Zoning: “The user-friendly zoning ordinance is consistent with the future land use map and achievement of the vision and goals of the POCD,” by:

Planning & Zoning Commission - Minutes

April 8, 2026
Page 18 of 20

a. Enacting a policy to “Modernize the Zoning Ordinance and the development approval process to achieve the goals of the POCD,” by:

i. The action to “Rewrite the Zoning Ordinance to reflect contemporary best practices in administration and user-friendliness and to be consistent with the POCD...including [an] analysis of how well the regulations implement established City Policy, and how well the regulations integrate with other ordinances and initiatives to meet public expectations [and a] summary of ‘best practices’ for key issues;” and

BE IT FURTHER RESOLVED that the effective date of this action is April 24, 2026.

Mr. Hubers seconded.

Chapin Bryce; Diana Lenkowsky; Tammy Langalis; John Hubers; Harvey Jones; Galen Wells approved.

No one opposed.

No one abstained.

D. #2026-03 R – Planning & Zoning Commission – Zoning regulation text amendment to Article 4, 6, 7 and 9 regarding fee in-lieu of public realm requirements; workforce housing requirements; village district review standards and procedures; encroachment allowances for steps; creation of “landscape nursery” use; band sign locations; and revisions and/or new definitions of the following terms: “dormer,” “earth processing and contractor’s materials storage yard,” “landscape nursery,” “patio,” “porch,” “stoop,” and “wetbar” - Public hearing, report & recommended action

Due to the late hour, Mr. Kleppin suggested that this item be continued to the next agenda. Mr. Bryce opened the public hearing.

**** MR. JONES MOVED to continue this application to the next Planning & Zoning Commission meeting on April 22, 2026.**

Mr. Hubers seconded.

Chapin Bryce; Diana Lenkowsky; Tammy Langalis; John Hubers; Harvey Jones; Galen Wells approved.

No one opposed.

No one abstained.

V. DISCUSSION

A. Commercial Vacancy Tax Bill

Planning & Zoning Commission - Minutes

April 8, 2026

Page 19 of 20

Mr. Bryce asked if staff could draft a memo in support of the bill. Mr. Kleppin said it would be on the agenda for the next meeting.

VI. ACCEPTANCE OF MINUTES

A. Regular Meeting: March 18, 2026

**** MS. LANGALIS MOVED to approve the March 18, 2026 minutes.**

Galen Wells seconded.

Chapin Bryce; Diana Lenkowsky; Tammy Langalis; John Hubers; Harvey Jones; Galen Wells approved.

No one opposed.

No one abstained.

VII. COMMENTS OF DIRECTOR

There were no comments from Mr. Kleppin.

VIII. COMMENTS OF COMMISSIONERS

Mr. Jones said that he appreciated the public comments which he thought were productive.

IX. ADJOURNMENT

Mr. Jones made a Motion to Adjourn.

Ms. Langalis seconded.

Chapin Bryce; Diana Lenkowsky; Tammy Langalis; John Hubers; Harvey Jones; Galen Wells approved.

No one opposed.

No one abstained.

The meeting was adjourned at 10:40 pm.

Respectfully submitted,

Diana Palmentiero