



REGULAR MEETING – PLANNING AND ZONING COMMISSION AGENDA

JULY 1, 2026, 6:00 PM
BY ZOOM VIRTUAL MEETING

To allow public access, anyone may access a meeting by telephone and/or Zoom, or a recording in the City of Norwalk YouTube channel. Specific instructions and links can be found at norwalkct.gov/meetings.



Members of the public may call in to participate. Callers will not be able to see the meeting participants. All participants will be muted upon entering the meeting. To speak, dial *9 on the phone and you will be called on by the host of the meeting during the public comment section. All speakers must state their name and address. Comments must be on a topic on the agenda, and are limited to three minutes. Anyone disrupting the orderly conduct of the meeting, including by using threatening, hateful, or sexually-explicit language, will be removed. Please find the information using the link above.



Members of the public who wish to provide "live comments" may also use the Zoom meeting platform. All participants will be muted upon entering the meeting. To speak, click the "raise your hand indicator" and you will be called by the host of the meeting during the public comment section. All speakers must state their name and address. Comments must be on a topic on the agenda. Anyone disrupting the orderly conduct of the meeting, including by using threatening, hateful, or sexually-explicit language, will be removed. Please find the information using the link above.



Members of the public who wish to provide public comment are encouraged to submit those via email in advance of the meeting. For these comments to be included into the record, they must be submitted by 12:00 p.m. the day of the meeting. Please email Steve Kleppin, Director of Planning & Zoning, at skleppin@norwalkct.gov with the subject line "Public Comment" to provide written public comment prior to the meeting.

- I. **CALL TO ORDER**
- II. **ROLL CALL AND SEATING OF ALTERNATES**
- III. **REVIEW AND ACTION ON APPLICATIONS**
 - A. **#2026-51 8-24 Referral - City of Norwalk - Acquisition of a pedestrian right of way easement in the real property identified as "Proposed 9.5' Wide Pedestrian Right of Way Easement (Cross-Hatched Area)" on a Survey Map Entitled "City of Norwalk Showing Proposed Pedestrian Right of Way Easement over Portion of Undeveloped Gilbert Hill Road Located between Woodbine Road & Hunt Street Norwalk, Connecticut," Dated September 22, 2025, and prepared by Advanced Surveying for Purposes of Pedestrian Passage by the General Public - Report & recommended action**
 - B. **#2026-42 SPR - Michael Wilson - 197 Newtown Avenue (District 5, Block 20, Lot 2) - Site plan review application for the construction of a detached accessory dwelling unit - Report & recommended action**

- C. **#2026-50 C SPR - Tim Rath - 20 Harbor View Avenue (District 5, Block 85C, Lot 23) - Coastal site plan review application to raise an existing single-family residence to be FEMA flood compliant - Report & recommended action**
- D. **#14-16SP/#32-16CAM Modification – L. Fishell – 75 East Avenue – Modification to the approval of a converted funeral home to 4 units. - Report & recommended action.**
- E. **#2026-30 SPR - AMG Real Estate LLC - 216 East Avenue - Exterior modifications/facade changes to existing building - Report & recommended action**

IV. PUBLIC HEARINGS

- A. **#2026-40 R – Shangri-La CT, LLC – Zoning Regulation Text Amendment to Article 4 regarding the hours of operation for Cannabis Dispensary Facility, Cannabis Hybrid Retailer, and Cannabis Retailer. - Report & recommended action.**
- B. **#2026-44 R - 595 Westport Ave LLC - Zoning Regulation Text Amendment to Article 9 (Definitions) to modify the definition of "Medical Office" - Public hearing, report & recommended action**

V. ACCEPTANCE OF MINUTES

- A. **Special Meeting(s): June 17, 2026, Joint Meeting with ECD Committee; June 17, 2026, Special Meeting**

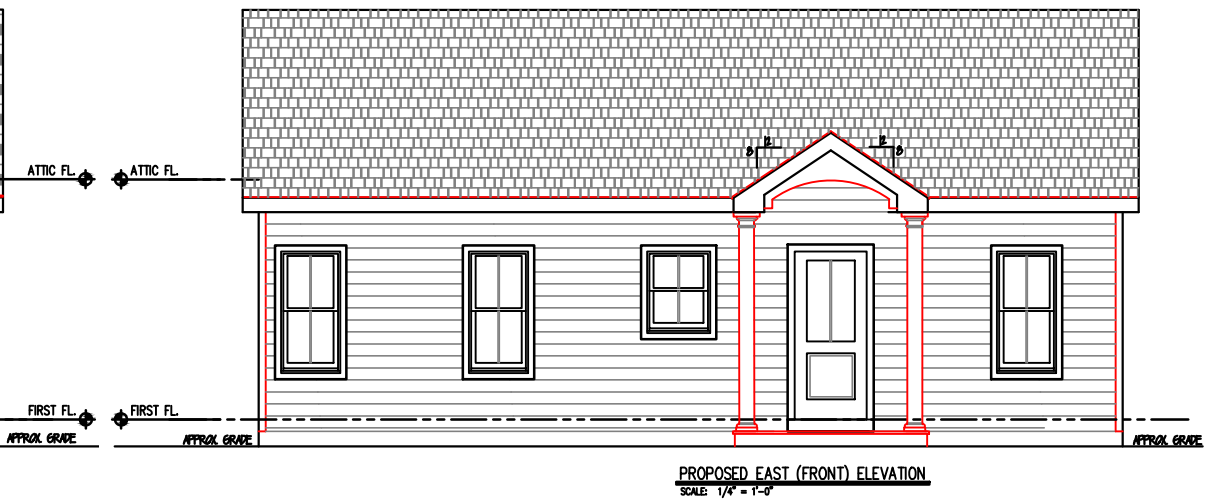
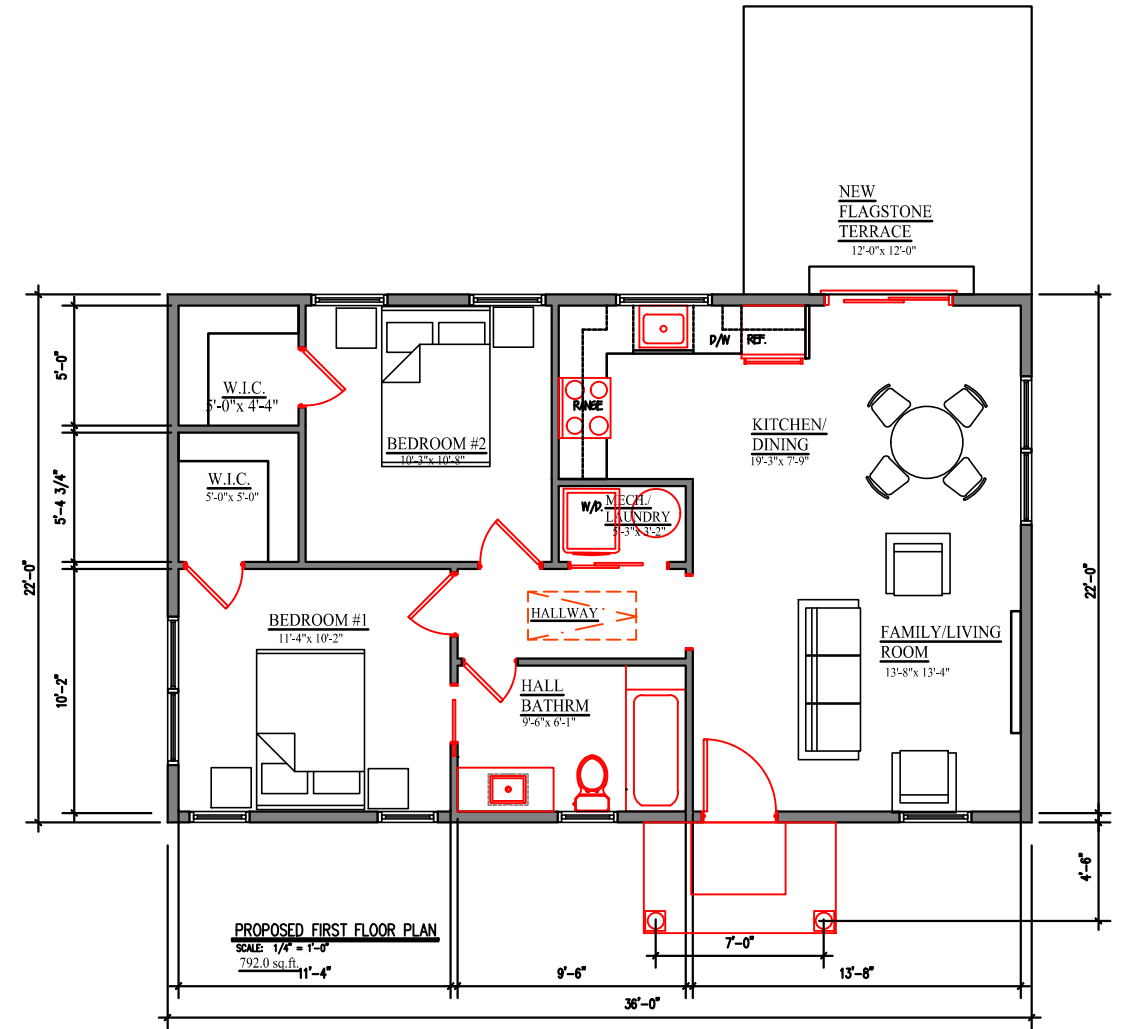
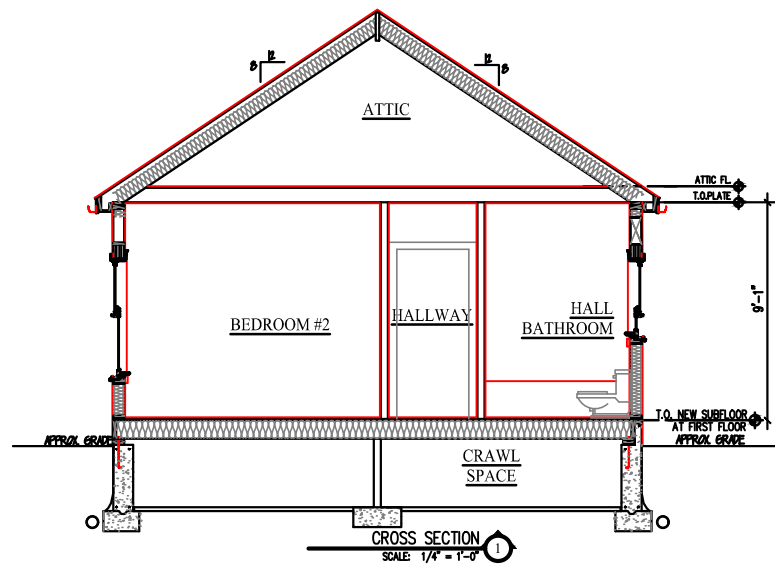
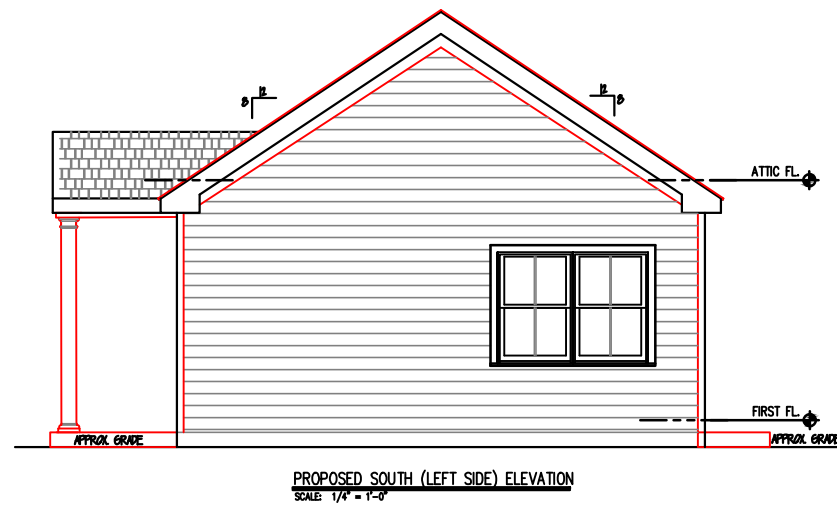
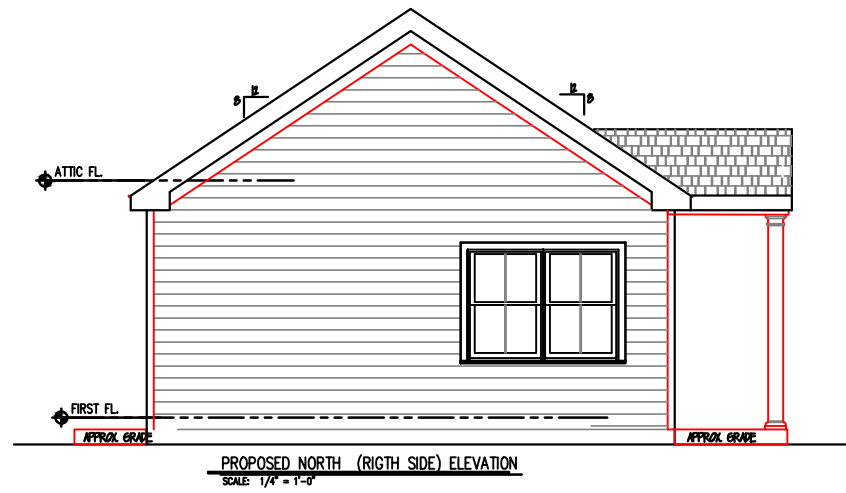
VI. COMMENTS OF DIRECTOR

VII. COMMENTS OF COMMISSIONERS

VIII. ADJOURNMENT

UPCOMING MEETINGS

July 15, 2026



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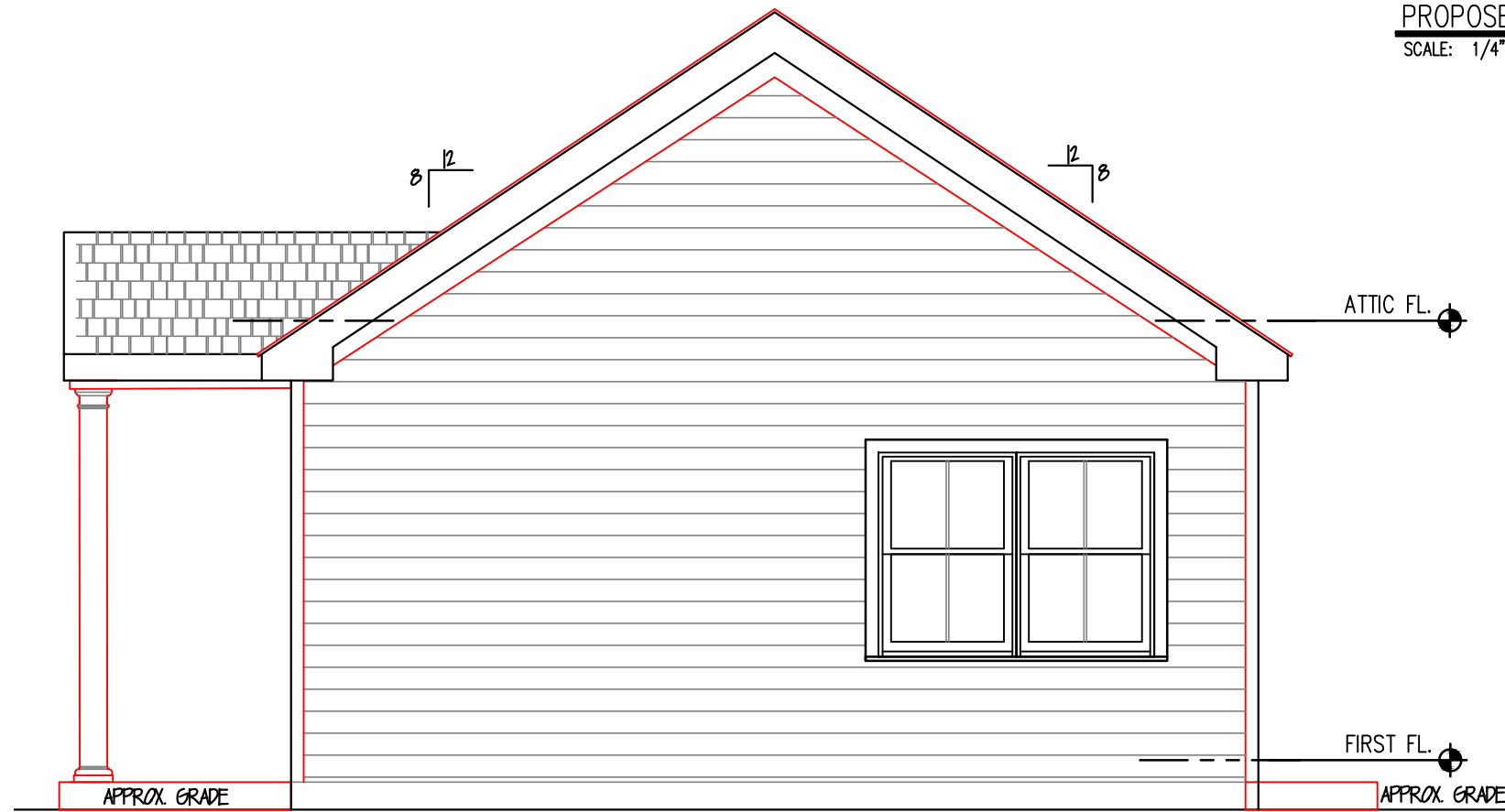
Revised:-5-09-26
Revised:-5-08-26
Revised:-3-24-26

New Accessory Dwelling Unit (ADU) for: Michael & Judith Wilson	Project Location	Proposed Floor Plan, Elevations and Cross Section	Date:3-17-26
	197 Newtown Ave. Norwalk CT		Sheet No. PL-01



PROPOSED EAST (FRONT) ELEVATION

SCALE: 1/4" = 1'-0"



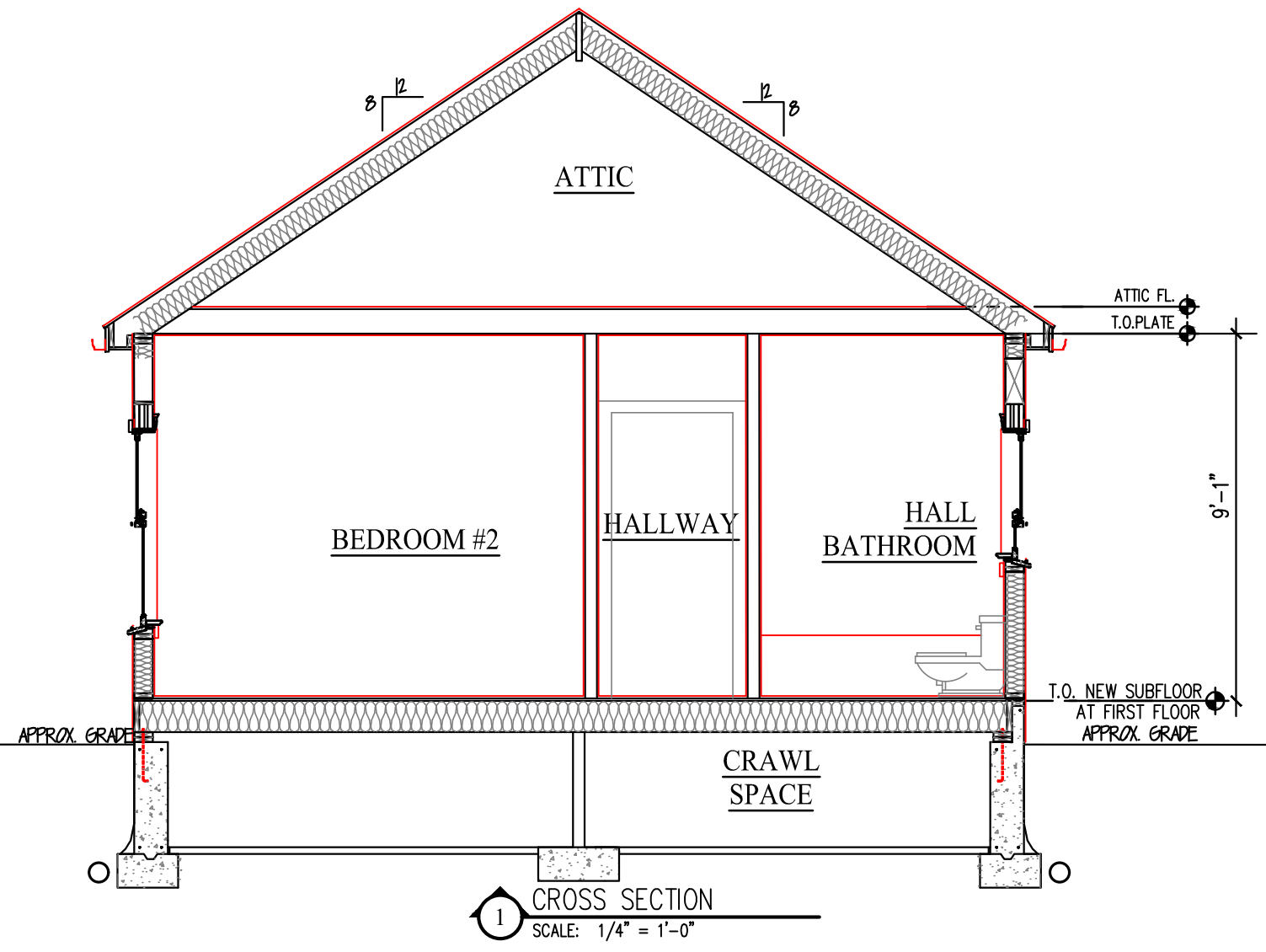
PROPOSED SOUTH (LEFT SIDE) ELEVATION

SCALE: 1/4" = 1'-0"

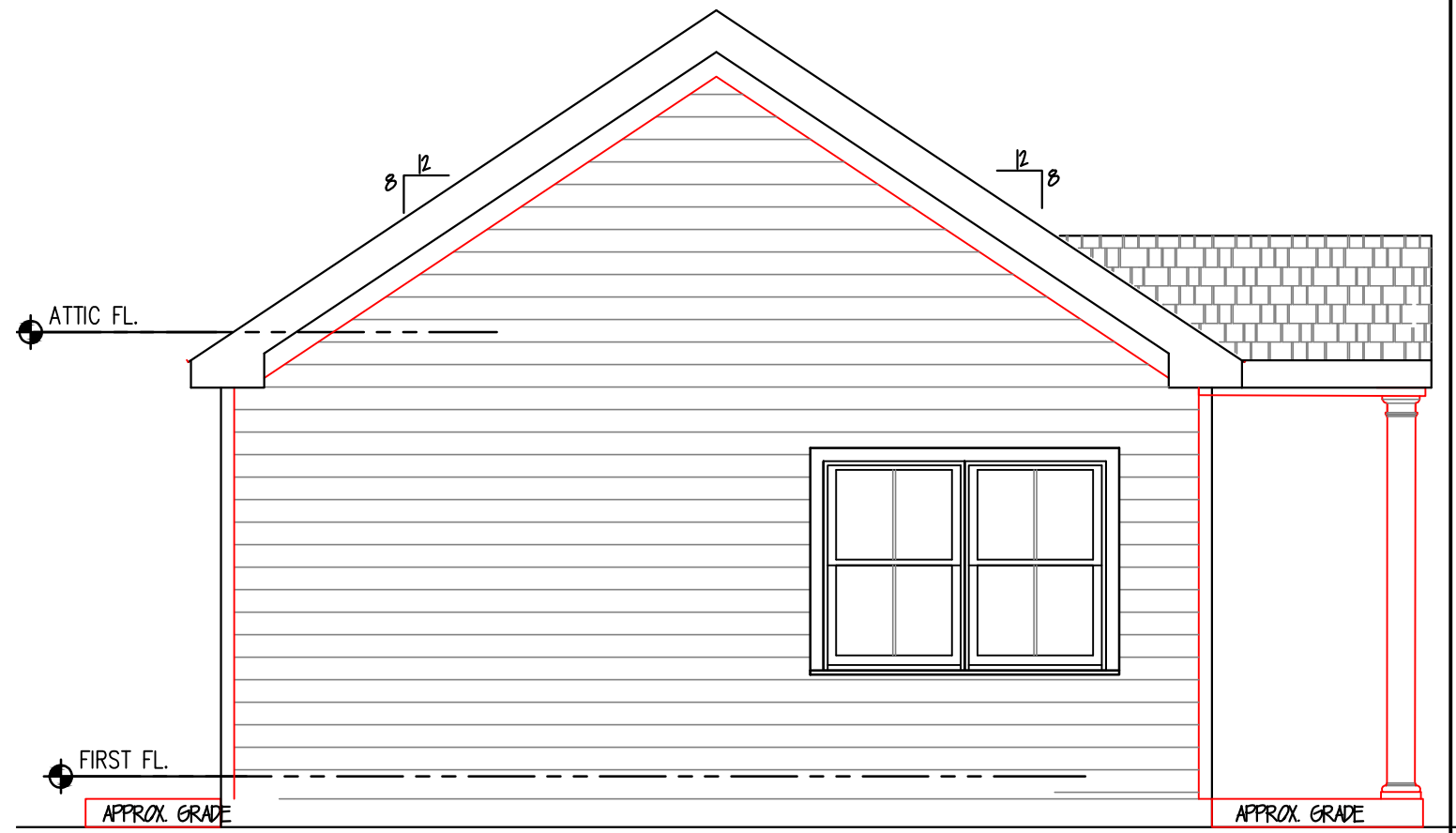
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Revised:-5-09-26
Revised:-5-08-26
Revised:-3-24-26

New Accessory Dwelling Unit (ADU) for: Michael & Judith Wilson	Project Location	Proposed Elevations	Date:3-17-26
	197 Newtown Ave. Norwalk CT		Sheet No. PL-01L2



1 CROSS SECTION
SCALE: 1/4" = 1'-0"

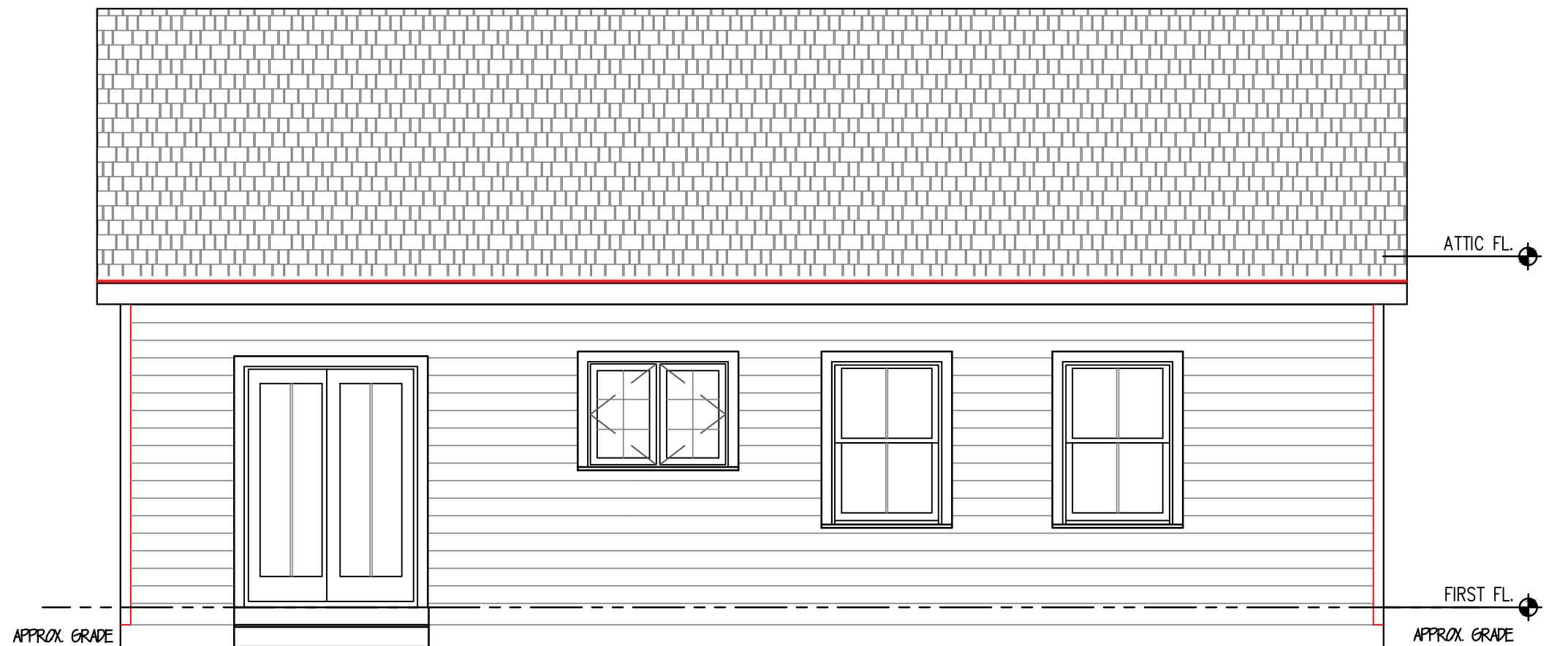


PROPOSED NORTH (RIGHT SIDE) ELEVATION
SCALE: 1/4" = 1'-0"

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Revised:-5-09-26
Revised:-5-08-26
Revised:-3-24-26

New Accessory Dwelling Unit (ADU) for: Michael & Judith Wilson	Project Location	Proposed Elevation & Cross Section	Date:3-17-26
	197 Newtown Ave. Norwalk CT		Sheet No. PL-01L4

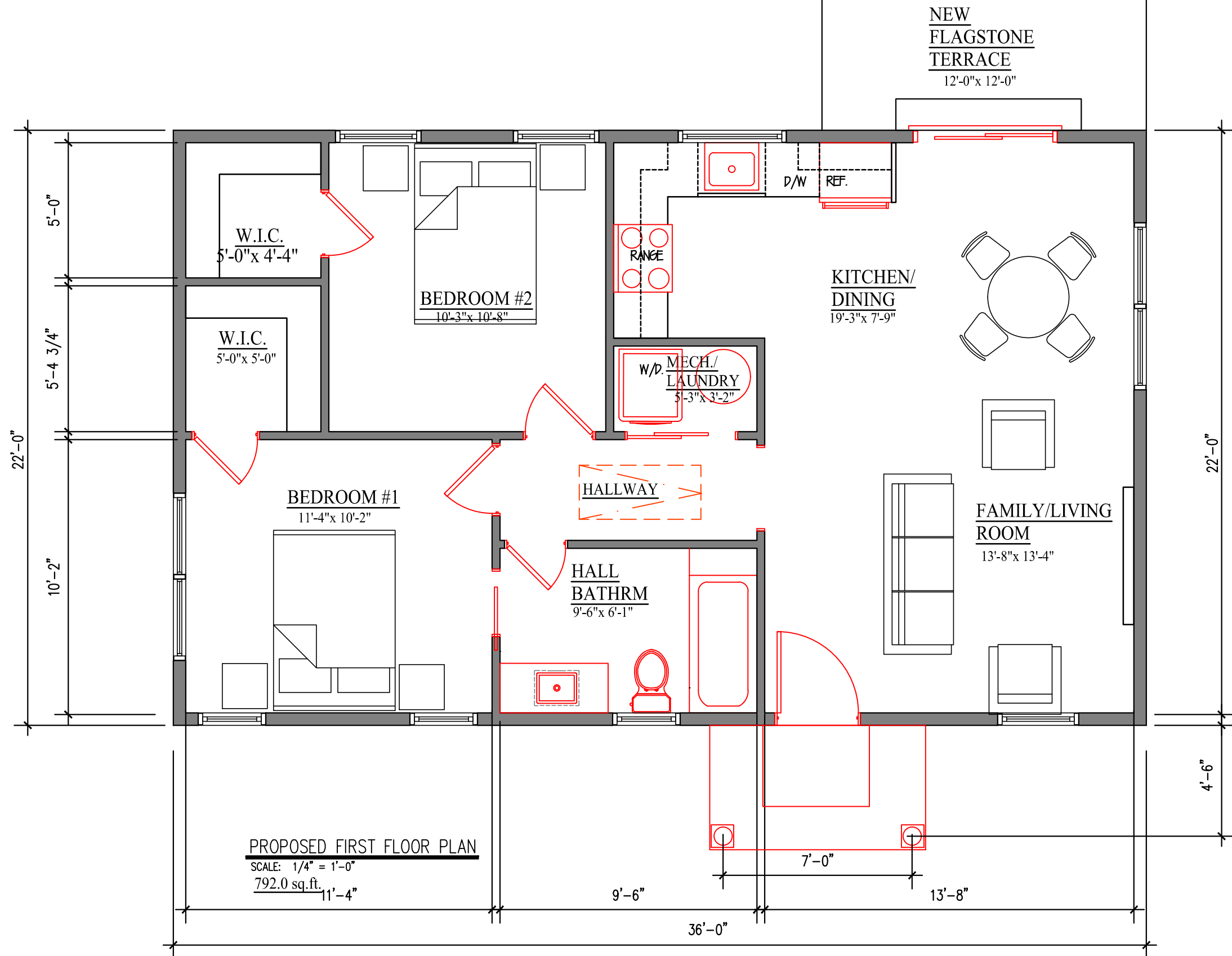


PROPOSED WEST (REAR) ELEVATION
 SCALE: 1/4" = 1'-0"

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Revised:-5-09-26
 Revised:-5-08-26
 Revised:-3-24-26

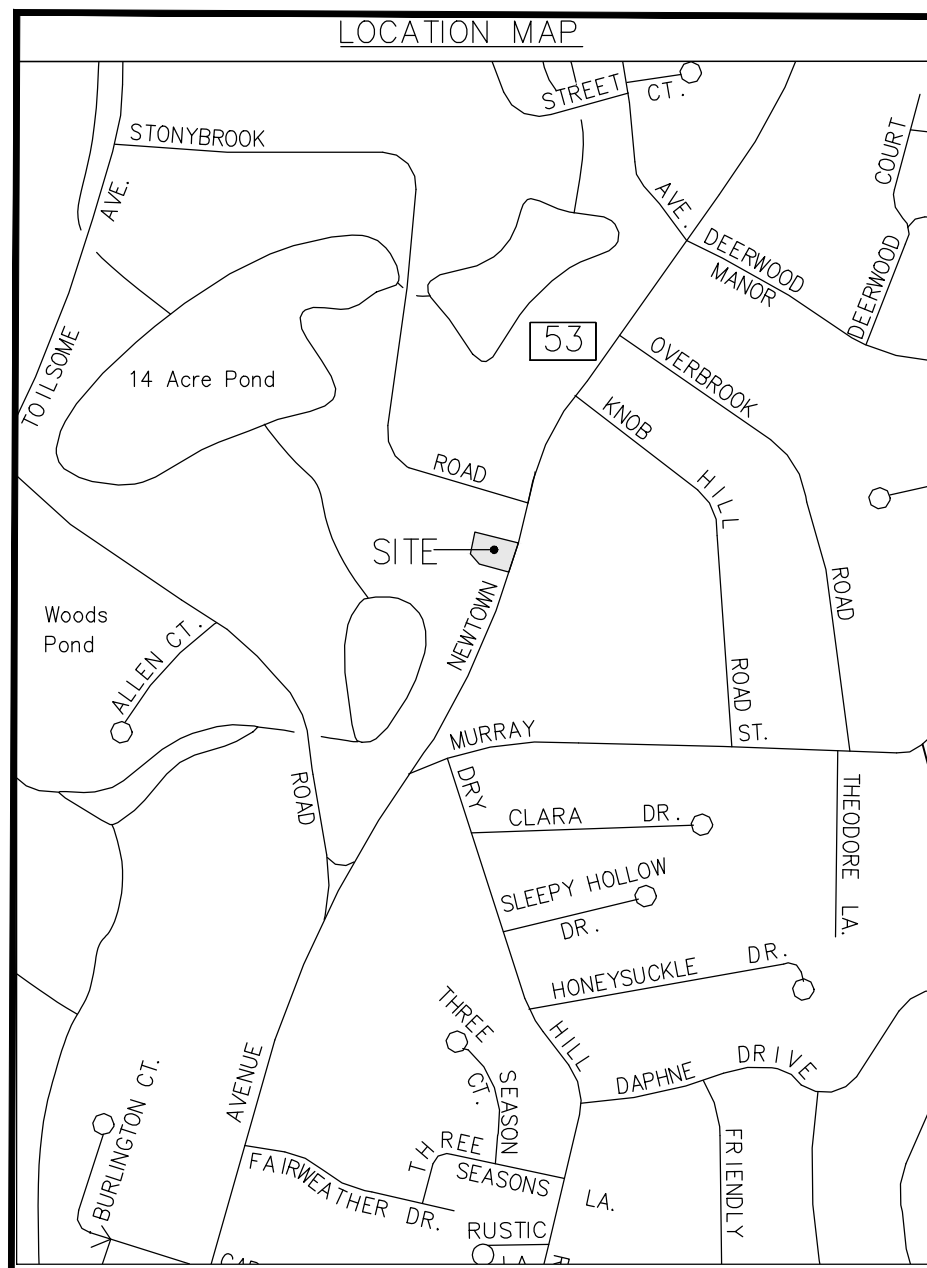
New Accessory Dwelling Unit (ADU) for: Michael & Judith Wilson	Project Location 197 Newtown Ave. Norwalk CT	Proposed Elevation	Date:3-17-26
			Sheet No. PL-01L3



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Revised: -5-09-26
Revised: -5-08-26
Revised: -3-24-26

New Accessory Dwelling Unit (ADU) for: Michael & Judith Wilson	Project Location	Date: 3-17-26
	197 Newtown Ave. Norwalk CT	Sheet No. PL-01L1
Proposed Floor Plan		

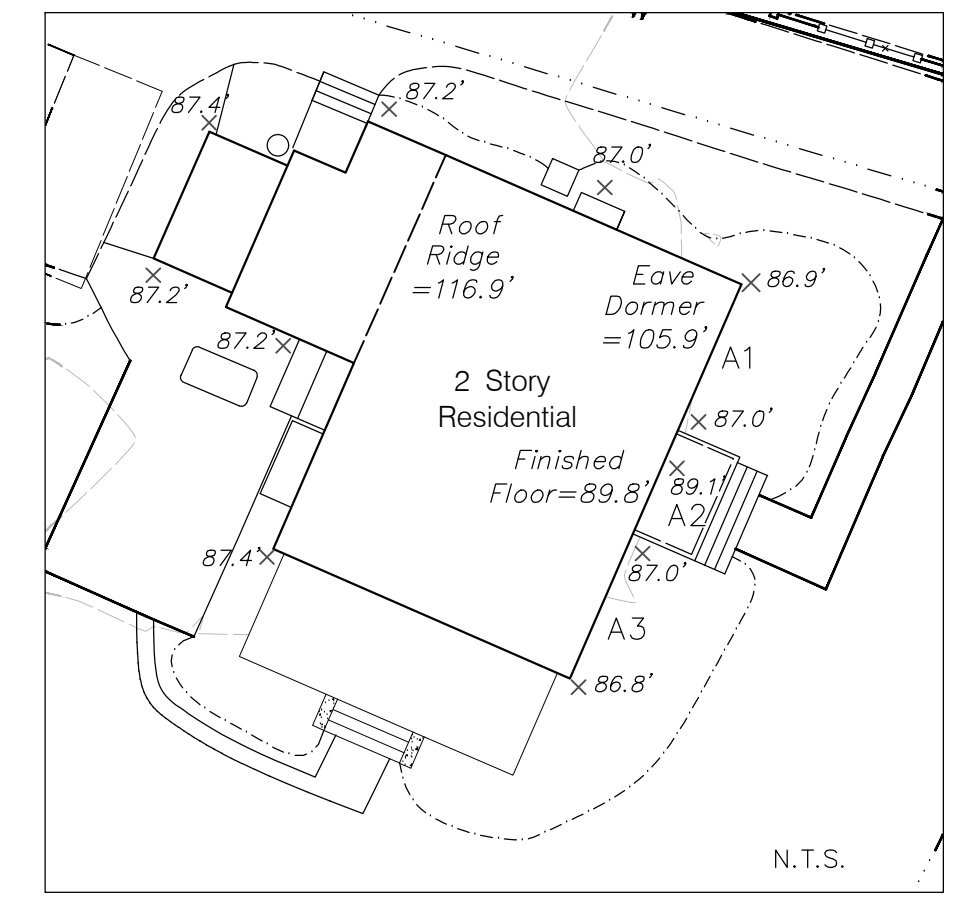


CD-1M DISTRICT	MINIMUM REQUIRED MAXIMUM ALLOWED	EXISTING CONDITIONS	PROPOSED CONDITIONS
FRONT SETBACK	30'	45.2'±	45.2'±
REAR	20'	73.9'±**	73.9'±***
SIDE	10'	18.2'±**	18.2'±****
LOT AREA	12,500 SF	22,123.39 SF	22,123.39 SF
BUILDING COVERAGE	25%	10.5 % (2,326.6 SF)	12.4 % (2,746.6 SF)
IMPERVIOUS SURFACE COVERAGE	35%	13.8 % (3,051.5 SF)	15.7 % (3,471.5 SF)
HEIGHT (MIDPOINT/PEAK)	35'/40'	24.3'±/29.8'±	24.3'±/29.8'±*****
# STORIES	2 1/2	2	2

• EXIST. GARAGE (REAR)=13.0'± *** PROPOSED ADU (REAR)=11.1'±
 ** EXIST. GARAGE (SIDE)=15.9'± **** PROPOSED ADU (SIDE)=18.8'±
 ***** PROPOSED ADU (HEIGHT)=13.7'± (MIDPOINT)=17.7'± (ROOF RIDGE)

- NOTES:**
- This survey and map has been prepared in accordance with the Sections 20-300b-1 through 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Survey and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is an Zoning Location Survey based upon a Dependent Resurvey and conforms to Horizontal Accuracy Class A-2 & Vertical Class T-2. It is intended to depict the position of existing improvements with respect to applicable municipal setback requirements and zoning regulations.
 - Elevations datum is North American Vertical Datum of 1988. Elevations were determined from GPS observations made in accordance with "Guidelines and Specifications for Global Navigation Satellite System Land Surveys in Connecticut" Adopted on June 26, 2008 by the Connecticut Association of Land Surveyors. Contours, spot elevations, rim and sill elevations are for engineering purposes only, and shall not be used as a project benchmarks. User accepts all responsibility and liability for use of this data.
 - Reference is made to maps on file in the Norwalk Town Clerk's Office entitled: A. Map of Plots A, B, & C. Prepared for Omar Fyersen at Norwalk, Conn.' scale: 1"=50', dated: March 26 1963, Record Map#6164 N.L.R.;
 - This office does not accept any liability for errors which may exist in the Record Maps, Plans listed hereon.
 - The underground utilities shown, if any, have been located from visible field survey information. No attempt has been made as a part of this survey to obtain or show data concerning existence, size, depth, condition, capacity or location of any utilities or municipal/public service facilities. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area either in service or abandoned. For information regarding these utilities or facilities, please contact the appropriate agencies.
 - This parcel is subject to utility easements, if any, for overhead and/or underground services. Substructures and/or their encroachments below grade, if any, not shown.
 - All building corner offsets, if any, to boundary lines are from corner boards and not building foundation, unless noted. Distances shown ± are for reference purposes only and are not to be used to establish boundaries.
 - Property is located in "CD-1M" District.
 - Zoning information shown on this map must be reviewed and confirmed by the appropriate City of Norwalk authorities prior to use.
 - No grading is proposed under this project.
 - The construction silt fence must be installed prior to construction begins. All excavated material not required for filling in shall be removed from the site and disposed legally. The contractor shall be on site at all times when construction & excavation activity takes place and shall inspect and document the effectiveness of all erosion and sediment control practices. Restore any disturbed lawn areas with 4" topsoil, fine rake, seed and hay mulch.
 - Proposed calculations are based on architectural plans submitted by the client. It is the contractors responsibility to adjust for siding that will be added to a structure with respect to coverage and setbacks. the surveyor assumes no responsibility for details that are not submitted for his review.
 - This office recommends that the client verifies compliance of all municipal, state, or federal requirements with the Code Enforcement Officer or other applicable parties prior to any design, permitting, and/or construction.
 - Unauthorized alterations or additions to this survey, which bears the surveyor's embossed seal, renders any declaration shown hereon null and void.

CALCULATION OF AVERAGE GRADE & HEIGHT OF RESIDENCE:



AVERAGE GRADE AROUND HOUSE:
 AVERAGE GRADE: 87.4+87.2+87.0+86.9+87.0+87.0+86.8+87.4+87.2+87.2=871.1/10=87.1

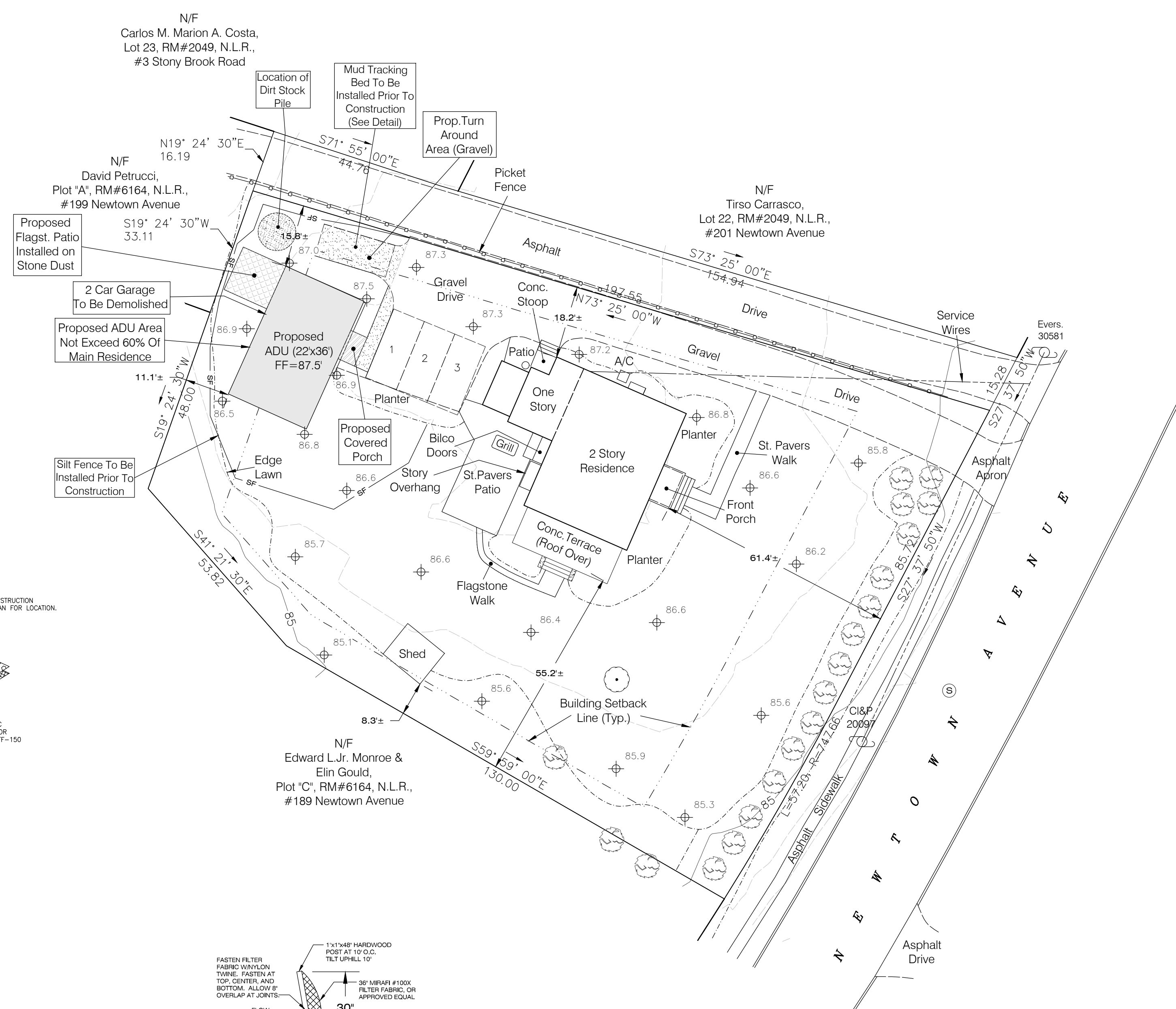
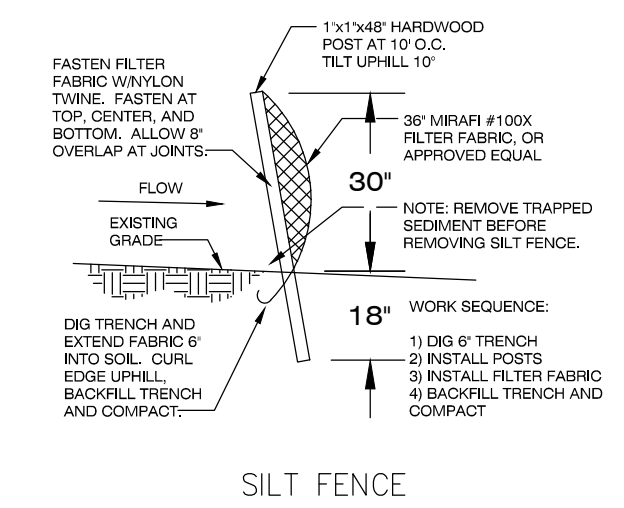
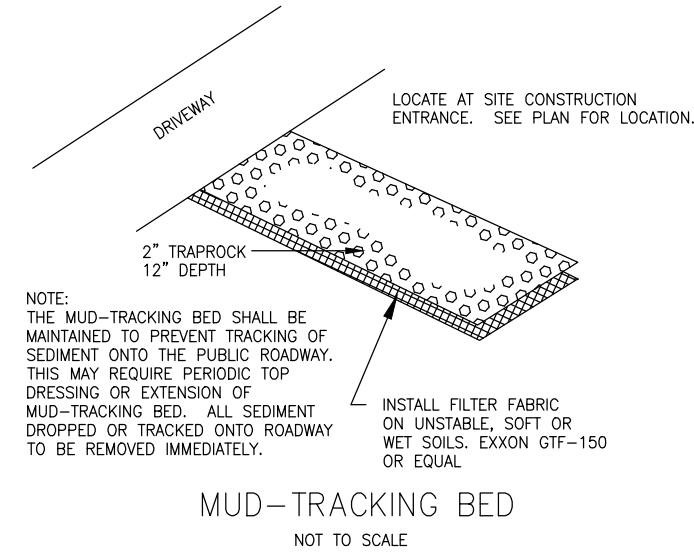
HEIGHT OF RESIDENCE=HEIGHT OF THE MEAN LEVEL-
 AVERAGE GRADE = (116.9'-105.9'/2)+105.9'-87.1'=24.3'

HEIGHT OF PROPOSED ADU=HEIGHT OF THE MEAN LEVEL-
 AVERAGE GRADE = (104.6'-96.6'/2)+96.6'-86.9'=13.7'

AVERAGE GRADE AT FRONT HOUSE:

WALL SEGMENT	ELEVATION 1	ELEVATION 2	AVERAGE (E)	WALL (L)	PRODUCT E X L = Y
A1	86.9	87.0	87.0	14.5	1261.5
A2	89.1	89.1	89.1	10.1	899.9
A3	87.0	86.6	86.9	14.0	1216.6
TOTAL				38.6	3378.0

Y/L = GRADE PLANE
 GRADE PLANE=87.6'
 FRONT HOUSE FACADE
 BASEMENT CEILING EL.
 =89.0-87.6=0.4'(DIF.)



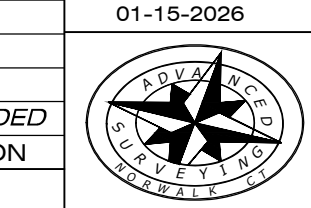
THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE & EMBOSSED SEAL TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON
 Gregory Kogan
 GREGORY KOGAN, LAND SURVEYOR, CONN. LIC.#70112



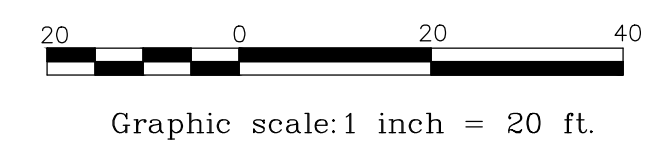
ASSESSORS MAP# 20SW; PARCEL ID: 5-20-2-0
 PROPOSAL: PROPOSED CONDITIONS
 DATE: 02-10-2026

ZONING LOCATION SURVEY
 PREPARED FOR
MICHAEL K. & JUDITH WILSON
 #197 NEWTOWN AVENUE
 NORWALK, CONNECTICUT

DATE:	01-15-2026	SCALE:	1"=20'	SHEET 1 OF 1
NO.	1	DATE	02/10/26	DESCRIPTION
REVISIONS				



ADVANCED SURVEYING
 LAND SURVEYORS
 203.340.4798
 EMAIL: info@landsurveyingct.com



Graphic scale: 1 inch = 20 ft.

Legend

---	EDGE OF PAVEMENT
---	CURB LINE
---	SERVICE WIRES
---	STONE/RETAINING WALL
⊙	SANITARY SEWER MANHOLE
•	SPOT ELEVATIONS
---	EXISTING CONTOURS
⊕	UTILITY POLE
---	BUILDING SETBACK LINE
⊙	TREES (SIZE AND TYPE AS SHOWN)

Norwalk Planning & Zoning Commission

125 East Avenue
Norwalk, Connecticut

June 26, 2026

Memorandum

To: Planning & Zoning Commission – Chapin Bryce, Chair
From: Bryan Baker, AICP, Principal Planner
Re: #2026-42 SPR – Michael Wilson – 197 Newtown Avenue (District 5, Block 20, Lot 2) – Site plan review for the construction of a detached accessory dwelling unit

Commissioners,

The applicant has applied to construct a new detached accessory dwelling unit (ADU) at the rear of their property, 197 Newtown Avenue, located in the CD-1M zone. The proposed ADU complies with all applicable zoning regulations and is before you, as a site plan review application, due to the proposed location of the ADU complying with the accessory structure rear setback and not the principal structure rear setback.

Staff recommends approving the application and offers the following resolution:

Draft resolution to approve:

THEREFORE BE IT RESOLVED by the Norwalk Planning & Zoning Commission that application #2026-42 SPR – Michael Wilson – 197 Newtown Avenue (District 5, Block 20, Lot 2) – Site plan review for the construction of a detached accessory dwelling unit be **APPROVED** subject to the following conditions:

1. That the site shall be developed in accordance with the following plans:
 - a. Per architectural entitled “New Accessory Dwelling Unit (ADU) for: Michael & Judith Wilson,” by LF Garcia Architects LLC, dated May 9, 2026; and
 - b. Per the site survey entitled “Zoning Location Survey prepared for Michael K. & Judith Wilson, #197 Newtown Avenue, Norwalk, Connecticut,” prepared by Advanced Surveying Land Surveyors, dated January 15, 2026; and
2. That any changes to the approved plans shall be submitted to the Commission’s Staff (Staff) for review and approval prior to implementation. If any proposed changes are determined to be substantive, Staff shall refer the changes to the Commission for their review and approval prior to implementation; and
3. That all erosion and sediment controls be installed and maintained prior to the start of any construction or site work and that additional controls be installed at the direction Staff; and
4. That prior to the issuance of a Certificate of Zoning Compliance, the Applicant shall submit a certificate in the form of an affidavit which verifies that the owner resides on the premises and that the minimum rental duration of the accessory dwelling unit is a minimum of six (6) continuous months; and
5. That any and all conditions required by Norwalk Health Department are applicable to this approval; and
6. That any and all conditions required by Norwalk WPCA are applicable to this approval; and
7. That any and all conditions required by Norwalk DPW are applicable to this approval; and
8. That a Connecticut licensed engineer shall certify that all the required improvements, including any required off-site improvements, were installed to City standards prior to the issuance of a Certificate of Zoning Compliance (COZC); and

BE IT FURTHER RESOLVED that this application complies with all applicable sections of the Norwalk Zoning Regulations; and

BE IT FURTHER RESOLVED that the effective date of this action shall be July 10, 2026.

Planning & Zoning Commission

APPLICATION FOR COASTAL SITE PLAN REVIEW

Application must be accompanied by two (2) printed and one (1) digital set of all documents, and appropriate filing fee. Filing Fee: \$310.00 for single or two family use; \$810.00 for all other uses.

RECEIVED

JUN 03 2026

CITY OF NORWALK
PLANNING & ZONING

Application Completion Date:

Official Receipt Date:

Fee Paid:

6/4/26 \$310
#100102

1. Property Address: 20 HARBOR VIEW AVE 2. D/B/L/U: S/SC/23/0

3. Proposed Work: LIFT HOUSE TO BE FLOOD COMPLIANT 4. Zone: B ZONE

5. Applicant Identification:

Applicant Name: TIM RATH
 Address: 9 TWILIGHT PLACE NORWALK CT 06854
 Phone Number: 203-856-9324 Email: SHIPSCUBA@GMAIL.COM
 Interest in Property: fee simple option lessee easement other (specify): _____
 List primary contact for correspondence *if other than applicant* (Agent or Attorney):
 Name: _____
 Address: _____
 Business Phone: _____ Email: _____

6. Property Owner, if different than applicant:

Owner Name: _____
 Address: _____
 Phone Number: _____ Email: _____

7. Project Information:

Please check the appropriate box to identify the plan or application that has resulted in this Coastal Site Plan Review:

- Coastal Site Plan for Zoning Compliance/Zoning Permit
- Subdivision or Resubdivision Application
- Special Permit or Special Exception Application
- Site Plan Review Application
- Variance Application
- Municipal Project (CGS Section 8-24)

6. Project Site Plans:

Please provide project site plans that clearly and accurately depict the following information, and check the appropriate boxes to indicate that the plans are included in this application:

- Project location
- Existing and proposed conditions, including buildings and topography
- All coastal resources on and contiguous to the site
- High tide line [as defined in CGS Section 22a-359(c)] and mean high water mark elevation contours (for parcels abutting coastal waters and/or tidal wetlands only)
- Soil erosion and sediment controls
- Storm water management & treatment practices
- Ownership and type of use on adjacent properties
- Reference datum (i.e., National Geodetic Vertical Datum, Mean Sea Level, etc.)
- Landscaping and planting plan (existing & proposed)
- Utility Plan (existing & proposed: water, drainage, sanitary sewers, electric & gas lines)
- Easements (utility, sight preservation, conservation, pedestrian)

7. Site Information:

- a) Street Address or Geographical Description:
20 HARBOR VIEW AVE NORWALK CT 06854
- b) Is project or activity proposed at a waterfront site (includes tidal wetlands frontage)? YES NO
- c) Name of on-site, adjacent, or downstream coastal, tidal, or navigable waters, if applicable:
NORWALK HARBOR
- d) Identify and describe the existing land use in and adjacent to the site. Include description of any existing structures and significant features on the project site:
RESIDENTIAL
- e) Indicate the area of the project site: _____ acres or 5946 square feet
- f) Check the appropriate box below to indicate total land area of disturbance of the project or activity (please also see Question #9 regarding proposed stormwater best management practices):
- Project or activity will disturb five (5) or more total acres of land area on the site. *Registration for CT DEEP General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities required.*
 - Project or activity will disturb land, but less than five (5) total acres of land area would be disturbed. *A soil erosion and sedimentation control plan must be submitted.*
 - Project or activity will not disturb any land area.
- g) Does the project include a shoreline flood and erosion control structure as defined in CGS section 22a-109(d)? Yes No

8. Description of Proposed Project or Activity:

Describe the proposed project or activity including its purpose and related activities such as site clearing, grading, demolition, and other site preparations; percentage of increase or decrease in impervious cover over existing conditions resulting from the project; phasing, timing and method of proposed construction; and new uses and changes from existing uses (*attach additional pages if necessary*):

LIFTING A SINGLE FAMILY RESIDENCE TO PREVENT REPETIVE FLOODING DAMAGE
SAME FOOT PRINT ..REDUCED BY ELIMINATION EXTERIOR STAIRS FRONT AND BACK.
HOUSE WILL BE PLACED ON PIERS TO LET ANY FLOOD WATERS FLOW UNDER HOUSE
AND BASEMENT WIL BE FILLED IN

9. Description of Proposed Stormwater Best Management Practices:

Describe the stormwater best management practices that will be utilized to ensure that the volume of runoff generated by the first inch of rainfall is retained on-site, especially if the site or stormwater discharge is adjacent to tidal wetlands. If runoff cannot be retained on-site, describe the site limitations that prevent such retention and identify how stormwater will be treated before it is discharged from the site. Also demonstrate that the loadings of total suspended solids from the site will be reduced by 80 percent on an average annual basis, and that post-development stormwater runoff rates and volumes will not exceed pre-development runoff rates and volumes (*attach additional pages if necessary*):

SILT FENSE WILL BE USED TO PREVENT ANY EROSION.

10. Identification of Applicable Coastal Resources and Coastal Resource Policies:

Identify the coastal resources and associated policies that apply to the project by placing a check mark in the appropriate box(es) in the following table.

Coastal Resources	On-site	Adjacent	Off-site but within the influence of project	Not Applicable
General Coastal Resources* - Definition: CGS Section 22a-93(7); Policy: CGS Section 22a-92(a)(2)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Beaches & Dunes - Definition: CGS Section 22a-93(7)(C); Policies: CGS Sections 22a-92-(b)(2)(C) and 22a-92(c)(1)(K)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Bluffs & Escarpments - Definition: CGS Section 22a-93(7)(A); Policy: CGS Section 22a-92(b)(2)(A)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Coastal Hazard Area - Definition: CGS Section 22a-93(7)(H); Policies: CGS Sections 22a-92(a)(2), 22a-92(a)(5), 22a-92(b)(2)(F), 22a-92(b)(2)(J), and 22a-92(c)(2)(B)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Coastal Waters, Estuarine Embayments, Nearshore Waters, Offshore Waters - Definition: CGS Sections 22a-93(5), 22a-93(7)(G), and 22a-93(7)(K), and 22a-93(7)(L) respectively; Policies: CGS Sections 22a-92(a)(2) and 22a-92(c)(2)(A)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Developed Shorefront - Definition: CGS Section 22a-93(7)(I); Policy: 22a-92(b)(2)(G)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Freshwater Wetlands and Watercourses - Definition: CGS Section 22a-93(7)(F); Policy: CGS Section 22a-92(a)(2)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Intertidal Flats - Definition: CGS Section 22a-93(7)(D); Policies: 22a-92(b)(2)(D) and 22a-92(c)(1)(K)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Islands - Definition: CGS Section 22a-93(7)(J); Policy: CGS Section 22a-92(b)(2)(H)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Rocky Shorefront - Definition: CGS Section 22a-93(7)(B); Policy: CGS Section 22a-92(b)(2)(B)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Shellfish Concentration Areas - Definition: CGS Section 22a-93(7)(N); Policy: CGS Section 22a-92(c)(1)(I)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Shorelands - Definition: CGS Section 22a-93(7)(M); Policy: CGS Section 22a-92(b)(2)(I)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Tidal Wetlands - Definition: CGS Section 22a-93(7)(E); Policies: CGS Sections 22a-92(a)(2), 22a-92(b)(2)(E), and 22a-92(c)(1)(B)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

* General Coastal Resource policy is applicable to all proposed activities

11. Consistency with Applicable Coastal Resource Policies and Standards:

Describe the location and condition of the coastal resources identified in Question #10 and explain how the proposed project or activity is consistent with all of the applicable coastal resource policies and standards; also see adverse impacts assessment in Question #14 below (*attach additional pages if necessary*):

EXISTING RESIDENCE THAT HAS BEEN THERE SINCE 1926

12. Identification of Applicable Coastal Use and Activity Policies and Standards:

Identify all coastal policies and standards in or referenced by CGS Section 22a-92 applicable to the proposed project or activity:

- General Development* - CGS Sections 22a-92(a)(1), 22a-92(a)(2), and 22a-92(a)(9)
- Water-Dependent Uses** - CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A); Definition CGS Section 22a-93(16)
- Ports and Harbors - CGS Section 22a-92(b)(1)(C)
- Coastal Structures and Filling - CGS Section 22a-92(b)(1)(D)
- Dredging and Navigation - CGS Sections 22a-92(c)(1)(C) and 22a-92(c)(1)(D)
- Boating - CGS Section 22a-92(b)(1)(G)
- Fisheries - CGS Section 22a-92(c)(1)(I)
- Coastal Recreation and Access - CGS Sections 22a-92(a)(6), 22a-92(C)(1)(j) and 22a-92(c)(1)(K)
- Sewer and Water Lines - CGS Section 22a-92(b)(1)(B)
- Fuel, Chemicals and Hazardous Materials - CGS Sections 22a-92(b)(1)(C), 22a-92(b)(1)(E) and 22a-92(c)(1)(A)
- Transportation - CGS Sections 22a-92(b)(1)(F), 22a-92(c)(1)(F), 22a-92(c)(1)(G), and 22a-92(c)(1)(H)
- Solid Waste - CGS Section 22a-92(a)(2)
- Dams, Dikes and Reservoirs - CGS Section 22a-92(a)(2)
- Cultural Resources - CGS Section 22a-92(b)(1)(J)
- Open Space and Agricultural Lands - CGS Section 22a-92(a)(2)

* General Development policies are applicable to all proposed activities

** Water-dependent Use policies are applicable to all activities proposed at waterfront sites, including those with tidal wetlands frontage.

13. Consistency With Applicable Coastal Use Policies and Standards:

Explain how the proposed activity or use is consistent with all of the applicable coastal use and activity policies and standards identified in Question #12. **For projects proposed at waterfront sites (including those with tidal wetlands frontage),** particular emphasis should be placed on the evaluation of the project’s consistency with the water-dependent use policies and standards contained in CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A) -- also see adverse impacts assessment in Question #15 below (attach additional pages if necessary):

14. Identification of Potential Adverse Impacts on Coastal Resources: (Must be completed for ALL projects.)

Identify the adverse impact categories below that apply to the proposed project or activity.

The ‘applicable’ column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(15). If an adverse impact **may result** from the proposed project or activity, please use Question #16 to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Coastal Resources	Applicable	Not Applicable
Degrading tidal wetlands, beaches and dunes, rocky shorefronts, and bluffs and escarpments through significant alteration of their natural characteristics or functions - CGS Section 22a-93(15)(H)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones - CGS Section 22a-93(15)(E)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Degrading existing circulation patterns of coastal water through the significant alteration of patterns of tidal exchange or flushing rates, freshwater input, or existing basin characteristics and channel contours - CGS Section 22a-93(15)(B)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Degrading natural or existing drainage patterns through the significant alteration of groundwater flow and recharge and volume of runoff - CGS Section 22a-93(15)(D)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Degrading natural erosion patterns through the significant alteration of littoral transport of sediments in terms of deposition or source reduction - CGS Section 22a-93(15)(C)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Degrading visual quality through significant alteration of the natural features of vistas and view points - CGS Section 22a-93(15)(F)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Degrading water quality through the significant introduction into either coastal waters or groundwater supplies of suspended solids, nutrients, toxics, heavy metals or pathogens, or through the significant alteration of temperature, pH, dissolved oxygen or salinity - CGS Section 22a-93(15)(A)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Degrading or destroying essential wildlife, finfish, or shellfish habitat through significant alteration of the composition, migration patterns, distribution, breeding or other population characteristics of the natural species or significant alterations of the natural components of the habitat - CGS Section 22a-93(15)(G)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Degrading tidal wetlands, beaches and dunes, rocky shorefronts, and bluffs and escarpments through significant alteration of their natural characteristics or functions - CGS Section 22a-93(15)(H)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones - CGS Section 22a-93(15)(E)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

15. Identification of Potential Adverse Impacts on Water-dependent Uses: (Complete only if the project/activity is proposed at a waterfront site.)

a) Identify the adverse impact categories below that apply to the proposed project or activity. The applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(17). If an adverse impact **may result** from the proposed project or activity, use Question #16 to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Future Water-dependent Development Opportunities and Activities	Applicable	Not Applicable
Locating a non-water-dependent use at a site physically suited for or planned for location of a water-dependent use - CGS Section 22a-93(17)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Replacing an existing water-dependent use with a non-water-dependent use - CGS Section 22a-93(17)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Siting a non-water-dependent use which would substantially reduce or inhibit existing public access to marine or tidal waters - CGS Section 22a-93(17)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

b) Identification of existing and/or proposed Water-dependent Uses:

Describe the features or characteristics of the proposed activity or project that qualify as water-dependent uses as defined in CGS Section 22a-93(16). If general public access to coastal waters is provided, please identify the legal mechanisms used to ensure public access in perpetuity, and describe any provisions for parking or other access to the site and proposed amenities associated with the access (e.g., boardwalk, benches, trash receptacles, interpretative signage, etc.) *:

N/A

*If there are no water-dependent use components, describe how the project site is not appropriate for the development of a water-dependent use.

20 HRC005 VIEW N/A

16. Mitigation of Potential Adverse Impacts:

Explain how all potential adverse impacts on coastal resources and/or future water-dependent development opportunities and activities identified in Questions #14 & #15 have been avoided, eliminated, or minimized (attach additional pages if necessary):

N/A

17. Remaining Adverse Impacts:


Explain why any remaining adverse impacts resulting from the proposed activity or use have not been mitigated and why the project as proposed is consistent with the Connecticut Coastal Management Act (attach additional pages if necessary):

N/A

By signing this application, the applicant or his/her agent certifies that they are familiar with the information provided in this application and are aware of the penalties for obtaining a permit through deception or by submission of inaccurate or misleading information.

By signing this application, permission is hereby given to necessary and proper inspection of the subject property by the Commissioners and designated staff of the Commission or consultants to the Commission, at reasonable times, during the pendency of the application.

Applicant's Signature: _____



DATE: _____

6/3/26

Agent's Signature: _____

DATE: _____

ZONING LOCATION SURVEY

OF PROPERTY PREPARED FOR

TIMOTHY D. RATH

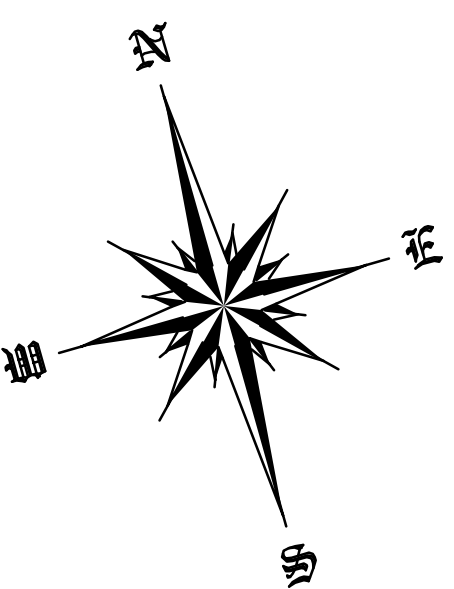
#20 HARBOR VIEW AVENUE, NORWALK, CONNECTICUT

SCALE: 1" = 10' DATE: JUNE 29, 2017

BY "ARCAMONE LAND SURVEYORS, LLC"

4 TAFT STREET, UNIT A-2B
S. NORWALK, CT 06854
PHONE : 203-866-2058
FAX : 203-838-1217
www.ArcamoneSurveyors.com

MAP NORTH #252 N.L.R.



NORWALK HARBOR

x 1.4

x 1.1

x 0.8

x 1.7

x 1.5

NOTE: EXISTING BUILDING OVER 3 YEARS OLD

	REQUIRED/ALLOWED	EXISTING	PROPOSED
FRONT SETBACK	30'	MIN. 32.8'±	
REAR	15'	MIN. 41'±	
SIDE	6'	MIN. 2.8'±	
AGGREGATE SIDE	12'	MIN. 7.3'±	
ALL PLANS		MIN. 40'	
LOT AREA	50'	MIN. 6,250sf	5,946sf ±
HEIGHT	(39' TO PEAK)	MIN. 271'±/23.5'±	
# OF STORIES	3 1/2	MAX. 2	
LOT COVERAGE STRUCTURE	2089sf	MAX. 2319sf	

X 7.9 = EXISTING SPOT ELEVATION - DATUM IS REFERENCED TO N.A.V.D. 1988
THIS SURVEY MEETS THE STANDARD OF A CLASS "A-2" SURVEY, "A-2" VERTICAL ACCURACY.
SURVEY TYPE : ZONING LOCATION SURVEY
BOUNDARY DETERMINATION : RESURVEY

THIS SURVEY AND MAP WERE PREPARED IN ACCORDANCE WITH THE "RECOMMENDED STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT", SEC. 20-300b-1 TO 20-300b-20, EFFECTIVE: JUNE 21, 1998 AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS INC., SEPTEMBER 26, 1996

THE CERTIFICATION SHOWN ABOVE RELIES TO THE PERSON(S) FOR WHOM THE SURVEY WAS PREPARED AND ANY GOVERNMENTAL AGENCY, TITLE INSURANCE CO., OR LENDING INSTITUTION WHOSE NAME APPEARS ABOVE. CERTIFICATION IS NOT TRANSFERABLE & ANY UNAUTHORIZED USE IN WHOLE OR IN PART IS STRICTLY PROHIBITED.
WETLAND OR WETLAND SOIL TYPES IF ANY, ARE NOT DEPICTED
UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS IF ANY, ARE NOT DEPICTED

THIS MAP IS INVALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.

REFERENCES TO THE ABOVE PROPERTY ARE MADE TO MAP NO. 252 N.L.R.

TAX MAP 165E BLOCK 85C TAX LOT 23 DISTRICT 5

PROPERTY IS LOCATED IN ZONE : "B" RESIDENCE

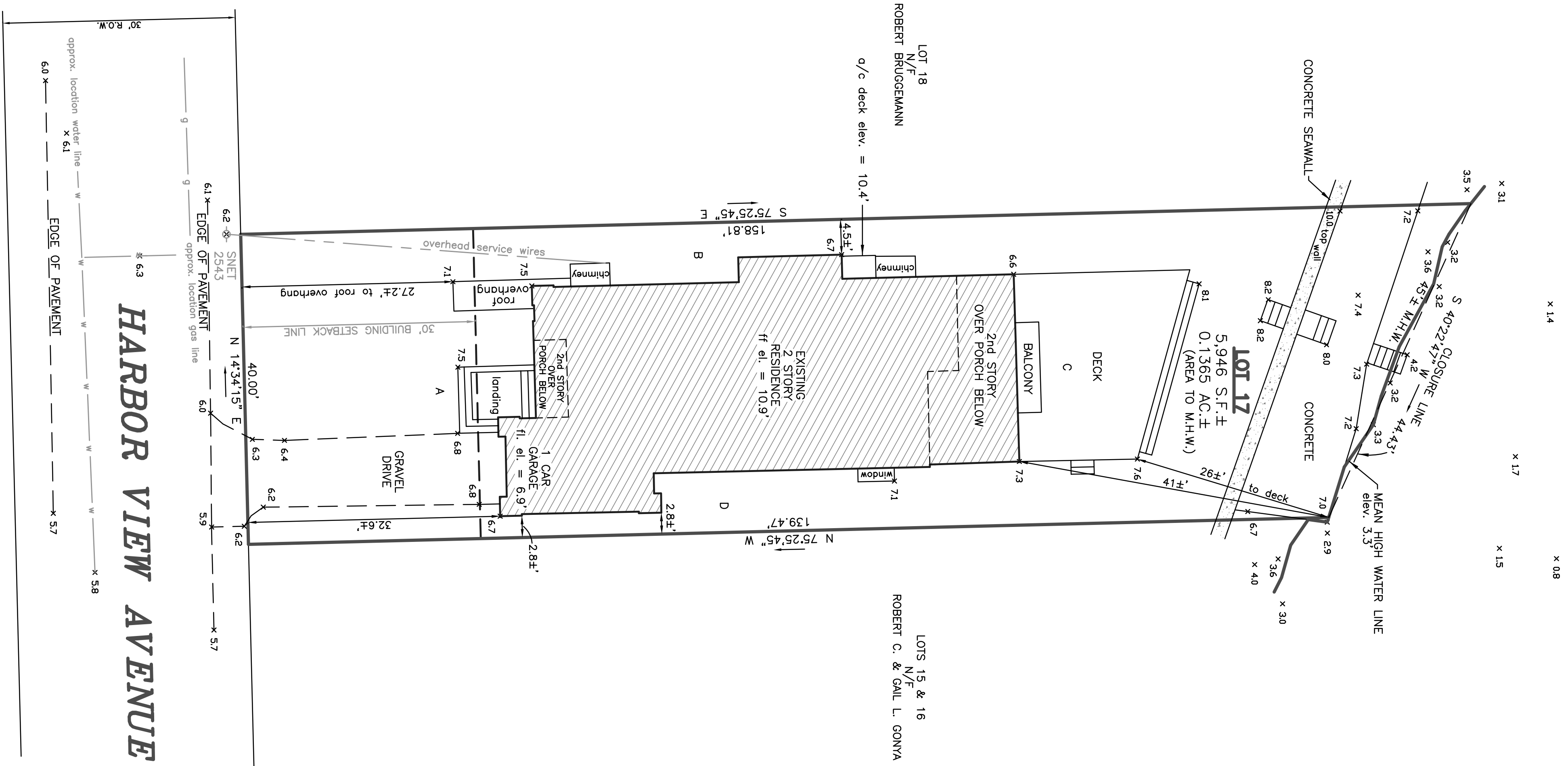
F.I.R.M. ZONE : "VE" (el. 19) PANEL 533 of 626 MAP NO. 0900100533G DATE 7/8/13

PROPERTY LIES WITHIN THE COASTAL AREA MANAGEMENT BOUNDARY

DISTANCES SHOWN +/- FROM BUILDINGS TO PROPERTY LINES ARE NOT TO BE USED TO ESTABLISH BOUNDARIES.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

WYATT J. ARCAMONE, LAND SURVEYOR, NORWALK, CONN. CONNECTICUT REG # 15773



AVERAGE GRADE AROUND HOUSE

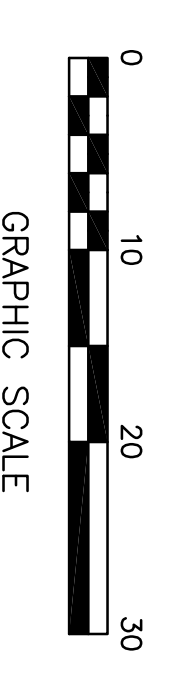
WALL SEGMENT	ELEVATION 1	ELEVATION 2	AVERAGE (E)	WALL (L)	PRODUCT E x L = Y
A	6.7	7.5	7.1	29.6'	210.16
B	7.5	6.6	7.05	62.2'	438.51
C	6.6	7.3	6.95	24.2'	168.19
D	7.3	6.7	7.0	67.1'	469.70
TOTAL				183.1'	1286.56

GRADE PLANE = 7.0'

AVERAGE GRADE AT FRONT HOUSE

WALL SEGMENT	ELEVATION 1	ELEVATION 2	AVERAGE (E)	WALL (L)	PRODUCT E x L = Y
A	6.7	7.5	7.1	29.6'	210.16

Y + L = GRADE PLANE
GRADE PLANE = 7.1'
FRONT HOUSE FACADE
BASEMENT CEILING EL. = 10.1'
10.1' - 7.1' = 3.0' (DIFF.)





IMPROVEMENT LOCATION SURVEY - PROPOSED

OF PROPERTY PREPARED FOR

TIMOTHY D. RATH

#20 HARBOR VIEW AVENUE, NORWALK, CONNECTICUT

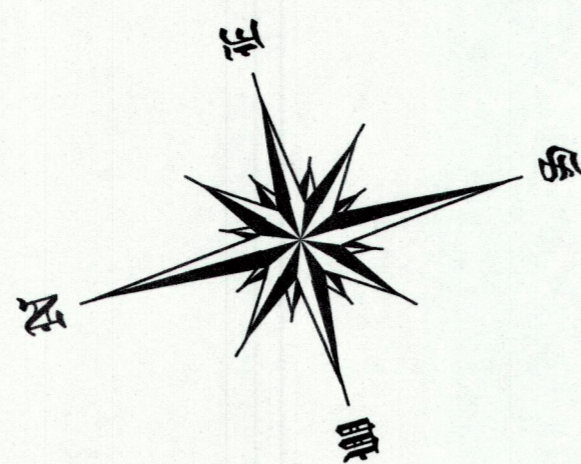
SCALE: 1" = 10'

DATE: JUNE 29, 2017

BY "TELEP & ARCAMONE LAND SURVEYORS LLC"

4 TAFT STREET, UNIT A-2B
S. NORWALK, CT. 06854
PHONE : 203-866-2058
www.ArcamoneSurveyors.com

MAP NORTH #252 N.L.R.



NOTE: EXISTING BUILDING OVER 3 YEARS OLD

	REQUIRED/ALLOWED	EXISTING	PROPOSAL
FRONT SETBACK (OPEN PORCH 20')	30'	32.6'±	32.6'±
REAR	15'***	41'±	41'± / 20'± to
SIDE	6'	4.5'±/2.8'±	4.5'±/2.8'±
LOT WIDTH	50'	40'	40'
LOT AREA	6,250sf MIN.	5,946sf±	5,946sf±
HEIGHT	MID ROOF	32' MAX.	23.7'±*
	PEAK ROOF	40' MAX.	27.3'±*
# OF STORIES		2 1/2 MAX.	2**
			2**
BUILDING SITE AREA :	35%/2081sf MAX.	28.8%/1713sf	28.9%/1721sf
IMPERVIOUS SURFACE COVERAGE :	50%/2973sf MAX.	53.0%/3149sf***	50.0%/2971sf***
ACCESSORY BUILDINGS :			
FRONT SETBACK	50'	MIN.	
REAR	5'	MIN.	
SIDE	6'	MIN.	
HEIGHT	MID ROOF	15'	MAX.
	PEAK ROOF	20'	MAX.
# OF STORIES	1 1/2	MAX.	

* USING FINISHED GRADE MEASURED BY AVERAGING THE LOWEST EXTERIOR GROUND ELEVATIONS ON THE SAME LOT OR BUILDING SITE WITHIN 10' OF DESIGNATED SAMPLE POINTS, SUCH SAMPLE POINTS BEING LOCATED APPROXIMATELY 5' APART ALONG A LINE LOCATED 10' OUTSIDE OF THE BUILDING AND/OR STRUCTURE.

(7.1) = SAMPLE ELEVATION USED

AVERAGE EXISTING GRADE AROUND HOUSE = 6.8' AVERAGE PROPOSED GRADE AROUND HOUSE = 7.1'

** AVERAGE GRADE AT FRONT EXISTING HOUSE = 7.1' AVERAGE PROPOSED GRADE AT FRONT HOUSE = 7.1' EXISTING BASEMENT CEILING ELEVATION = 10.1' 10.1' - 7.1' = 3.0' (DIFFERENCE)

*** EXISTING CRUSHED STONE/GRAVEL DRIVEWAY & AREAS ARE INCLUDED IN IMPERVIOUS SURFACE COVERAGE COMPUTATIONS UNLESS AN ENGINEER'S CERTIFICATION CAN DETERMINE THE DRIVE HAS A RUN-OFF COEFFICIENT OF LESS THAN 25%. PROPOSED NEW GRAVEL DRIVE IS NOT INCLUDED.

**** SEE ARTICLE 6.9.5 PROVISIONS FOR FLOOD HAZARD REDUCTION D(1) & ARTICLE 6.10.3 EXEMPTIONS 1(e)

X 7.9 = EXISTING SPOT ELEVATION - DATUM IS REFERENCED TO N.A.V.D. 1988

THIS SURVEY MEETS THE STANDARD OF A CLASS "A-2" SURVEY, "V-2" VERTICAL ACCURACY.

SURVEY TYPE : IMPROVEMENT LOCATION SURVEY - PROPOSED
BOUNDARY DETERMINATION : RESURVEY

THIS SURVEY AND MAP WERE PREPARED IN ACCORDANCE WITH THE "RECOMMENDED STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT", SEC. 20-300b-1 to 20-300b-20, EFFECTIVE; JUNE 21, 1996 AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS INC., SEPTEMBER 26, 1996

THE CERTIFICATION SHOWN ABOVE RUNS TO THE PERSON(S) FOR WHOM THE SURVEY WAS PREPARED AND ANY GOVERNMENTAL AGENCY, TITLE INSURANCE CO., OR LENDING INSTITUTION WHOSE NAME APPEARS ABOVE. CERTIFICATION IS NOT TRANSFERABLE & ANY UNAUTHORIZED USE IN WHOLE OR IN PART IS STRICTLY PROHIBITED.

WETLAND OR WETLAND SOIL TYPES IF ANY, ARE NOT DEPICTED

UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS IF ANY, ARE NOT DEPICTED

THIS MAP IS INVALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.

REFERENCES TO THE ABOVE PROPERTY ARE MADE TO MAP No. 252 N.L.R.

TAX MAP 16SE BLOCK 85C TAX LOT 23 DISTRICT 5

PROPERTY IS LOCATED IN ZONE : "CD-1S" SUB-URBAN SINGLE FAMILY COMMUNITY DISTRICT

F.I.R.M. ZONE : "VE" (el. 15) PANEL 533 of 626 MAP NO. 09001C0533G DATE 7/8/13

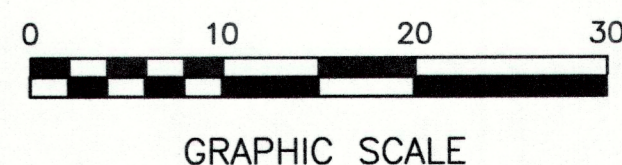
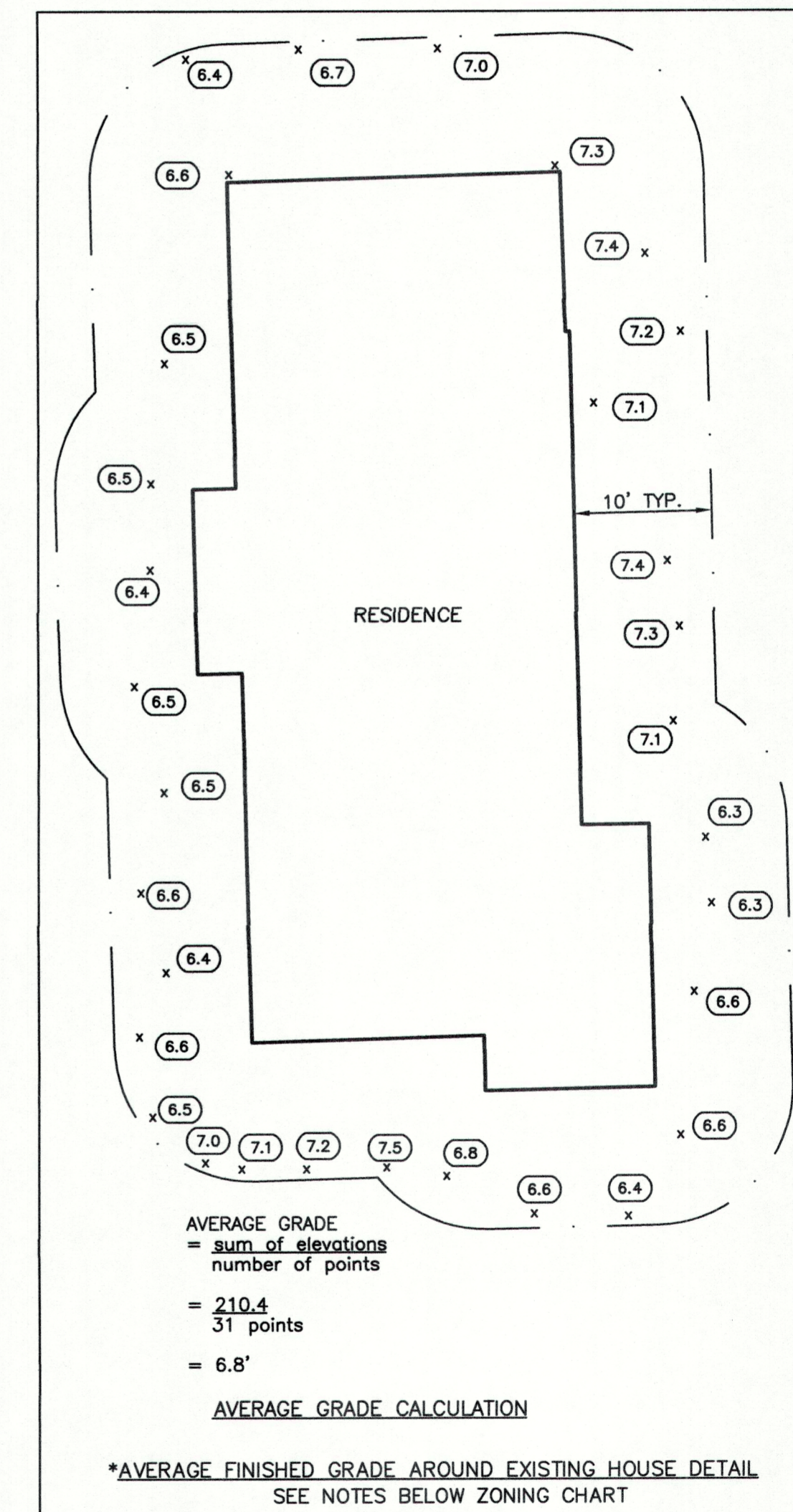
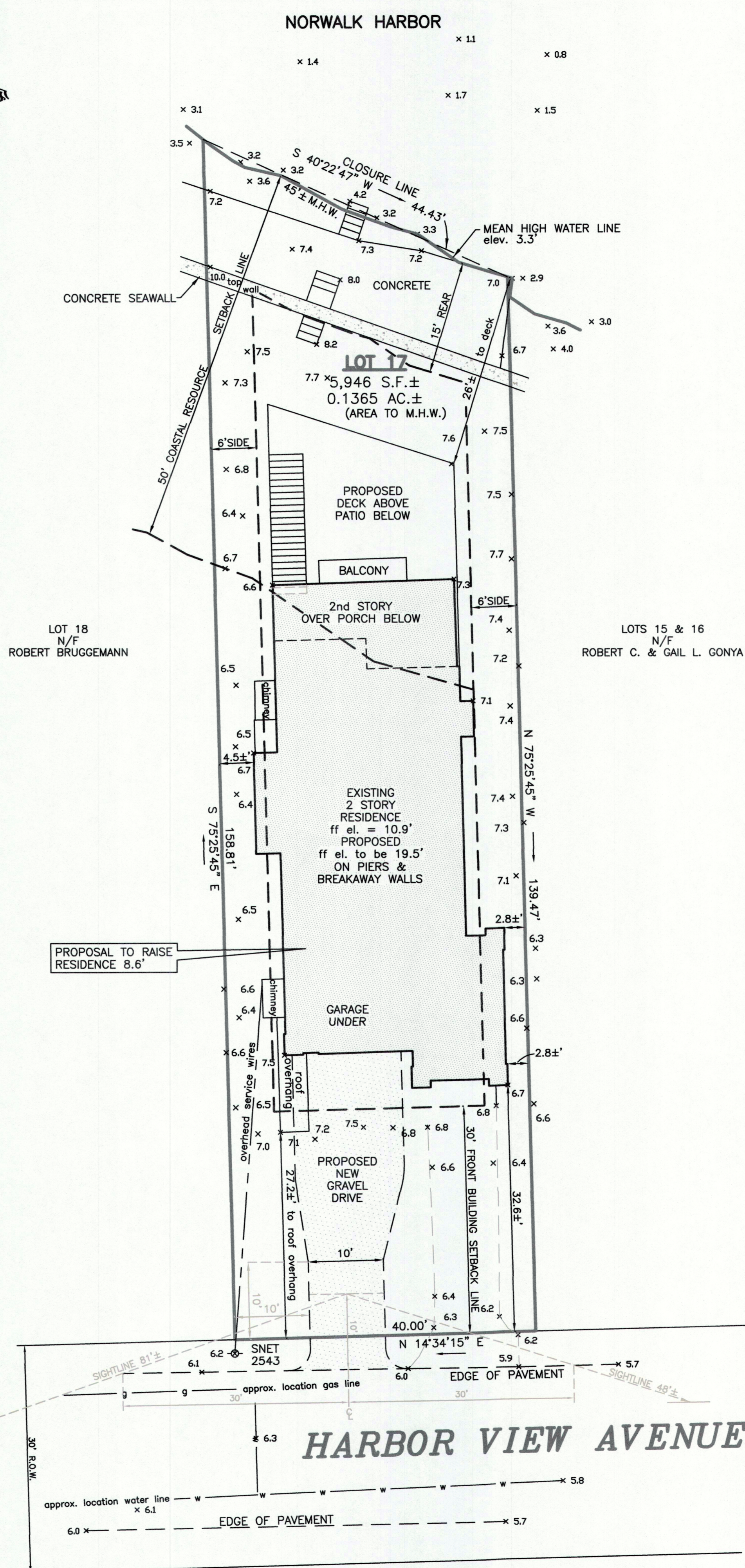
PROPERTY LIES WITHIN THE COASTAL AREA MANAGEMENT BOUNDARY

DISTANCES SHOWN +/- FROM BUILDINGS TO PROPERTY LINES ARE NOT TO BE USED TO ESTABLISH BOUNDARIES.

"TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON"

JACOB P. TELEP, LAND SURVEYOR

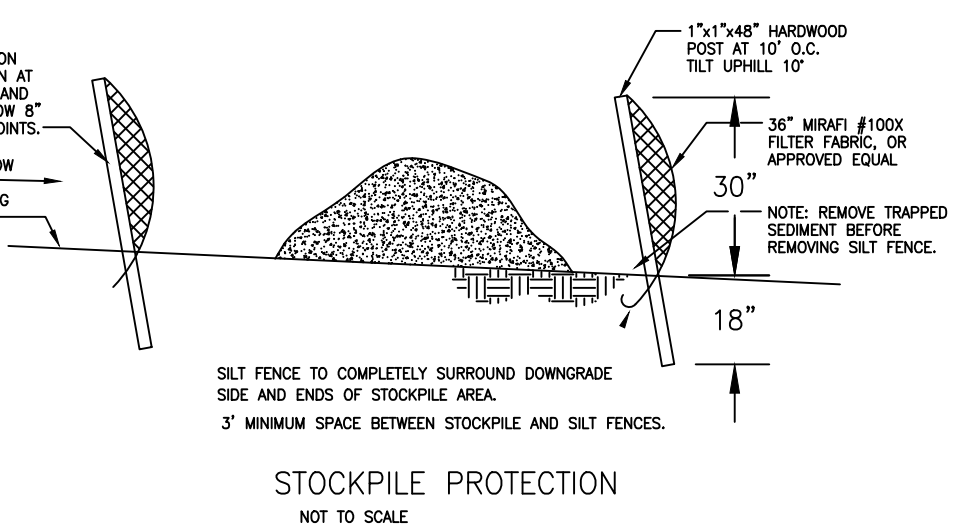
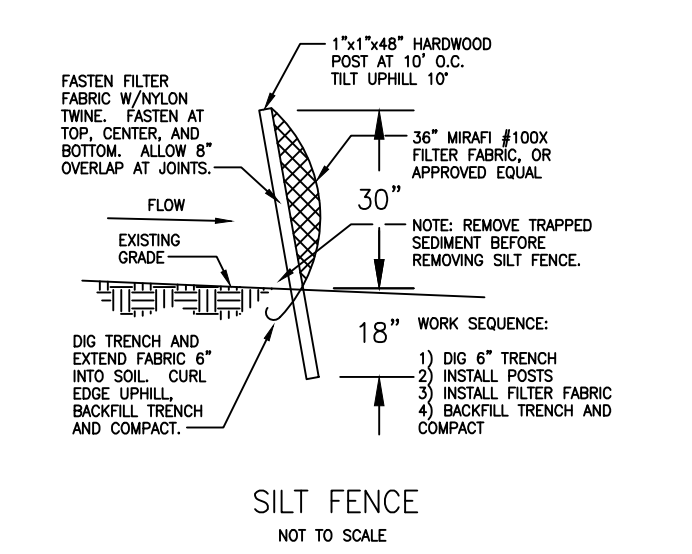
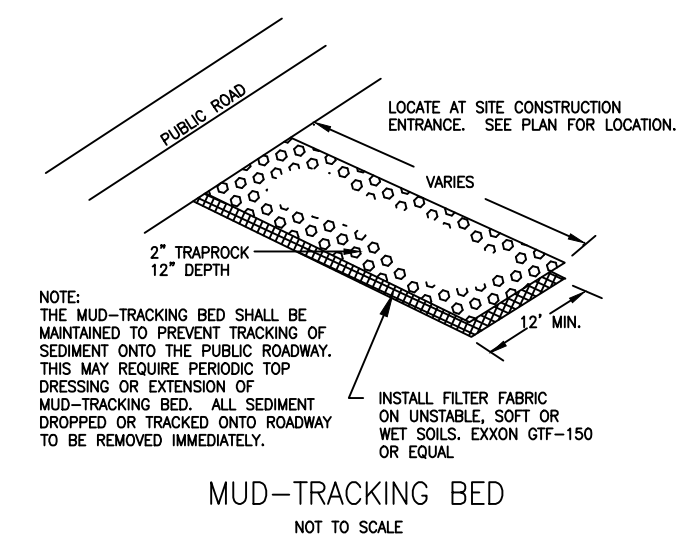
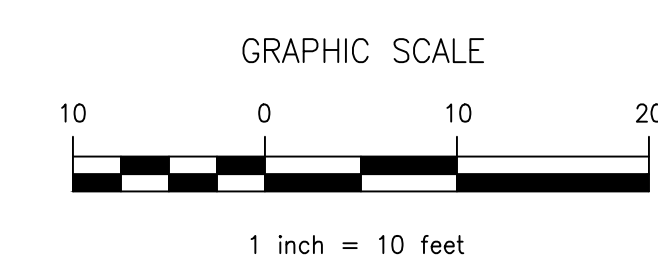
CONNECTICUT REG # 70571



DATE	DESCRIPTION	BY
06/18/26	PROPOSAL TO RAISE HOUSE	AAT
02/11/25	UPDATE WITH NEW ZONING REGS.	AAT
	REVISIONS	

GENERAL CONSTRUCTION NOTES:

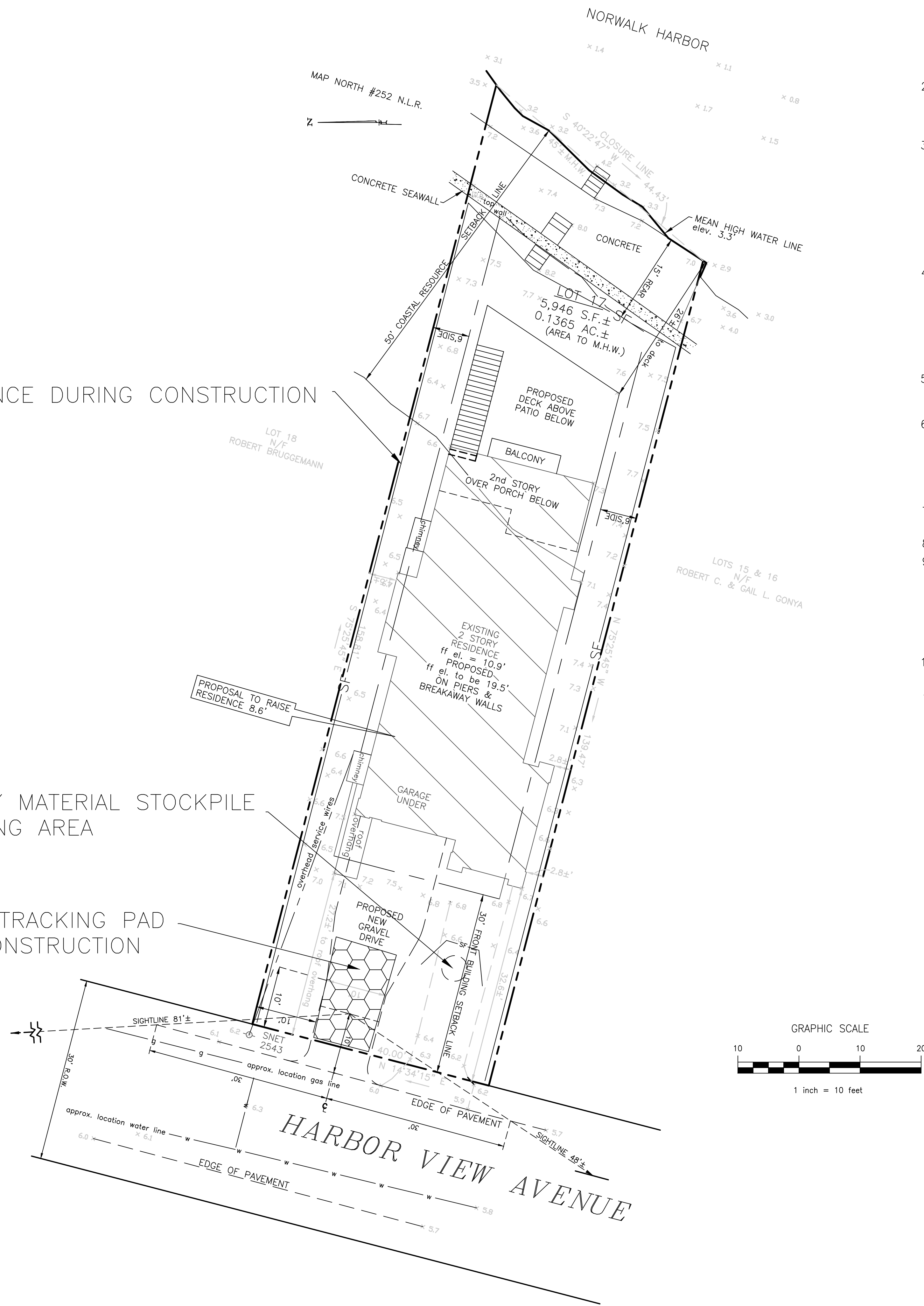
- CONSTRUCTION AND STRUCTURES SHALL COMPLY WITH ALL MUNICIPAL OR STATE REQUIREMENTS. ALL WORK SHALL BE CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER, TO THE SATISFACTION OF THE ENGINEERING BUREAU, THAT CONSTRUCTION IS IN ACCORDANCE WITH THESE PLANS.
- THE ENGINEERING BUREAU OF THE DEPARTMENT OF PUBLIC WORKS AND THE ENGINEER OF RECORD SHALL BE NOTIFIED THREE DAYS PRIOR TO THE COMMENCEMENT OF EACH PHASE OF CONSTRUCTION.
- NO CERTIFICATE OF CONFORMANCE TO STANDARDS SHALL BE ISSUED BY THE DESIGN ENGINEER IF PROPER NOTICE IS NOT PROVIDED FOR INSPECTIONS OR IF INSPECTIONS ARE NOT MADE PRIOR TO BACKFILLING OF BELOW GROUND STRUCTURES AND APPURTENANCES. THE CONTRACTOR MUST CONTACT THE ENGINEER TO SCHEDULE A WALKTHRU OF THE ENTIRE PROPERTY BEFORE CERTIFICATION CAN BE ISSUED. A DETAILED AS BUILT FROM A LICENSED SURVEYOR OF ALL DRAINAGE ITEMS' LOCATION AND ELEVATIONS WILL BE REQUIRED BEFORE CERTIFICATION.
- SUBSURFACE STRUCTURES AND UTILITIES HAVE BEEN DETERMINED FROM EXISTING RECORDS AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE. IN ORDER TO AVOID CONFLICT OF THE PROPOSED WORK AND EXISTING UTILITIES, THE CONTRACTOR SHALL LOCATE EXISTING UTILITIES BY EXCAVATING TEST HOLES. IF THE CONTRACTOR DETERMINES THAT A CONFLICT EXISTS, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER, WHO WILL MAKE THE NECESSARY ADJUSTMENTS.
- EXISTING PROPERTY AND UTILITY INFORMATION WAS TAKEN FROM A SURVEY BY TELEP AND ARCAMONE LAND SURVEYORS LLC TITLED "IMPROVEMENT LOCATION SURVEY PREPARED FOR TIMOTHY RATH", DATED JUNE 18, 2026.
- ALL SANITARY SEWER PIPE SHALL BE EITHER SDR-35 P.V.C. (ASTM D-3034) OR CLASS 52 DUCTILE IRON (ANSI A 21-51), AS INDICATED ON THE PLANS, UNLESS OTHERWISE INDICATED. ALL SANITARY SEWER PIPE SHALL HAVE RUBBER GASKET SLIP-TYPE JOINTS. INFILTRATION INTO SANITARY SEWERS SHALL NOT EXCEED 150 GALLONS PER INCH OF PIPE DIAMETER PER MILE OF PIPE IN 24 HOURS.
- THESE PLANS ARE FOR MUNICIPAL OR STATE AGENCY APPROVAL ONLY. NOT FOR CONSTRUCTION.
- NO PIPE SHALL HAVE A BEND OF GREATER THAN 45 DEGREES.
- THE CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455, OR OTHER APPROPRIATE CONTACT POINT PRIOR TO START OF CONSTRUCTION.
- ALL UTILITY LOCATIONS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM THE LOCATION OF THE UTILITIES IN THE FIELD BY WHATEVER MEANS HE DEEMS PRUDENT.
- THIS DESIGN CONFORMS TO APPLICABLE CODES AND ACCEPTED PRACTICE, NO OTHER WARRANTY IS EXPRESSED OR IMPLIED.
- TOTAL SITE AREA = 0.1365 ACRES



SILT FENCE DURING CONSTRUCTION

TEMPORARY MATERIAL STOCKPILE AND STAGING AREA

MUD ANTI TRACKING PAD DURING CONSTRUCTION



SEDIMENTATION AND EROSION CONTROL NOTES

- LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM. PERMANENT STABILIZATION SHALL BE SCHEDULED AS SOON AS FINAL GRADES ARE ESTABLISHED.
- ALL DISTURBED AREAS SHALL BE FINE GRADED AND SEEDED WITH AN APPROVED SEED MIXTURE. COVER NEWLY SEEDED AREAS WITH MULCH HAY OR SALT HAY.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE 2023 CONNECTICUT 'GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL' HANDBOOK.
- ALL CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. CHECK AFTER EACH STORM EVENT.
- ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF REQUIRED BY TOWN AUTHORITIES.
- SEDIMENT DEPOSITS REMOVED FROM FILTER BARRIERS SHALL BE PLACED IN FILL AREAS OR SPREAD WHERE THERE IS PROPOSED VEGETATIVE COVER. ANY SEDIMENT DEPOSITS REMAINING AFTER THE FILTER BARRIER IS REMOVED SHALL BE FINE GRADED AND PLANTED ACCORDING TO PLAN.
- THE SITE CONSTRUCTION CONTRACTOR IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFYING THE PLANNING AND ZONING OFFICE (AND/OR THE CONSERVATION COMMISSION) OF ANY TRANSFER OF THIS RESPONSIBILITY AND CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED TO A NEW OWNER.



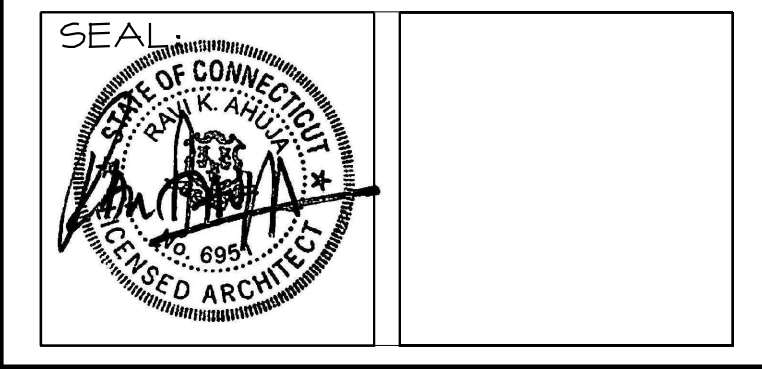
TIM RATH	
20 HARBORVIEW AVENUE NORWALK, CONNECTICUT	
SEDIMENTATION AND EROSION CONTROL PLAN	
CIVIL ENGINEERS	2852 project
FAIRFIELD COUNTY ENGINEERING L.L.C.	
60 WINFIELD STREET, NORWALK, CONNECTICUT 06855 PH: (203) 831-8005 wayne@fairfieldce.com	
1 OF 1 sheet	

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NO	DATE	ISSUE/REVISION
1	10.31.24	
2	05.27.26	
3	06.15.26	
4		

Project:
PROPOSED ALTERATIONS TO EXISTING
20 HARBOR VIEW AVE.
NORWALK, CT 06854
 FOR
TIM RATH

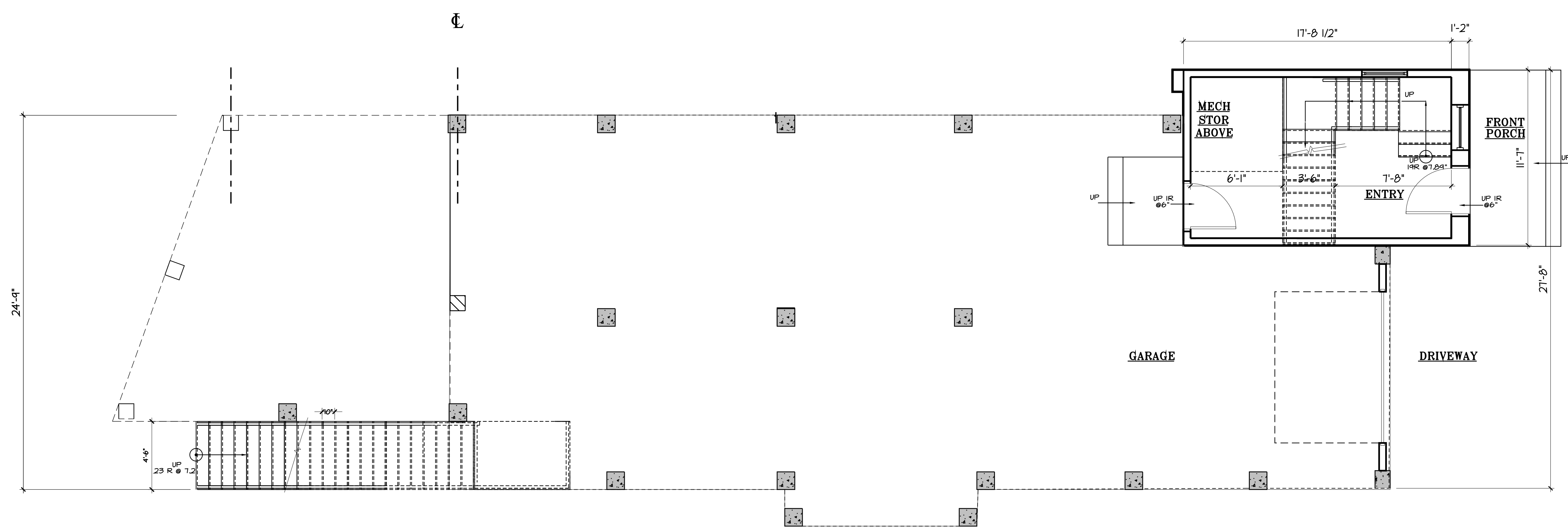
Consultant:



RAVI AHUJA, ARCHITECT
AWA DESIGN GROUP P.C.
 ARCHITECTURE DESIGN PLANNING
 401 Shippan Ave., Suite-202 Stamford, CT 06902
 Phone: 203-325-4121 Fax: 203-325-4123
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PROJECT NO.	2421	A.01
DRAWN BY:	SS	
ISSUED:	10.10.24	
SCALE AS NOTED	DWG. NO.	

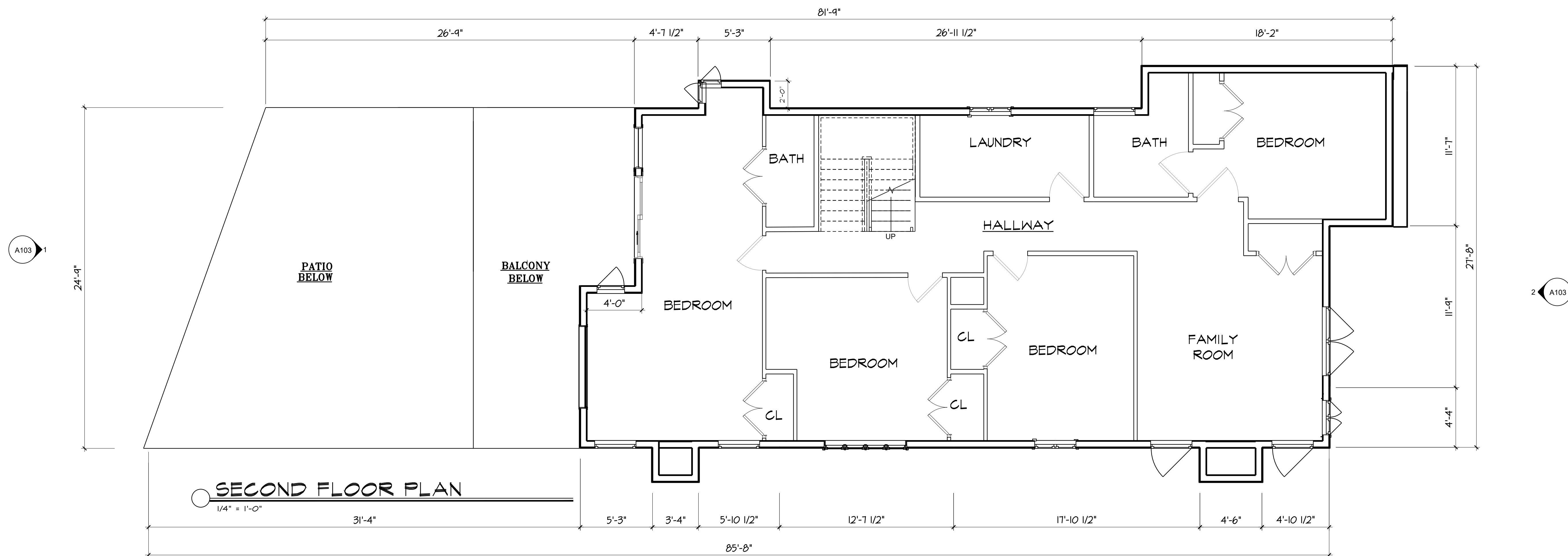
DRAWING TITLE:
PROPOSED BASEMENT PLAN



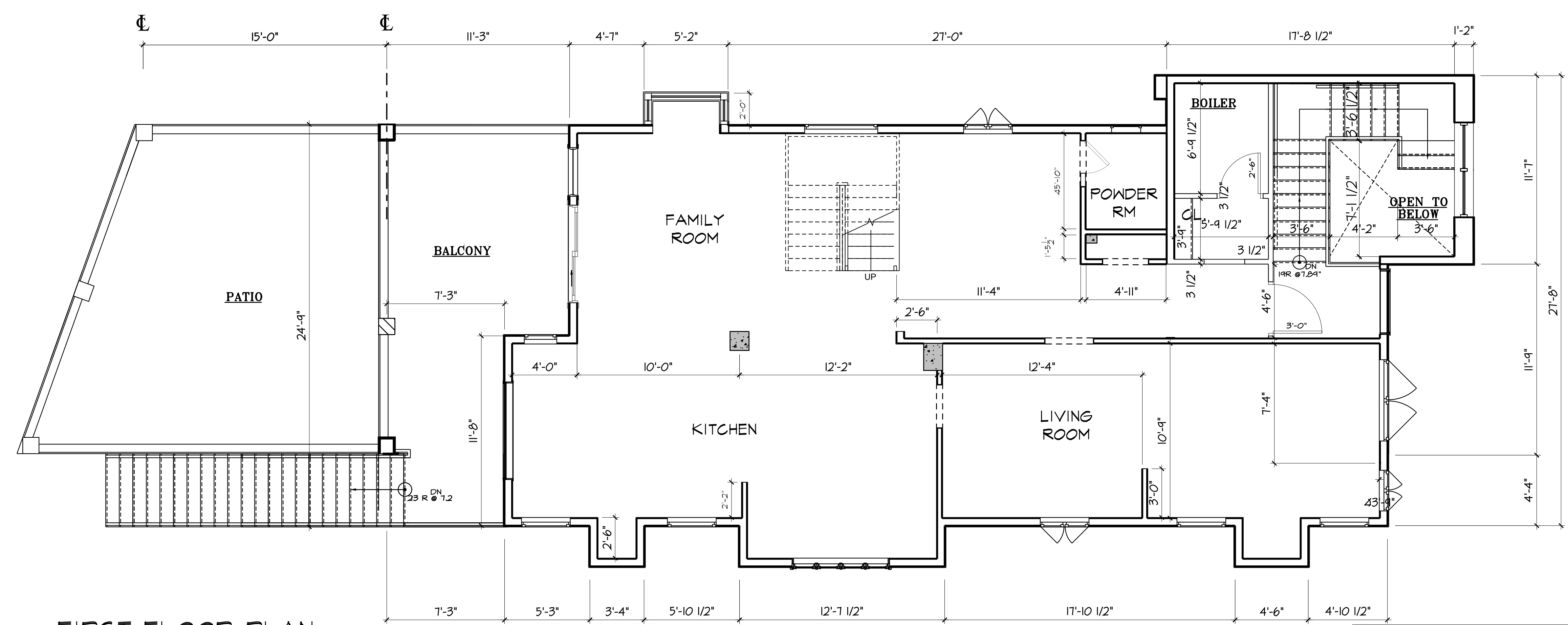
NOTE:
 ALL LOWER WALLS WILL BE BREAKAWAY WALLS. NO FRAMING OR MECHANICALS WILL BE BELOW THE FLOOR MARK OF 17'-0".

BASEMENT PLAN
 1/4" = 1'-0"

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SECOND FLOOR PLAN
1/4" = 1'-0"



FIRST FLOOR PLAN
1/4" = 1'-0"

NOTE:
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NO	DATE	ISSUE/REVISION
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2	05.27.26	
3	06.15.26	
4		

Project:
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NORWALK, CT 06854
FOR
TIM RATH**

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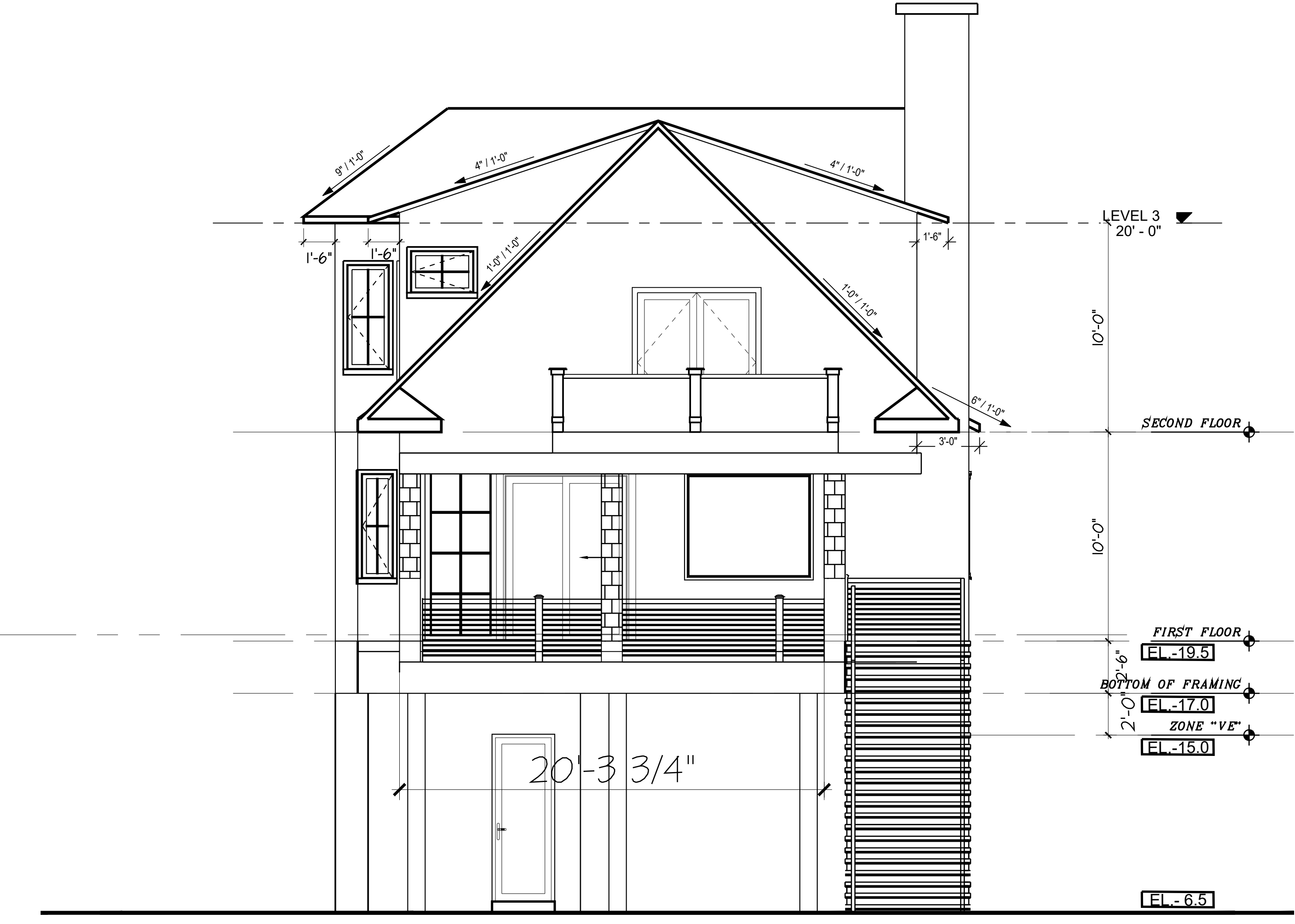
PROJECT NO.	2421	A.02 DWG. NO.
DRAWN BY:	SS	
ISSUED:	10.10.24	
SCALE AS NOTED		

DRAWING TITLE:
PROPOSED PLANS

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SIDE ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"

NOTE:
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20 HARBOR VIEW AVE.
NORWALK, CT 06854
FOR
TIM RATH

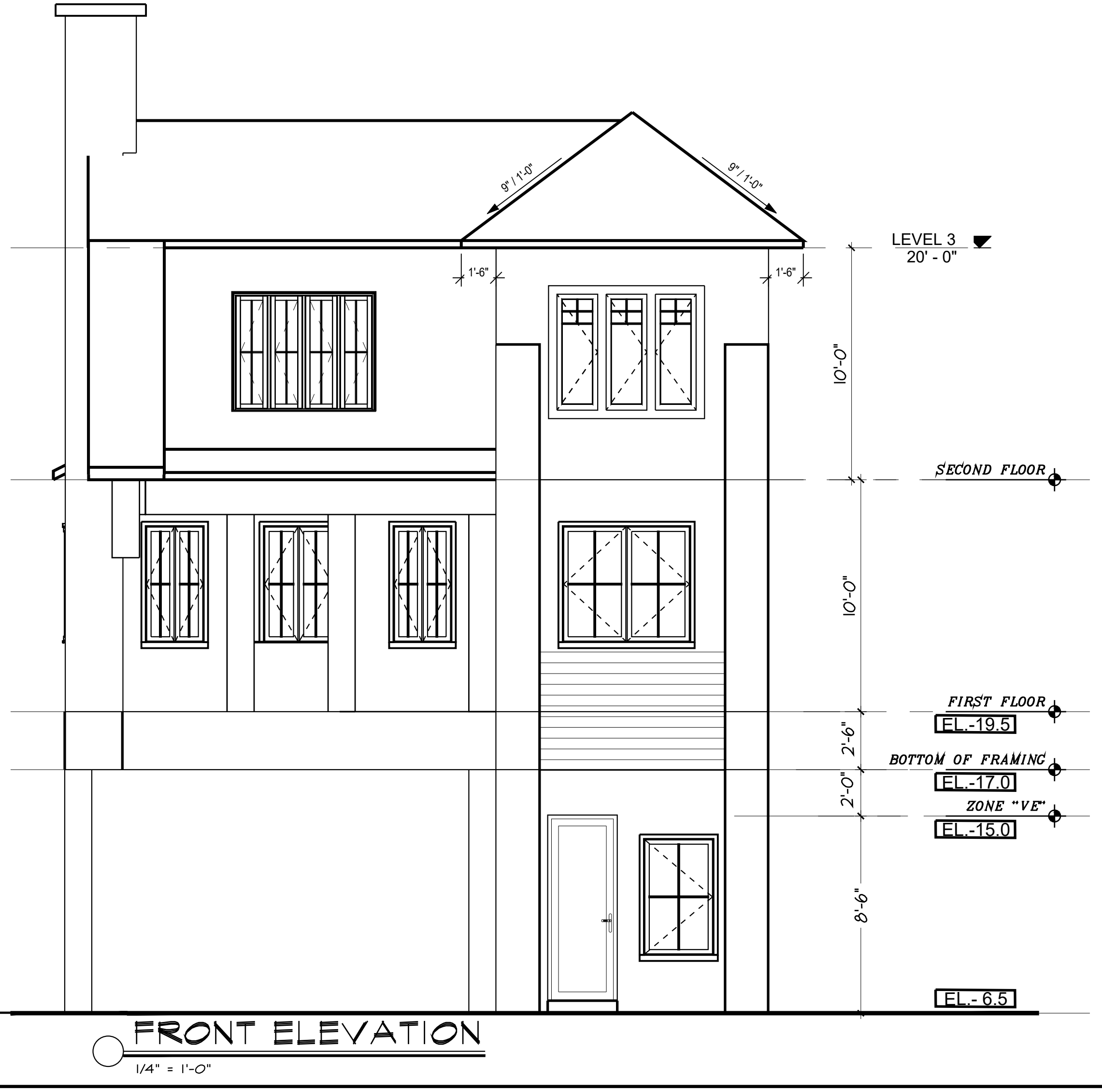
Consultant:

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PROJECT NO.	2421	A.03 DWG. NO.
DRAWN BY:	SS	
ISSUED:	10.10.24	
SCALE AS NOTED		

DRAWING TITLE:
PROPOSED ELEVATIONS

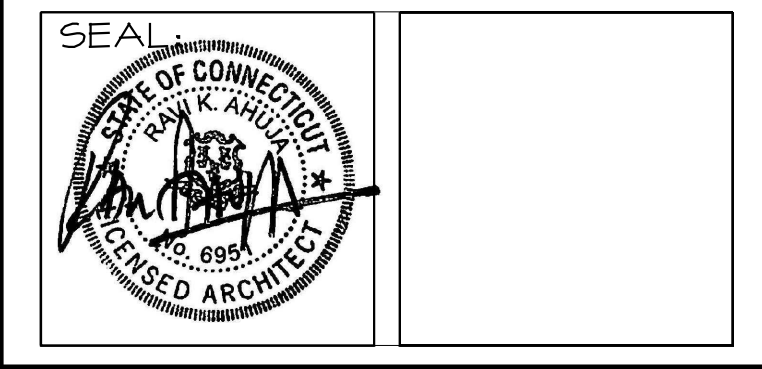
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NORWALK, CT 06854
 FOR
TIM RATH

Consultant:



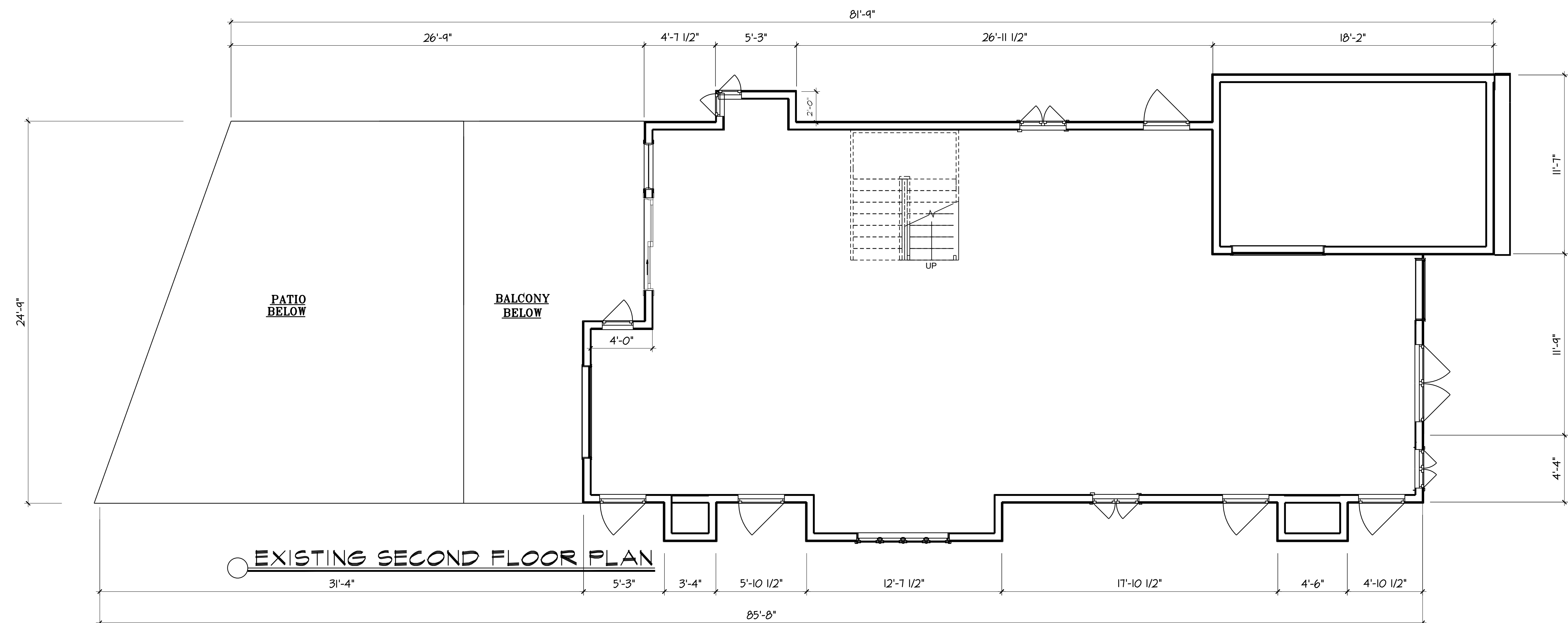
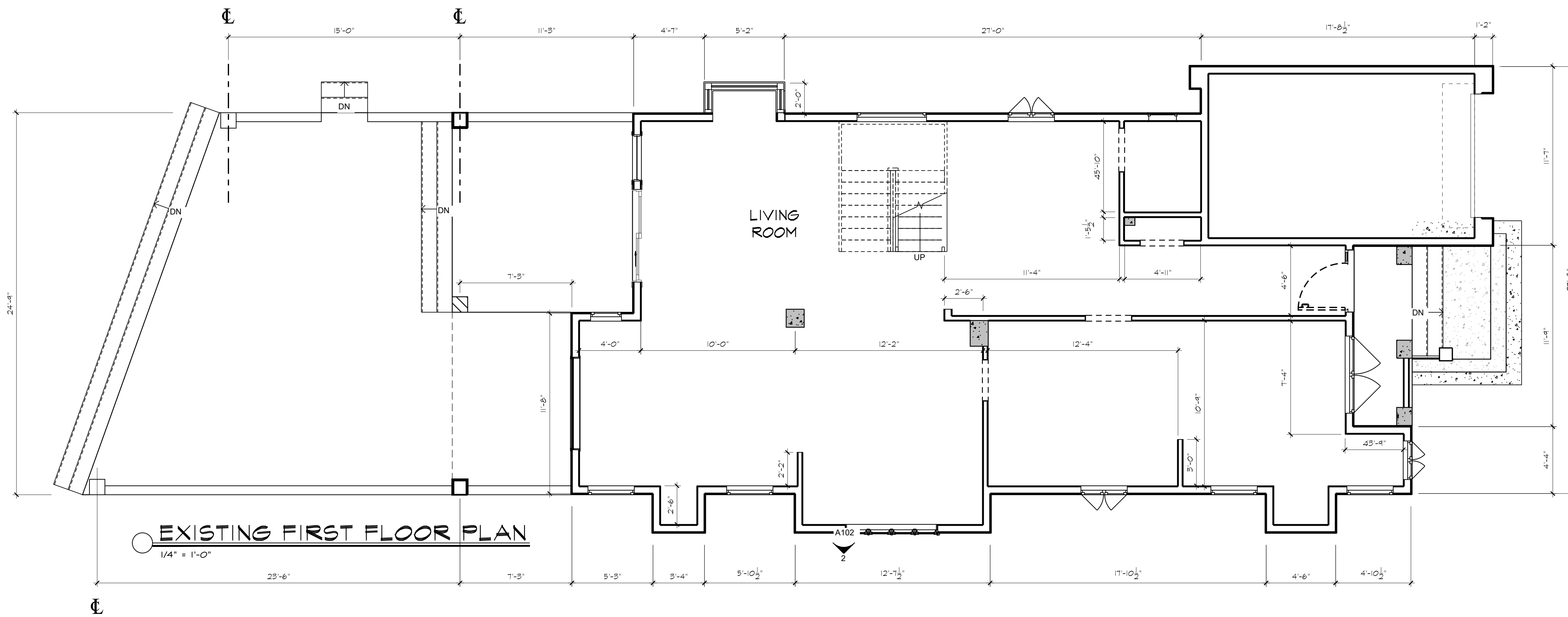
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PROJECT NO.	2421	A.04
DRAWN BY:	SS	
ISSUED:	10.10.24	
SCALE AS NOTED	DWG. NO.	

NOTE:
 ALL LOWER WALLS WILL BE BREAKAWAY WALLS. NO FRAMING OR MECHANICALS WILL BE BELOW THE FLOOR MARK OF 17'-0".

DRAWING TITLE:
PROPOSED ELEVATIONS

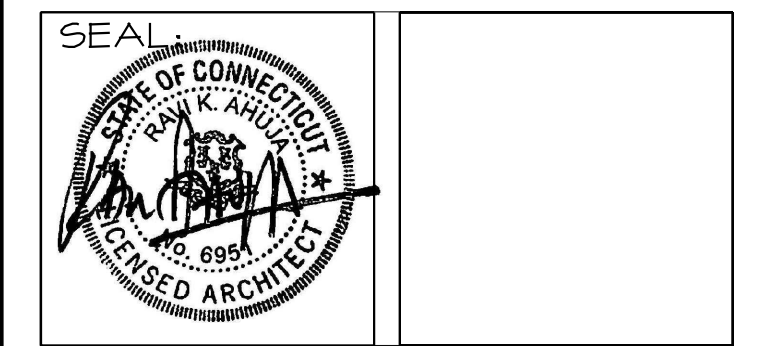
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20 HARBOR VIEW AVE.
NORWALK, CT 06854
FOR
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Consultant:



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PROJECT NO.	2421	EX.1
DRAWN BY:	SS	
ISSUED:	10.10.24	DWG. NO.
SCALE AS NOTED		

DRAWING TITLE:
EXISTING FLOOR PLANS

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EXISTING SIDE ELEVATION
 1/4" = 1'-0"

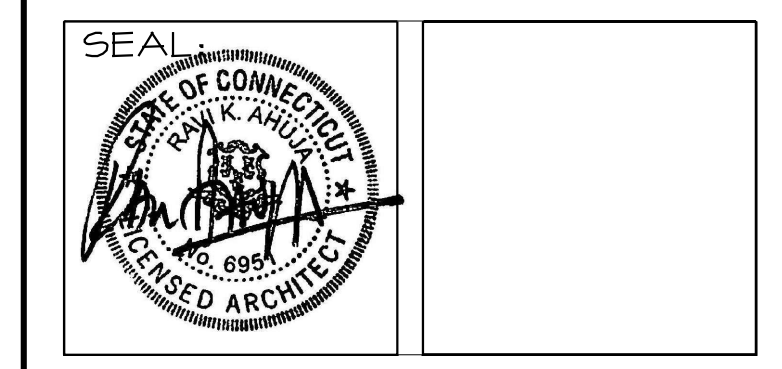


EXISTING REAR ELEVATION
 1/4" = 1'-0"

NO	DATE	ISSUE/REVISION
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3	06.15.26	
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Project:
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 20 HARBOR VIEW AVE.
 NORWALK, CT 06854**
 FOR
TIM RATH

Consultant:



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PROJECT NO.	2421	EX.2 DWG. NO.
DRAWN BY:	SS	
ISSUED:	10.10.24	
SCALE AS NOTED		

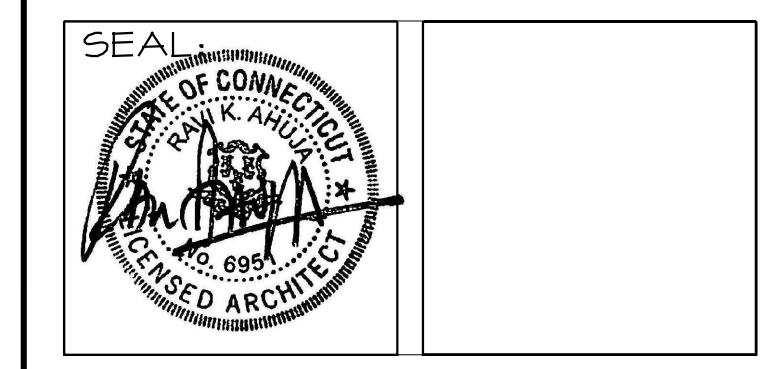
DRAWING TITLE:
EXISTING ELEVATIONS

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Project:
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 NORWALK, CT 06854**
 FOR
TIM RATH

Consultant:



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PROJECT NO.	2421	EX.3 DWG. NO.
DRAWN BY:	SS	
ISSUED:	10.10.24	
SCALE AS NOTED		

DRAWING TITLE:
EXISTING ELEVATIONS



EXISTING SIDE ELEVATION
 1/4" = 1'-0"



EXISTING FRONT ELEVATION
 1/4" = 1'-0"

PROJECT NOTES

GENERAL:
1. THE STRUCTURE HAS BEEN DESIGNED PER THE 2022 CONNECTICUT STATE BUILDING CODE FOR BUILDING STRUCTURES. SEE DESIGN CRITERIA TABLE BELOW FOR SPECIFIC REQUIREMENTS.

DESIGN CRITERIA		
Standard Reference	2022 Connecticut State Building Code 2021 International Residential Code ASCE / SEI 7-16 Minimum Design Loads and Associated Criteria for Buildings and Other Structures	
Municipality	Norwalk, CT	
Structure Description	Single-Family Dwelling	
Structure Risk Category	II	
Exposure	D	
Live Loads	Uninhabitable Attic Without Storage: Uninhabitable Attic With Storage; Habitable Attics and Sleeping Areas; Stairs (uniform / concentrated at any point); All Other Areas; Balconies & Decks	10 psf 20 psf 30 psf 40 psf / 300 lbs 40 psf 1.5 x LL
	Roof Load	Ground Snow Load (Pg): Exposure Factor (Ce): Importance Factor (Is):
Wind Design Data	Basic Design Wind Speed (3-second gust) (Vu): Allowable Stress Design Wind Speed (Vasd):	120 mph 93 mph
Flood Design Data	Vertical Datum: Flood Zone: Base Flood Elevation (BFE) Design Flood Elevation (DFE)	NAVD-1988 VE 15 ft 17 ft

2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LAYOUT THE STRUCTURES IN ACCORDANCE WITH THE PROJECT DRAWINGS.
3. EXISTING CONDITIONS AND DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION AND FABRICATION OR ORDERING OF ANY CONSTRUCTION MATERIALS.
4. SECTIONS AND DETAILS APPLY TO SAME AND SIMILAR CONDITIONS UNLESS SPECIFICALLY NOTED OTHERWISE HEREIN.
5. THE CONTRACTOR SHALL SAFEGUARD AND PROTECT ALL EXCAVATIONS.
6. THE CONTRACTOR SHALL USE ADEQUATE NUMBERS OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK.
7. THE CONTRACTOR SHALL USE EQUIPMENT ADEQUATE IN SIZE, CAPACITY, AND NUMBERS, AND MAINTAINED TO THE REQUIREMENTS OF ALL FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS TO ACCOMPLISH THE WORK.

FOUNDATION:
1. FOUNDATIONS HAVE BEEN DESIGNED USING A SAFE BEARING CAPACITY OF 6000 PSF.
2. FOUNDATIONS SHALL BE PLACED ON UNDISTURBED VIRGIN SOIL, FREE OF FROST, MUD, OR ICE, OR CONTROLLED FILL.
3. FOOTING SUB-GRADE SHALL BE COMPACTED USING A VIBRATORY TAMPER OR A JUMPING SOIL RAMMER AFTER THE SOIL HAS BEEN INSPECTED AND APPROVED.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEWATERING, SHORING, SHEETING, OR BRACING REQUIRED TO MAINTAIN A SAFE, DRY, AND STABLE EXCAVATION.
5. NO FOOTINGS SHALL BE PLACED IN WATER.
6. SOIL ADJACENT TO AND BELOW FOOTINGS SHALL BE KEPT FROM FREEZING AT ALL TIMES.
7. PROVIDE A GRANULAR SUB-BASE UNDER ALL SLABS ON GRADE. WHERE SLAB IS WITHIN A HEATED SPACE, THE SUB-BASE SHALL BE 6 INCHES OF 3/4" CRUSHED STONE OR COMPACTED BANK RUN GRAVEL WITH A MAXIMUM SIZE OF 2 INCHES. WHERE THE SLAB IS EXPOSED TO FROST, THE SUB-BASE SHALL BE 6 INCHES OF 3/4" CRUSHED STONE.
8. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES, SEWERS, AND FUEL STORAGE TANKS TO AVOID ANY DAMAGE TO THESE. CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" PRIOR TO ANY EXCAVATION.
9. WHERE FOOTINGS ARE BELOW THE GROUNDWATER ELEVATION, PLACE 6 INCHES OF CRUSHED STONE UNDER FOOTINGS. CRUSHED STONE SHALL BE PLACED AFTER THE SUBSOIL HAS BEEN INSPECTED, APPROVED, AND TAMPED.

BACKFILL:
1. BACKFILL OF EXCAVATIONS PERFORMED BY THE CONTRACTOR AS A PART OF THE WORK OR TO ACCOMMODATE THE WORK, SHALL CONSIST OF FREE-DRAINING MATERIAL CONFORMING TO THE FOLLOWING REQUIREMENTS:
A. FREE-DRAINING MATERIAL SHALL CONSIST OF A MIXTURE OF SAND, GRAVEL, GRAVEL, ROCK FRAGMENTS, QUARRY RUN STONE,
B. AND SHALL NOT HAVE MORE THAN 70%, BY WEIGHT, PASSING THE NO. 40 SIEVE.
C. AND NOT MORE THAN 10%, BY WEIGHT, PASSING THE NO. 200 MESH SIEVE.
2. BACKFILL MATERIAL SHALL BE INSTALLED IN 12" LIFTS AND EACH LAYER SHALL BE COMPACTED TO 95% OF THE MODIFIED PROCTOR TEST ASTM D1557/AAASHTO T180.

CONTROLLED FILL:
1. THE SOIL BELOW FOOTINGS AND SLAB ON GRADE SUB-BASE SHALL BE UNDISTURBED VIRGIN SOIL OR CONTROLLED FILL.
2. MATERIAL USED FOR CONTROLLED FILL SHALL BE CLEAN BANK RUN GRAVEL OR RECYCLED AGGREGATE, CONTAINING NOT MORE THAN 10 PERCENT BY WEIGHT PASSING THE #200 SIEVE. THE MAXIMUM SIZE OF GRAVEL SHALL BE SIX INCHES.
3. SAMPLES OF FILL MATERIAL SHALL BE SUBJECT TO A SIEVE ANALYSIS AND A MODIFIED PROCTOR MOISTURE-DENSITY RELATIONSHIP TEST, ASTM D1557 TO DETERMINE ITS MAXIMUM DENSITY AND OPTIMUM MOISTURE CONTENT.
4. FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 12 INCHES IN THICKNESS AND COMPACTED WITH A VIBRATORY ROLLER TO 95 PERCENT OF THE MAXIMUM DRY DENSITY OBTAINED BY TEST.
5. FILL MATERIAL SHALL BE COMPACTED AT OR NEAR THE OPTIMUM MOISTURE CONTENT.

CAST-IN-PLACE CONCRETE:
1. CAST-IN-PLACE CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301 - LATEST EDITION, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS."
2. DETAILING, FABRICATION, AND ERECTION OF REINFORCING STEEL SHALL CONFORM WITH ACI-318 AND ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING, REINFORCED CONCRETE STRUCTURES."
3. CONCRETE SHALL BE NORMAL WEIGHT WITH A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
4. CONCRETE SHALL HAVE A MAXIMUM WATER TO CEMENT RATIO OF 0.45.
5. CONCRETE SHALL BE PROPORTIONED TO HAVE A SLUMP OF 4 INCHES, ± 1 INCH, AT THE DISCHARGE END OF THE PUMP HOSE. USE WATER REDUCING AGENT AS REQUIRED TO ACHIEVE DESIRED SLUMP RANGE. ADDITION OF WATER AT SITE WILL NOT BE PERMITTED.
6. CONCRETE SHALL CONTAIN 4% TO 6% ENTRAINED AIR READY MIX PLANT EQUIPMENT AND FACILITIES SHALL CONFORM TO THE "CHECK LIST FOR CERTIFICATION OF READY MIXED CONCRETE PRODUCTION FACILITIES" OF THE NRMCA.
7. SUBMIT CONCRETE MIX DESIGN, WITH KNOWN TEST RESULTS, TO THE ENGINEER FOR REVIEW. THE CONCRETE MIX DESIGN SUBMITTAL SHALL CONSIST OF AT LEAST THE FOLLOWING:

A. TYPE OF CEMENT.
B. DRY WEIGHT OF CEMENT.
C. SATURATED SURFACE-DRY WEIGHTS OF FINE AND COARSE AGGREGATES.
D. SPECIFIC GRAVITY OF FINE AND COARSE AGGREGATES.
E. QUANTITIES, TYPE, NAME AND PRODUCER OF ADMIXTURES, AS APPLICABLE.
F. TOTAL WEIGHT OF WATER, INCLUDING THE WATER WHICH IS ABSORBED BY AND ON THE SURFACE OF THE AGGREGATES.
G. WATER TO CEMENT RATIO.
H. SLUMP: MAXIMUM SLUMP, TAKEN AT THE TRUCK, WILL BE DETERMINED BASED ON THE PUMP HOSE LENGTH. THE MIX DESIGN SHALL INCLUDE THE ANTICIPATED LOSS OF SLUMP PER 100 FOOT LENGTH OF SPECIFIED HOSE SIZE.
I. STRENGTH TEST DATA OF THE PROPOSED MIX DESIGN AS SPECIFIED HEREIN.
8. SUBMIT CONCRETE BATCH TICKETS FOR EACH TRUCK DELIVERED TO SITE. EACH TICKET SHALL NOTE AT LEAST THE FOLLOWING DATA: DESIGN MIX STRENGTH; BATCH PROPORTIONS INCLUDING ACTUAL WATER AND AGGREGATE MOISTURE CONTENTS; DATE AND BATCH TIME; ARRIVAL TIME AT SITE; DISCHARGE TIME; CONCRETE VOLUME; AND ANY CHANGE TO CONCRETE MADE AT THE SITE.
9. CONFORM TO THE RECOMMENDATIONS OF ACI 304 - LATEST EDITION, "RECOMMENDED PRACTICE FOR MEASURING, MIXING, TRANSPORTING, AND PLACING CONCRETE."
10. CONCRETE SHALL CONSIST OF THE FOLLOWING MATERIALS:

A. PORTLAND CEMENT: TYPE II - LOW ALKALI CONFORMING TO ASTM C 150, "STANDARD SPECIFICATION FOR PORTLAND CEMENT."
B. COARSE AND FINE AGGREGATE SHALL BE NORMAL WEIGHT AND UNIFORMLY GRADED AND CLEAN CONFORMING TO ASTM C33, "STANDARD SPECIFICATION FOR CONCRETE AGGREGATES." DO NOT USE AGGREGATE KNOWN TO CAUSE EXCESSIVE SHRINKAGE.
C. COARSE AGGREGATE SHALL BE CRUSHED ROCK OR WASHED GRAVEL WITH A MAXIMUM SIZE OF 3/4".
D. FINE AGGREGATE SHALL BE NATURAL WASHED SAND OF HARD AND DURABLE PARTICLES VARYING FROM FINE TO PARTICLES PASSING A 3/8" SCREEN, OF WHICH AT LEAST 12% SHALL PASS A 50-MESH SCREEN.
E. WATER SHALL BE CLEAN AND POTABLE.
F. AIR ENTRAINING ADMIXTURE SHALL CONFORM TO ASTM C260, "STANDARD SPECIFICATION FOR AIR ENTRAINING ADMIXTURE FOR CONCRETE." THE AIR ENTRAINING AGENT SHALL BE A NON-TOXIC CONCENTRATED SOLUTION OF NEUTRALIZED VINYL RESIN, SUCH AS "DARAVAIR" AS MANUFACTURED BY W.R. GRACE COMPANY OR EQUIVALENT ACCEPTED BY THE ENGINEER.
G. WATER REDUCING ADMIXTURE SHALL CONFORM TO ASTM C494 "STANDARD SPECIFICATION FOR CHEMICAL ADMIXTURES FOR CONCRETE." WATER REDUCING AGENT SHALL BE OF TYPE A, B, C, D, E, F, OR G (AS NOTED IN CONCRETE MIX DESIGN) SUCH AS DARACEM-100" OR WRDA-19" AS MANUFACTURED BY W.R. GRACE COMPANY OR EQUIVALENT ACCEPTED BY THE ENGINEER.

11. REINFORCING STEEL SHALL CONFORM TO ASTM 615 GRADE 60, "SPECIFICATION FOR DEFORMED AND PLAIN BILLET STEEL BARS FOR CONCRETE REINFORCEMENT."
12. REINFORCING STEEL REQUIRED TO BE WELDED SHALL BE ASTM A706 GR 60.
13. FABRICATE REINFORCEMENT TO THE REQUIRED SHAPES AND DIMENSIONS, WITHIN FABRICATION TOLERANCES STATED IN THE CRSI "MANUAL OF STANDARD PRACTICES."
14. REINFORCING STEEL SHALL BE CONTINUOUS UNLESS SPECIFICALLY DETAILED OTHERWISE ON THE CONTRACT DRAWINGS. PROVIDE DOWELS OR LAP SPLICES OF THE APPROPRIATE CLASS TO MAINTAIN CONTINUITY UNLESS OTHERWISE SHOWN ON THE CONTRACT DRAWINGS. MINIMUM LAP SPLICES, UNLESS OTHERWISE NOTED, SHALL BE AS FOLLOWS:

SIZE SPLICE	MINIMUM SPLICE LENGTH
#4	2'-0"
#6	2'-6"
#8	3'-0"
#10	4'-0"
#12	5'-6"

15. MINIMUM CONCRETE PROTECTIVE COVERING FOR REINFORCEMENT, UNLESS NOTED OTHERWISE, SHALL BE AS FOLLOWS:
A. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH, ALL BAR SIZES: 3"
B. CONCRETE EXPOSED TO EARTH, LIQUID, WEATHER, OR CAST AGAINST A CONCRETE WORK MAT:
a. SLABS: 1"
b. WALLS: 1 1/2"
16. FORM TIES AND SPREADERS SHALL BE OF SUCH TYPE AS TO LEAVE NO METAL CLOSER THAN SPECIFIED FROM ANY EXPOSED CONCRETE SURFACE.
17. DO NOT USE REINFORCING STEEL HAVING ANY OF THE FOLLOWING DEFECTS:
A. BAR LENGTHS, DEPTHS, OR BENDS EXCEEDING THE SPECIFIED FABRICATION TOLERANCE.
B. BENDS OR KINKS NOT INDICATED ON THE DRAWINGS OR REQUIRED FOR THIS WORK.
C. BARS WITH CROSS-SECTION REDUCED DUE ANY CAUSE.

18. CLEAN REINFORCEMENT AND REMOVE LOOSE DUST, EARTH, AND OTHER MATERIALS HIGH REDUCE BOND OR DESTROY BOND WITH CONCRETE.

19. CONCRETE SPACERS, CHAIRS, BOLSTERS, AND OTHER DEVICES NECESSARY FOR THE PROPER REINFORCING STEEL PLACEMENT SHALL BE UNCOATED.

20. NO CLAY OR CONCRETE OR ANY OTHER MATERIAL OTHER THAN APPROVED CHAIRS SHALL BE USED. ONE CHAIR SAMPLE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL.

21. ALL REINFORCING STEEL SHALL BE ADEQUATELY TIED WITH THE WIRE AND SUPPORTED AS REQUIRED TO THE SPECIFIED CLEARANCE.

22. REINFORCING STEEL USED IN AND AROUND SWIMMING POOL APPLICATIONS SHALL BE BONDED. BONDING SHALL BE IN ACCORDANCE WITH THE STATE BUILDING CODE AND, UPON COMPLETION OF THE BONDING WORK, SHALL BE INSPECTED AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO PLACEMENT OF CONCRETE.

23. REINFORCING STEEL SHALL BE ADEQUATELY TIED WITH TIE WIRE AND SUPPORTED WITH CHAIRS THAT HOLD THE BARS TO THE SPECIFIED CLEARANCE. ONE CHAIR SAMPLE SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW. NO CLAY OR CONCRETE BRICKS OR ANY OTHER MATERIAL OTHER THAN APPROVED CHAIRS SHALL BE PERMITTED TO SUPPORT REINFORCING STEEL.
24. DESIGN, ERECT, SUPPORT, BRACE, AND MAINTAIN FORMWORK SO IT WILL SAFELY SUPPORT VERTICAL AND LATERAL LOADS WHICH MIGHT BE APPLIED UNTIL SUCH LOADS CAN BE SUPPORTED SAFELY BY THE CONCRETE STRUCTURE IN ACCORDANCE WITH ACI 347 - LATEST EDITION.

25. FORM COATING OR WATER SHALL BE APPLIED TO ALL FORMS. IF COATING IS USED, IT SHALL BE APPLIED PRIOR TO PLACEMENT OF REINFORCING STEEL.

26. FORM TIES AND SPREADERS SHALL BE OF SUCH TYPE AS TO LEAVE NO METAL CLOSER THAN 3 INCHES FROM ANY EXPOSED CONCRETE SURFACE.

27. PLACE REINFORCEMENT TO OBTAIN THE REQUIRED COVERAGE FOR CONCRETE PROTECTION. MINIMUM CONCRETE COVER FOR ALL REINFORCING SHALL BE 3 INCHES EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE.

28. CLEAN REINFORCEMENT AND REMOVE LOOSE DUST, EARTH, AND OTHER MATERIALS WHICH REDUCE BOND OR DESTROY BOND WITH CONCRETE.

29. POSITION, SUPPORT, AND SECURE REINFORCEMENT AGAINST DISPLACEMENT BY FORMS, CONSTRUCTION, AND THE CONCRETE PLACEMENT OPERATIONS.

30. REINFORCING STEEL SHALL BE CONTINUOUS UNLESS SPECIFICALLY DETAILED OTHERWISE ON THE CONTRACT DRAWINGS. PROVIDE DOWELS OR LAP SPLICES OF THE APPROPRIATE CLASS TO MAINTAIN CONTINUITY. UNLESS OTHERWISE SHOWN ON THE CONTRACT DRAWINGS LAP BARS 40 BAR DIAMETERS MINIMUM. DOWELS OR SPLICES SHALL BE SHOWN ON THE SHOP DRAWINGS AND SHALL BE SUBJECT TO THE FIELD REVIEW OF THE ENGINEER. NO MORE THAN 60% OF THE TOTAL NUMBER OF BARS SHALL BE SPLICED AT ONE LOCATION.

31. SLEEVES, INSERTS, ANCHORS, AND EMBEDDED ITEMS REQUIRED FOR ADJOINING WORK OR FOR ITS SUPPORT SHALL BE PLACED PRIOR TO CASTING CONCRETE. ALL EMBEDDED ITEMS SHALL BE POSITIONED ACCURATELY AND SUPPORTED AGAINST DISPLACEMENT.

32. TRANSIT MIX THE CONCRETE IN ACCORDANCE WITH PROVISIONS OF ASTM C94 - LATEST EDITION.

33. DO NOT USE CONCRETE AFTER 90 MINUTES FROM TIME OF INTRODUCTION OF WATER TO THE MIX.

34. CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 318-LATEST EDITION, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE."

35. REMOVE FOREIGN MATTER ACCUMULATED IN THE FORMS.

36. RIGIDLY CLOSE OPENINGS LEFT IN THE FORMWORK.

37. WET WOOD FORMS IMMEDIATELY PRIOR TO CONCRETE PLACEMENT. WET WOOD FORMS SUFFICIENTLY TO TIGHTEN UP CRACKS. WET OTHER MATERIAL SUFFICIENTLY TO MAINTAIN WORKABILITY OF THE CONCRETE.

38. USE ONLY CLEAN TOOLS.

39. PERFORM CONCRETE PLACING AT SUCH A RATE THAT CONCRETE WHICH IS BEING INTEGRATED WITH FRESH CONCRETE IS STILL PLASTIC.

40. DEPOSIT CONCRETE AS NEARLY AS PRACTICABLE IN ITS FINAL LOCATION SO AS TO AVOID SEPARATION DUE TO REHANDLING AND FLOWING.

41. DO NOT USE CONCRETE WHICH BECOMES NON-PLASTIC AND UNWORKABLE, OR DOES NOT MEET REQUIRED QUALITY CONTROL LIMITS, OR HAS BEEN CONTAMINATED BY FOREIGN MATERIALS.

42. REMOVE REJECTED AND EXCESS CONCRETE FROM THE JOB SITE.

43. FREE-FALL OF CONCRETE DURING PLACEMENT GREATER THAN EIGHT FEET IS PROHIBITED. THE CONTRACTOR SHALL PLACE CONCRETE WITH A TREMIE TUBE FOR DROPS GREATER THAN EIGHT FEET.

44. REINFORCEMENT IN HORIZONTAL LAYERS NOT DEEPER THAN 24 INCHES, AND AVOID INCLINED CONSTRUCTION JOINTS.

45. REMOVE TEMPORARY SPREADERS IN FORMS WHEN CONCRETE HAS REACHED THE ELEVATION OF THE SPREADERS.

46. CONSOLIDATE EACH LAYER OF CONCRETE IMMEDIATELY AFTER PLACING, BY USE OF INTERNAL CONCRETE VIBRATORS SUPPLEMENTED BY HAND SPADING, RODDING, OR TAMPING.

47. DO NOT USE VIBRATORS TO TRANSPORT CONCRETE INSIDE THE FORMS.

48. DO NOT USE HORIZONTAL CONSTRUCTION JOINTS, UNLESS SPECIFICALLY SHOWN ON THE DRAWINGS.

49. BEGINNING IMMEDIATELY AFTER PLACEMENT, CONCRETE SHALL BE PROTECTED FROM PREMATURE DRYING, EXCESSIVELY HOT OR COLD TEMPERATURES, AND MECHANICAL DAMAGE AND SHALL BE MAINTAINED WITH MINIMAL MOISTURE LOSS AT A RELATIVE CONSTANT TEMPERATURE FOR THE PERIOD NECESSARY FOR HYDRATION OF THE CEMENT AND HARDENING OF THE CONCRETE.

50. CURING MATERIALS SHALL CONFORM TO ASTM C309, "STANDARD SPECIFICATION FOR LIQUID MEMBRANE-FORMING COMPOUNDS FOR CURING CONCRETE." WET BURLAP, OR PLASTIC MEMBRANE.

51. IF COLD-WEATHER CONCRETING IS ANTICIPATED, A PRECONSTRUCTION MEETING SHOULD BE HELD TO DEFINE HOW COLD WEATHER CONCRETING METHODS WILL BE USED. WHEN THE MEAN DAILY AMBIENT TEMPERATURE IS AT OR BELOW 40 DEGREES F OR 45 DEGREES F AND FALLING, THE CONTRACTOR SHALL FOLLOW THE REQUIREMENTS OF ACI 308.1 - LATEST EDITION, "STANDARD SPECIFICATION FOR COLD WEATHER CONCRETING":

A. SET UP PROPER ENCLOSURE AND HEAT TO 50 DEGREES F FOR AT LEAST TWO (2) HOURS BEFORE STARTING ANY POUR. SET UP INDIVIDUAL THERMOMETERS WITHIN ENCLOSURE TO MONITOR AMBIENT TEMPERATURES NEAR THE FACE OF FRESH CONCRETE. THERMOMETERS SHALL BE PLACED AT A MAXIMUM OF 50-FOOT CENTERS, AT MAJOR CORNERS OR RETURNS, AND AT ENDS OF CONCRETE SECTIONS. MONITOR AND RECORD TEMPERATURES IN A LOG AT EARLY MORNING, NOON, AND EARLY EVENING.
B. USE WATER-REDUCING ADMIXTURE WITH AN ACCELERATED SET, BUT DO NOT USE OR RELY UPON ANY MATERIAL AS AN ANTI-FREEZE. USE OF CALCIUM CHLORIDE IS PROHIBITED.

52. CLEAN REINFORCEMENT AND REMOVE LOOSE DUST, EARTH, AND OTHER MATERIALS HIGH REDUCE BOND OR DESTROY BOND WITH CONCRETE.

53. CONCRETE SPACERS, CHAIRS, BOLSTERS, AND OTHER DEVICES NECESSARY FOR THE PROPER REINFORCING STEEL PLACEMENT SHALL BE UNCOATED.

54. NO CLAY OR CONCRETE OR ANY OTHER MATERIAL OTHER THAN APPROVED CHAIRS SHALL BE USED. ONE CHAIR SAMPLE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL.

55. ALL REINFORCING STEEL SHALL BE ADEQUATELY TIED WITH THE WIRE AND SUPPORTED AS REQUIRED TO THE SPECIFIED CLEARANCE.

56. REINFORCING STEEL USED IN AND AROUND SWIMMING POOL APPLICATIONS SHALL BE BONDED. BONDING SHALL BE IN ACCORDANCE WITH THE STATE BUILDING CODE AND, UPON COMPLETION OF THE BONDING WORK, SHALL BE INSPECTED AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO PLACEMENT OF CONCRETE.

57. REINFORCING STEEL SHALL BE ADEQUATELY TIED WITH TIE WIRE AND SUPPORTED WITH CHAIRS THAT HOLD THE BARS TO THE SPECIFIED CLEARANCE. ONE CHAIR SAMPLE SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW. NO CLAY OR CONCRETE BRICKS OR ANY OTHER MATERIAL OTHER THAN APPROVED CHAIRS SHALL BE PERMITTED TO SUPPORT REINFORCING STEEL.

58. DESIGN, ERECT, SUPPORT, BRACE, AND MAINTAIN FORMWORK SO IT WILL SAFELY SUPPORT VERTICAL AND LATERAL LOADS WHICH MIGHT BE APPLIED UNTIL SUCH LOADS CAN BE SUPPORTED SAFELY BY THE CONCRETE STRUCTURE IN ACCORDANCE WITH ACI 347 - LATEST EDITION.

59. FORM COATING OR WATER SHALL BE APPLIED TO ALL FORMS. IF COATING IS USED, IT SHALL BE APPLIED PRIOR TO PLACEMENT OF REINFORCING STEEL.

60. FORM TIES AND SPREADERS SHALL BE OF SUCH TYPE AS TO LEAVE NO METAL CLOSER THAN 3 INCHES FROM ANY EXPOSED CONCRETE SURFACE.

61. USE VENTED HEATERS WITH BLOWERS SO PLACED THAT THEY DO NOT PRODUCE LOCALIZED HOT SPOTS WHICH MAY DRY OUT THE CONCRETE. EXPOSURE TO EXHAUST GASES FROM COMBUSTION HEATERS IS PROHIBITED FOR THE FIRST 24 HOURS OF THE CURING PERIOD.

62. MAINTAIN THE TEMPERATURE OF THE FORMWORK AT NOT LESS THAN 50 DEGREES F BUT NOT GREATER THAN 70 DEGREES F FOR 48 HOURS AFTER COMPLETION OF POUR. FORMWORK MAY BE STRIPPED AFTER 72 HOURS AFTER COMPLETION OF POUR. AFTER 48 HOURS OF MAINTAINING AT LEAST 50 DEGREES F, THE TEMPERATURE MAY BE ALLOWED TO DROP GRADUALLY AND SHALL BE KEPT ABOVE 32 DEGREES F FOR A PERIOD OF SEVEN (7) DAYS AFTER COMPLETION OF POUR. PROTECTION DURING THIS PERIOD MAY BE PROVIDED BY EX. ENCLOSURE OR BY MEANS INDICATED IN NOTE 5 BELOW.

63. PROTECTION MAY BE PROVIDED BY USE OF INSULATION METHODS. ADEQUATE INSULATION SHALL CONSIST OF AT LEAST ONE OF THE FOLLOWING:

- 12" OF DRY EARTH; PROVIDE MOISTURE COVER IF OVER SLAB
- 4" OF HAY UNDER ADEQUATE MOISTURE COVER.
- 1" OF INSULATION BLANKETS WITH VAPOR BARRIER SEAL.
- OTHER INSULATING MATERIAL ACCEPTABLE TO THE ENGINEER.

NOTE: EXTREME CONDITIONS OF TEMPERATURE OR WIND MAY REQUIRE MORE PROTECTION.

64. CONCRETE SHALL NOT BE PLACED ON FROZEN GROUND.

65. FROZEN CONCRETE SHALL BE REMOVED FROM THE JOB AND REPLACED AT A NO ADDITIONAL COST TO THE OWNER.

66. WHEN THE MEAN DAILY AMBIENT AND SUBSTRATE TEMPERATURE IS ABOVE 80 DEGREES F, THE CONTRACTOR SHALL FOLLOW THE REQUIREMENTS OF ACI 305.1 - LATEST EDITION, STANDARD SPECIFICATION FOR HOT WEATHER CONCRETING. CONCRETE SHALL BE PROTECTED FROM THERMAL DAMAGE. PROVISIONS FOR WINDBREAKS, SHADING, FOG SPRAYING, SPRINKLING, PONDING, OR WET COVERING WITH A LIGHT COLORED MATERIAL SHALL BE MADE IN ADVANCE OF PLACEMENT AND SUCH PROTECTIVE MEASURES SHALL BE TAKEN AS QUICKLY AS CONCRETE HARDENING AND FINISHING OPERATIONS WILL ALLOW.

67. NO CONCRETE SHALL BE PLACED WHEN THE AIR TEMPERATURE IS ABOVE 90 DEGREES F UNLESS THE AIR IS STILL AND RELATIVE HUMIDITY IS ABOVE 80%.

68. SET UP PROPER WINDBREAKERS FOR CONCRETE SURFACES WHENEVER THE RELATIVE HUMIDITY IS LESS THAN 70% FOR SLIGHT AIR MOTION OR 80% FOR LIGHT BREEZES.

69. PROVIDE SHADE FOR POURS OTHERWISE EXPOSED TO THE SUN.

70. CONCRETE IS TO BE AT A TEMPERATURE OF 80 DEGREES F OR LESS WHEN PLACED. IF NECESSARY, THE BATCHING PLANT SHALL COOL AGGREGATES BY SPRAYING OR BY USING CHILLED WATER OR ICE. ALL SUCH WATER SHALL BE ACCOUNTED FOR AS PART OF THE MIXING WATER.

71. USE AN ADMIXTURE WITH A RETARDED SET.

72. FORMS SHALL BE THOROUGHLY WETTED AT LEAST DAILY AND MORE OFTEN WHEN THE RELATIVE HUMIDITY IS LOW.

73. FOR SLABS, MAINTAIN THE REQUIRED MATERIALS FOR CURING ON HAND, SO THEY MAY BE PLACED IMMEDIATELY UPON FINISHING. ALL CONCRETE PLACED IN AMBIENT TEMPERATURES OVER 80 DEGREES F SHALL BE KEPT WET FOR A MINIMUM OF 24 HOURS. INTERMITTENT SPRAYING WILL NOT BE PERMITTED. NO WATER SHALL BE APPLIED BEFORE CONCRETE HAS ACQUIRED ITS INITIAL SET. WHEN THE CONCRETE TEMPERATURE OF ANY SLAB GOES ABOVE 100 DEGREES F, PLACE A LAYER OF SAND ON IT AND KEEP IT CONTINUOUSLY WET UNTIL THE TEMPERATURE IS BELOW 80 DEGREES F.

74. REMOVE ALL FINIS, BLEMISHES, AND DEFECTIVE CONCRETE AREAS AND PATCH WHERE REQUIRED WITH REWORKED CEMENT MORTAR OF THE SAME PROPORTIONS AS THAT USED IN THE CONCRETE.

75. FORM THE HOLES SHALL BE PLUGGED SOLID WITH REWORKED CEMENT MORTAR OF THE SAME PROPORTIONS AS THAT USED IN THE CONCRETE.

STRUCTURAL STEEL:

1. SUBMIT COMPLETE SHOP DRAWINGS DETAILING ALL MEMBERS, PROFILES, SIZES, SPACING, PROPOSED CUTS, CONNECTIONS, CAMBER, HOLES, OPENINGS, FASTENERS, AND SIMILAR DATA. ERECTION PLANS SHOWING THE LOCATION AND FIELD CONNECTION OF ALL MEMBERS. IDENTIFY MEMBERS BY PIECE NUMBERS WHICH CORRESPOND TO ERECTION NUMBERS. STRUCTURAL STEEL CONNECTION DETAILS NOT SPECIFICALLY SHOWN IN THE CONTRACT DOCUMENTS SHALL BE DETAILED BY THE CONTRACTOR AND INCLUDED WITH SHOP DRAWING SUBMITTALS.

2. SUBMIT MANUFACTURER'S CERTIFICATIONS SHOWING THAT THE PRODUCTS MEET OR EXCEED THE REQUIRED STANDARDS FOR: BOLTS, INCLUDING NUTS AND WASHERS; THREADED RODS INCLUDING ALL HARDWARE; FILLER MATERIAL AND FLUX FOR WELDING.

3. SUBMIT CERTIFIED MILL TEST REPORTS INDICATING STRUCTURAL STRENGTH, DESTRUCTIVE AND NON-DESTRUCTIVE TEST ANALYSIS, CHEMICAL AND PHYSICAL PROPERTIES OF EACH TYPE OF STEEL AND CONFORMANCE WITH ASTM A6.

4. SUBMIT WELDER'S CERTIFICATES CERTIFYING WELDERS EMPLOYED ON THE WORK, VERIFYING AWS QUALIFICATIONS WITHIN THE PREVIOUS TWELVE MONTHS.

5. PERFORM WELDING WITH ELECTRIC ARC PROCESS AND IN ACCORDANCE WITH AWS "CODE FOR ARC AND GAS WELDING IN BUILDING CONSTRUCTION".

6. STRUCTURAL STEEL WORK SHALL COMPLY WITH THE AISC MANUAL OF STEEL CONSTRUCTION, NINTH EDITION.

7. STEEL SHALL COMPLY WITH THE FOLLOWING:

A. STRUCTURAL STEEL, INCLUDING CHANNEL SHAPES SHALL CONFORM TO ASTM A992.
B. STEEL ANGLES, PLATES AND THREADED ROUND BAR SHALL CONFORM TO ASTM A36, 36 KSI YIELD.
C. CARRIAGE BOLTS AND LAG SCREWS SHALL CONFORM TO ASTM A307, GRADE A.
D. HIGH STRENGTH STRUCTURAL BOLTS: SHALL CONFORM TO ASTM A325 WITH HEXAGONAL HEADS. HIGH STRENGTH BOLTS SHALL BE PRETENSIONED UNLESS OTHERWISE NOTED.

E. NUTS: SHALL BE HEXAGONAL AND CONFORM TO ASTM A563.

F. WASHERS (EXCEPT AGAINST TIMBER): SHALL CONFORM TO ASTM F436.

8. ADHESIVE ANCHORS: ADHESIVE SHALL BE AC-100 GOLD PLUS AS MANUFACTURED BY POWERS FASTENERS, INC. OR EQUIVALENT ACCEPTABLE TO THE ENGINEER. ANCHOR RODS SHALL BE AS SPECIFIED ABOVE FOR THREADBAR ANCHORS.

9. WELDING MATERIALS: AWS D1.1; TYPE E70XX OR TYPE REQUIRED FOR MATERIALS BEING WELDED.

10. GROUT: NON-SHRINK, NON-METALLIC, HIGH PERFORMANCE CEMENT BASED

GROUT CONFORMING TO ASTM C827 SUCH AS SIKAGROUT 212 AS MANUFACTURED BY SIKA CORPORATION OR EQUIVALENT ACCEPTED BY THE ENGINEER.

11. FABRICATE ITEMS OF STRUCTURAL STEEL IN ACCORDANCE WITH AISC SPECIFICATIONS AND AS SHOWN ON THE ACCEPTED SHOP DRAWINGS.

12. PROPERLY MARK MATERIALS FOR FIELD ASSEMBLY AND FOR IDENTIFICATION OF THE STRUCTURE AND LOCATION INTENDED. FABRICATE FOR DELIVERY SEQUENCE WHICH WILL EXPEDITE ERECTION AND MINIMIZE FIELD HANDLING OF MATERIALS.

13. PROVIDE BOLTS, NUTS, AND WASHERS OF ALL TYPES AND SIZES REQUIRED FOR COMPLETION OF FIELD ERECTION.

14. COMPLY WITH AWS CODE FOR PROCEDURES, APPEARANCE, AND QUALITY OF WELDS, AND METHODS USED IN CORRECTING WELDED WORK.

15. CUT, DRILL, OR PUNCH HOLES PERPENDICULAR TO METAL SURFACES. DO NOT FLAME CUT HOLES OR ENLARGE HOLES BY BURNING. DRILL HOLES IN BEARING PLATES, NO HOLES WILL BE ALLOWED UNLESS FIRST SHOWN ON THE SHOP DRAWINGS AND ACCEPTED BY THE ENGINEER.

16. SHOULD HOLES BE REQUIRED IN ADDITION TO THOSE PROVIDED UNDER THIS SECTION, PROVIDE ALL SUCH HOLES AND STRENGTHEN THE AREA AS REQUIRED TO COMPENSATE BUT ONLY AS ACCEPTED BY THE ENGINEER.

17. ASSEMBLE AND WELD BUILT-UP SECTIONS BY METHODS WHICH WILL PRODUCE TRUE ALIGNMENT OF AXES WITHOUT WARP.

18. GENERAL: UNLESS SPECIFICALLY NOTED OTHERWISE, ALL ITEMS SCHEDULED TO RECEIVE PROTECTIVE COATING SHALL BE FULLY FABRICATED WITH HOLES, CUTS, THREADS, ETC. PRIOR TO RECEIVING PROTECTIVE COATING, PRIOR TO DELIVERY TO SITE.

19. ALL STRUCTURAL STEEL INCLUDING STEEL SECTIONS, BOLTS, ANCHOR RODS, CARRIAGE BOLTS, NUTS, AND WASHERS SHALL BE COATED WITH SHOP PRIMER.

ROUGH CARPENTRY:

1. ALL FRAMING LUMBER AND PLYWOOD SHALL BE CLEARLY MARKED WITH A GRADE STAMP.

2. ALL WOOD FRAMING IN CONTACT WITH CONCRETE OR MASONRY SHALL BE AQ PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA STANDARDS.

3. KEEP MATERIALS UNDER COVER AND DRY. PROTECT AGAINST EXPOSURE TO WEATHER AND CONTACT WITH DAMP OR WET SURFACES. STACK LUMBER AND PLYWOOD AND OTHER PANELS; PROVIDE AIR CIRCULATION WITHIN AND AROUND STACKS AND UNDER TEMPORARY COVERINGS INCLUDING POLYETHYLENE AND SIMILAR MATERIAL.

4. PROVIDE LUMBER WITH 19% MAXIMUM MOISTURE CONTENT AT TIME OF ENCLOSURE FOR SIZES 2" OR LESS IN NOMINAL THICKNESS, UNLESS OTHERWISE INDICATED.

5. WALL STUDS: (2x6's, 10' AND SHORTER) PROVIDE DOUGLAS FIR-LARCH, "STUD" GRADE LUMBER OR BETTER.

6. FOR STRUCTURAL FRAMING (2" TO 4" THICK, 5" AND WIDER), PROVIDE DOUGLAS FIR-LARCH, NO. 2 GRADE OR BETTER, EXCEPT PRESERVATIVE TREATED LUMBER SHALL BE SOUTHERN PINE NO. 2 OR BETTER.

7. ALL PLYWOOD SHALL BE MANUFACTURED FROM A GROUP 1 OR GROUP 2 SPECIES.

8. COMBINATION SUBFLOOR-UNDERLAYMENT: APA RATED STURD-I-FLOOR. EXPOSURE DURABILITY CLASSIFICATION: EXPOSURE 1. SPAN RATING: AS REQUIRED TO SUIT JOIST SPACING INDICATED. EDGE DETAIL: TONGUE AND GROOVE.

9. WALL SHEATHING: APA RATED SHEATHING. EXPOSURE DURABILITY CLASSIFICATION: EXTERIOR. SPAN RATING: 12/0, 16/0, 20/0 FOR STUD SPACING OF 16" OR LESS.

10. ROOF SHEATHING: APA RATED SHEATHING. EXPOSURE DURABILITY CLASSIFICATION: EXTERIOR. SPAN RATING: 24/0.

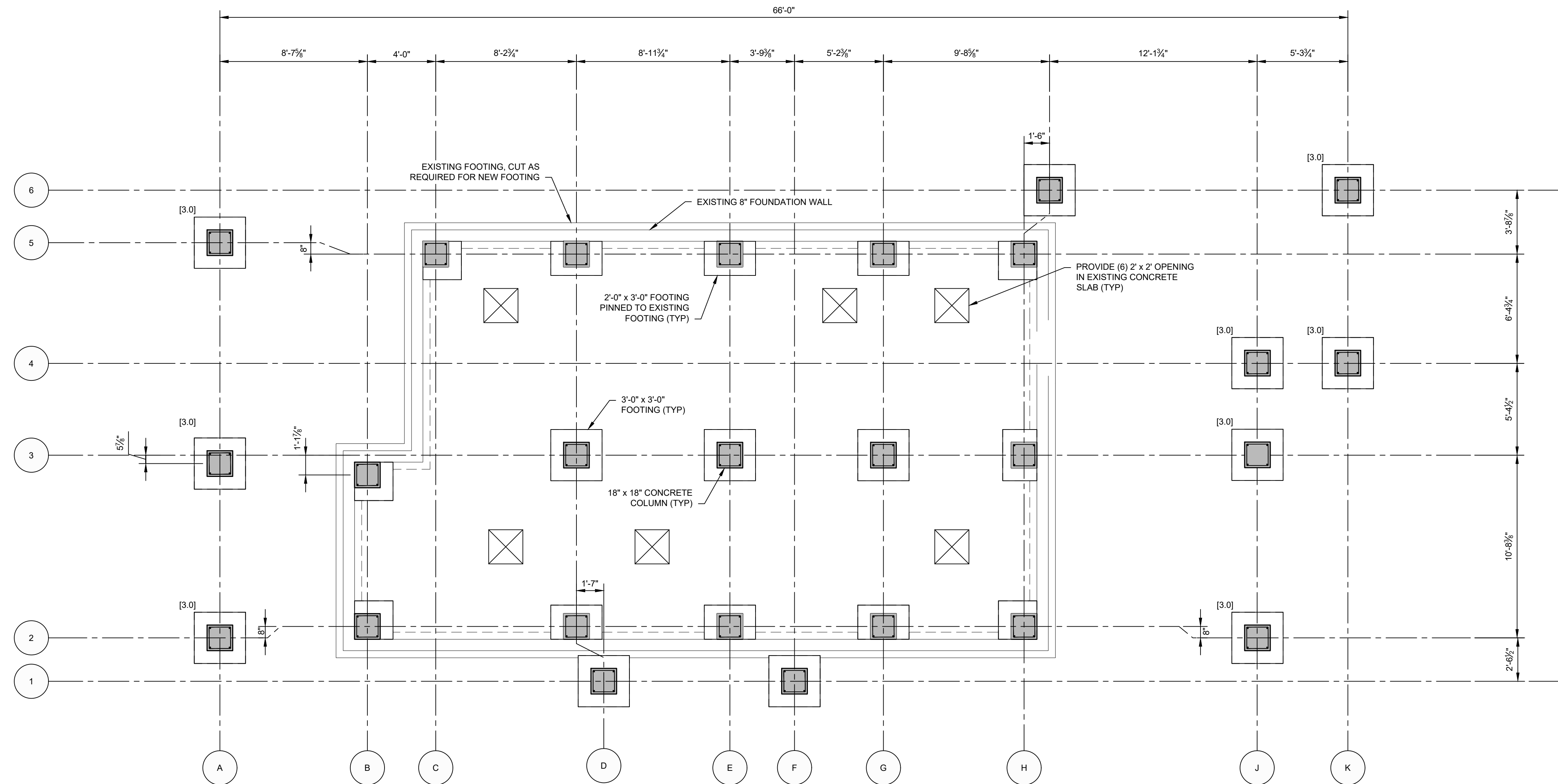
11. FASTENERS AND ANCHORAGES: PROVIDE SIZE, TYPE, MATERIAL AND FINISH AS INDICATED AND AS RECOMMENDED BY APPLICABLE STANDARDS COMPLYING WITH APPLICABLE FEDERAL SPECIFICATIONS FOR NAILS, STAPLES, SCREWS, BOLTS, NUTS, WASHERS AND ANCHORING DEVICES. PROVIDE METAL HANGERS AND FRAMING ANCHORS OF THE SIZE AND TYPE RECOMMENDED BY THE MANUFACTURER FOR EACH USE INCLUDING RECOMMENDED NAILS.

12. WHERE ROUGH CARPENTRY WORK IS EXPOSED TO WEATHER, IN GROUND CONTACT, OR IN AREA OF HIGH RELATIVE HUMIDITY, PROVIDE FASTENERS AND ANCHORAGES WITH A HOT-DIP ZINC COATING (ASTM A 153).

13. SILL SEALER GASKETS: GLASS FIBER RESILIENT INSULATION FABRICATED IN STRIP FORM FOR USE AS A SILL SEALER; 1" NOMINAL THICKNESS COMPRESSIBLE TO 1/32"; SELECTED FROM MANUFACTURER'S STANDARD WIDTHS TO SUIT WIDTH OF SILL MEMBERS INDICATED.


14. CAREFULLY SELECT ALL MEMBERS. SELECT INDIVIDUAL PIECES SO THAT KNOTS AND OBVIOUS DEFECTS WILL NOT INTERFERE WITH PLACING BOLTS OR PROPER NAILING OR MAKING CONNECTIONS.

15. CUT OUT AND DISCARD ALL DEFECTS WHICH WILL RENDER A PIECE UNABLE TO SERVE ITS INTENDED FUNCTION. LUMBER MAY BE REJECTED BY THE ENGINEER, WHETHER OR NOT IT HAS BEEN INSTALLED, FOR EXCESSIVE WARP

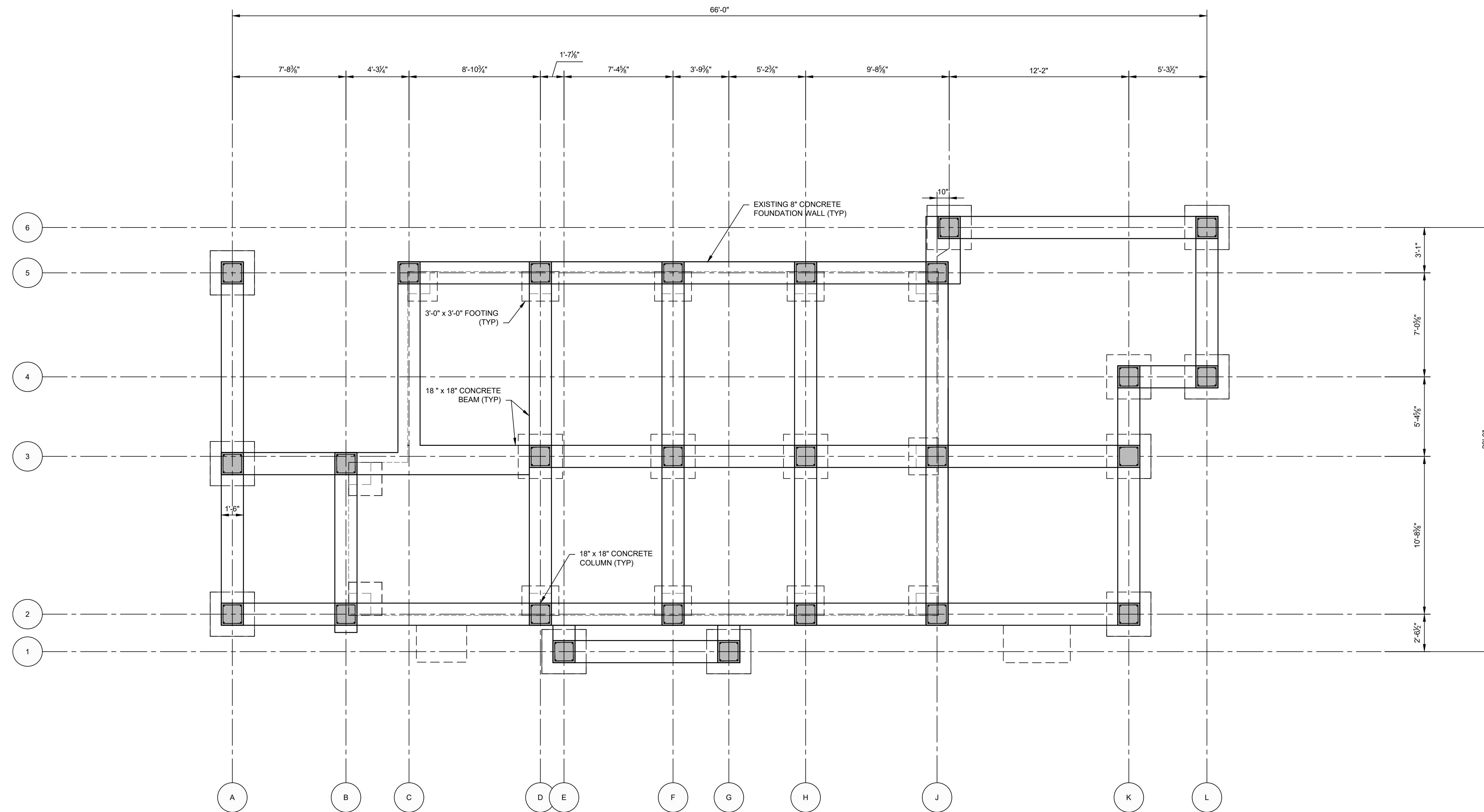


NOTE: BOTTOM OF FOOTING ELEVATION TO MATCH EXISTING BOTTOM OF FOOTING ELEVATION UNLESS NOTED OTHERWISE.


FOUNDATION PLAN
1/4" = 1'-0"

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DRAWING: FOUNDATION PLAN		
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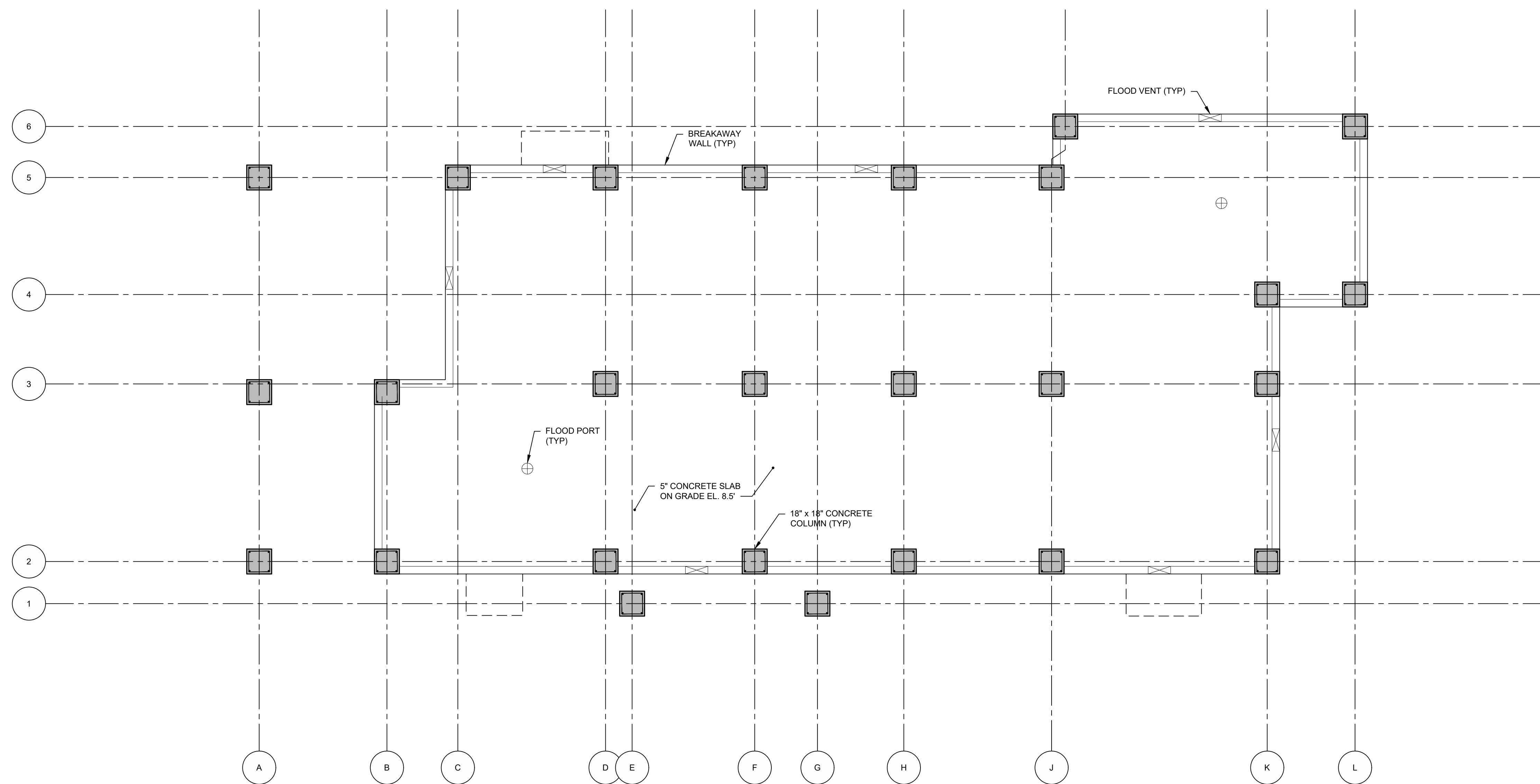




GRADE BEAM PLAN
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LOWER LEVEL PLAN
 1/4" = 1'-0"

1. FLOOD VENT CALCULATION:

DESIGN BASIS: THE ENGINEERED DESIGN PRINCIPLE OF ASCE 24 WITH A RATE OF FLOOD OF FIVE FEET PER HOUR.
 SMART VENT = 200 SF ENCLOSED AREA PER UNIT
 ENCLOSED AREA = 1342 SQUARE FEET. MEASURED FROM EXTERIOR DIMENSIONS OF DWELLING
 REQUIRED = 1342 SF / 200 SF PER FLOOD VENT = 6.71 = 7 FLOOD VENTS
 USE 7 FLOOD VENTS FOR BUILDING

2. FLOOD PORT CALCULATION:

DESIGN BASIS: 1 FOUR INCH DIAMETER RELIEF PORT PER 750 SQUARE FOOT OF ENCLOSED AREA.
 ENCLOSED AREA = 1342 SQUARE FEET
 REQUIRED = 1342 SF / 750 SF PER PORT = 1.789 = 2 FLOOD PORTS
 USE 2 FLOOD PORTS FOR BUILDING

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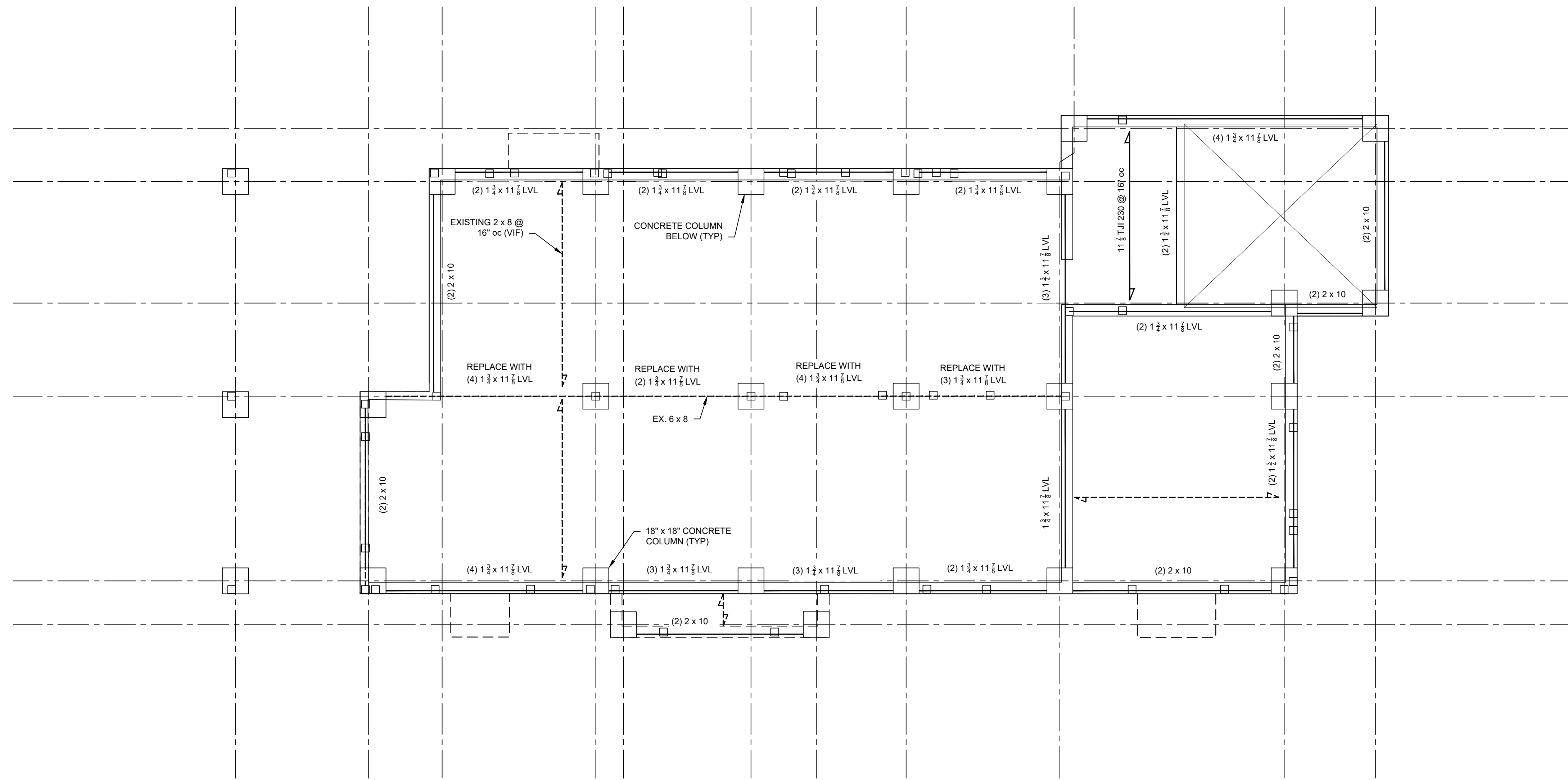
PREPARED FOR:
TIM RATH
 20 HARBOR VIEW AVE
 NORWALK, CT 06854

PROJECT:
 STRUCTURAL ALTERATIONS
 20 HARBOR VIEW AVE
 NORWALK, CT 06854


DRAWING:
 LOWER LEVEL PLAN

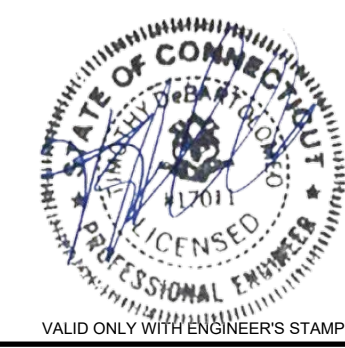


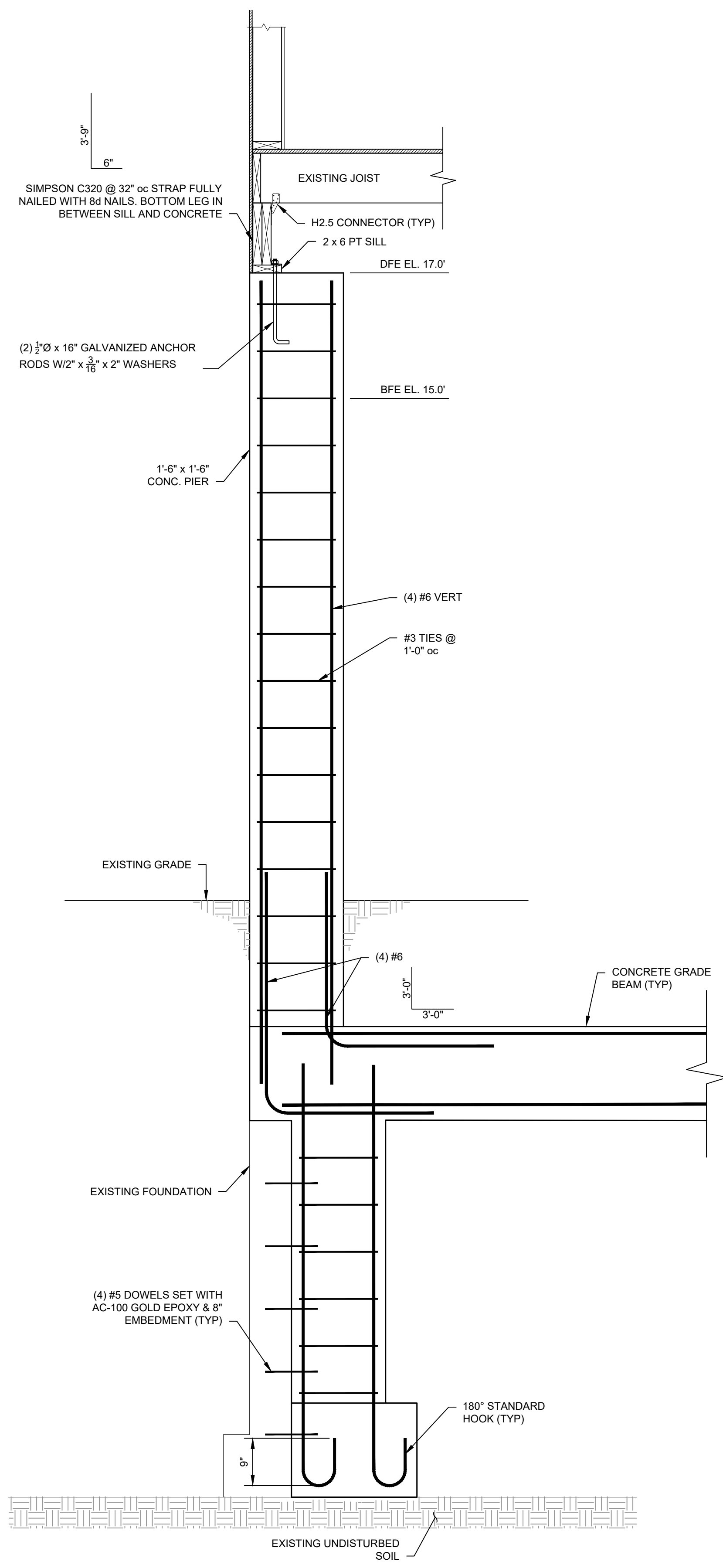
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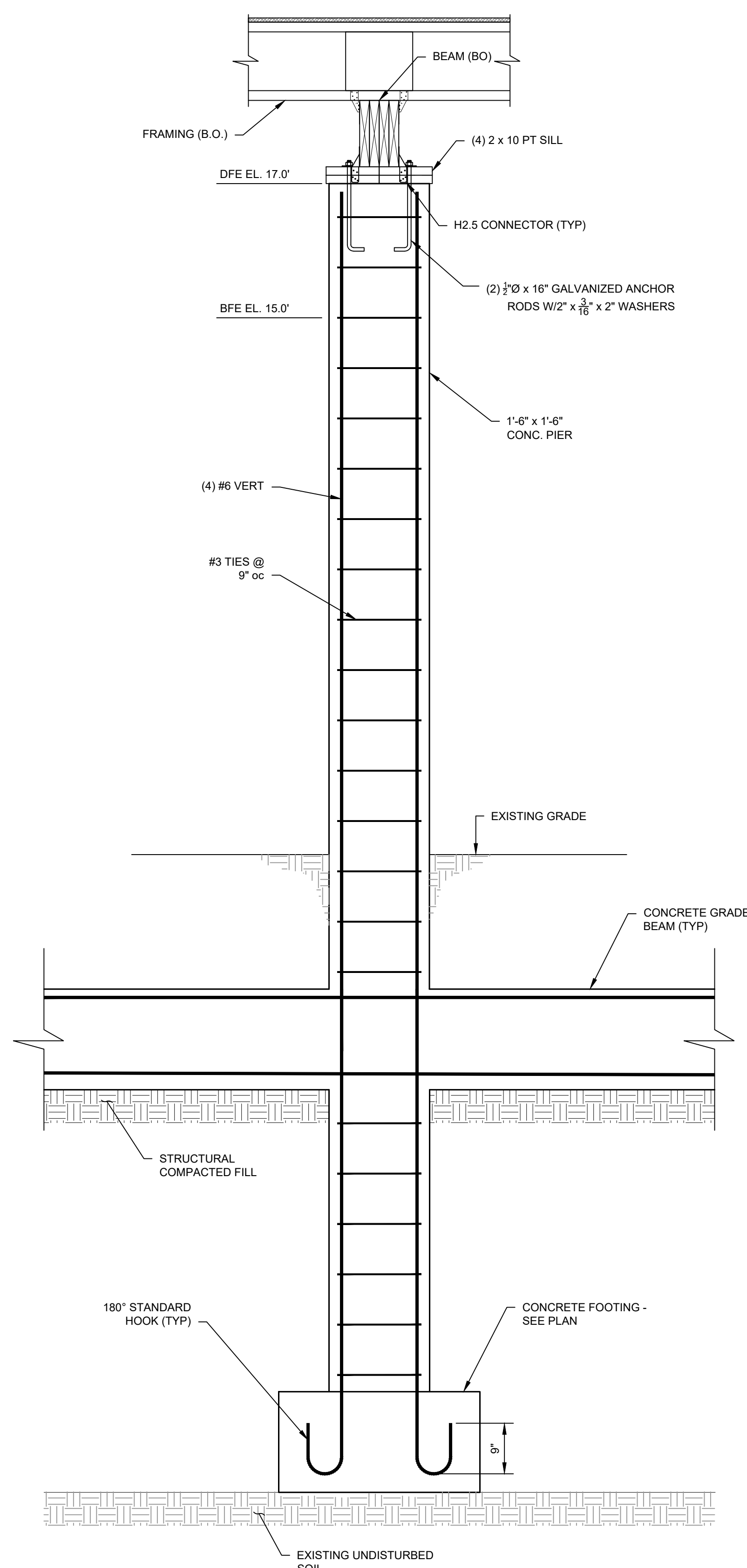
FIRST FLOOR FRAMING PLAN
 1/4" = 1'-0"

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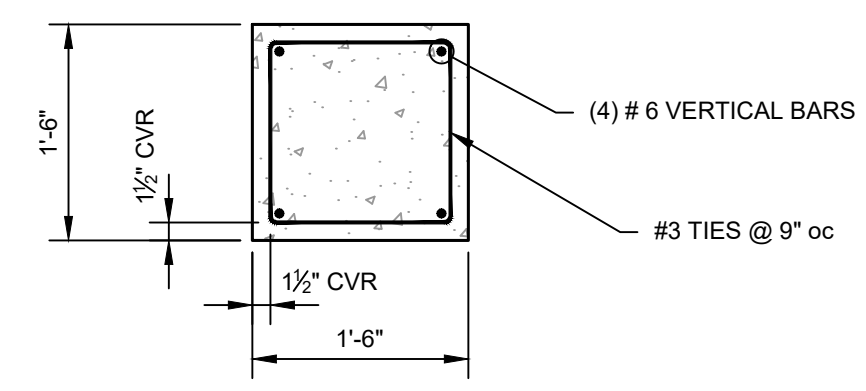




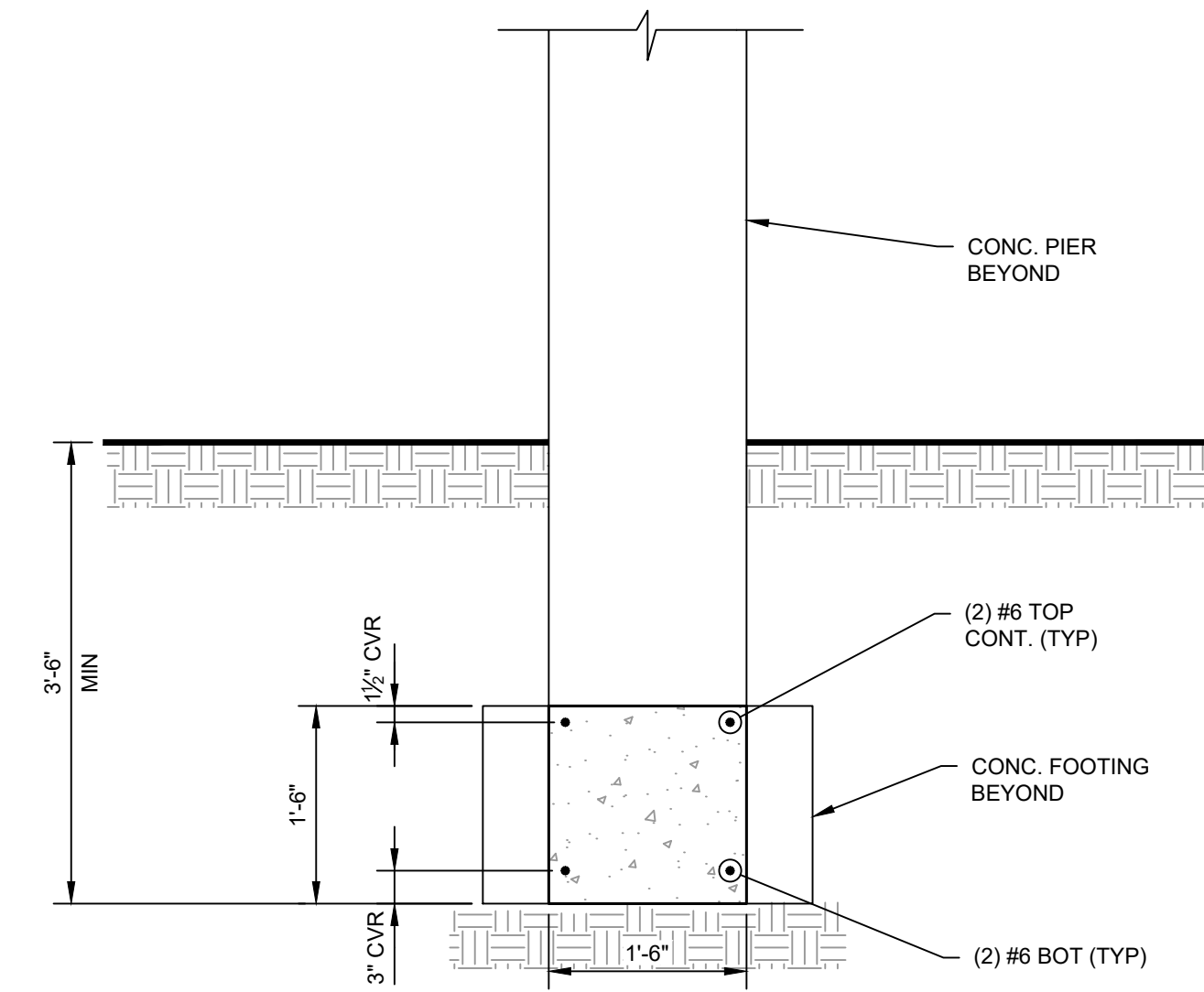
TYPICAL PIER AT EXISTING FOUNDATION
3/4" = 1'-0"



TYPICAL PIER
3/4" = 1'-0"

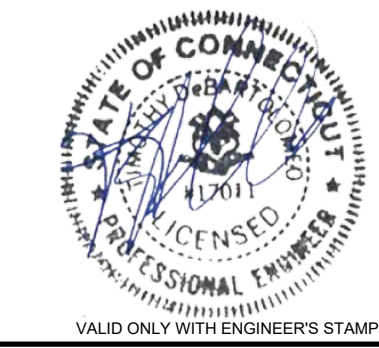


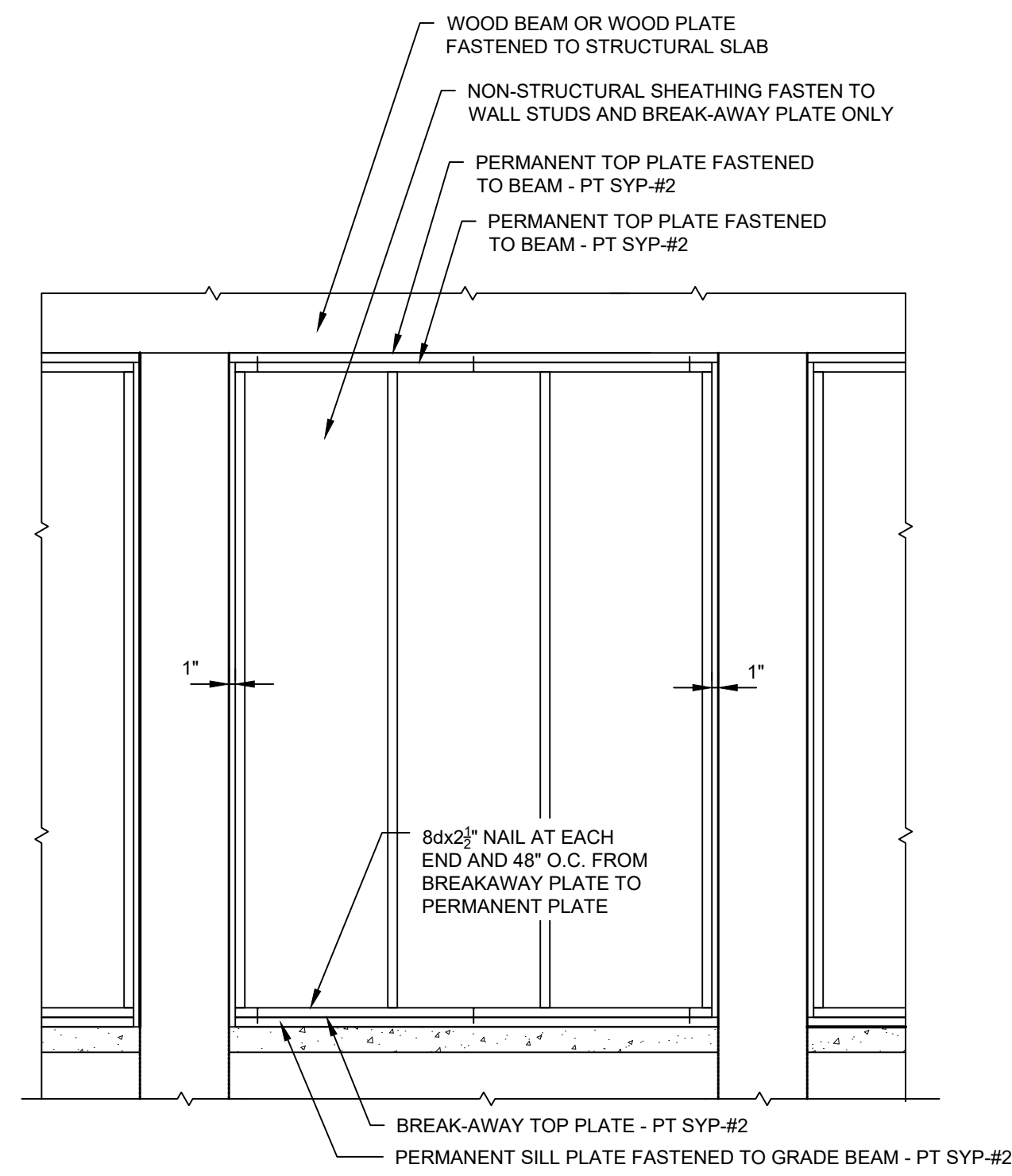
PLAN DETAIL
3/4" = 1'-0"



BEAM DETAIL
3/4" = 1'-0"

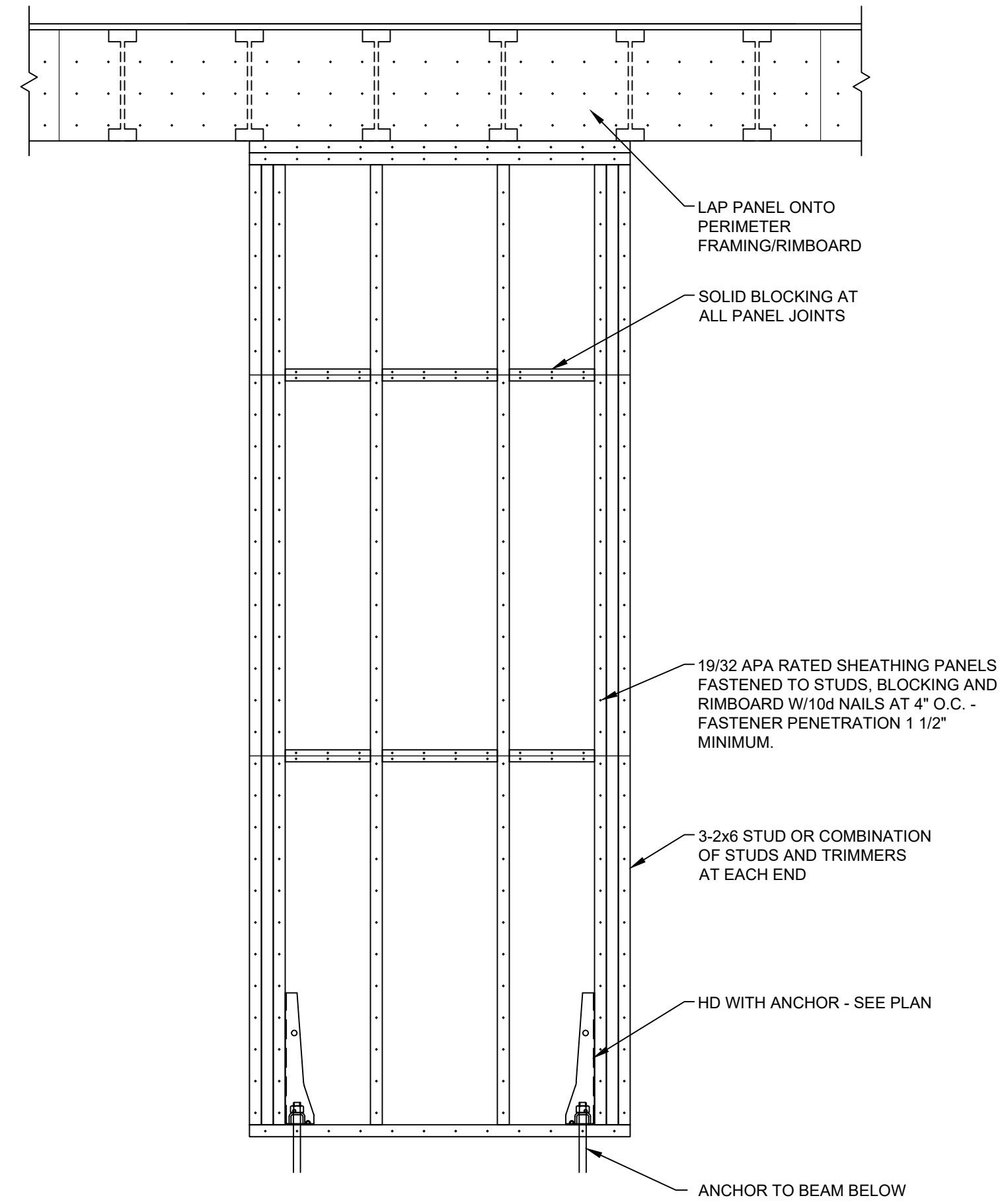
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TYPICAL SECTIONS & DETAILS		
DATE	PROJECT NO.	DRAWING NO.
5/13/2026	2024071	SEA-2.0





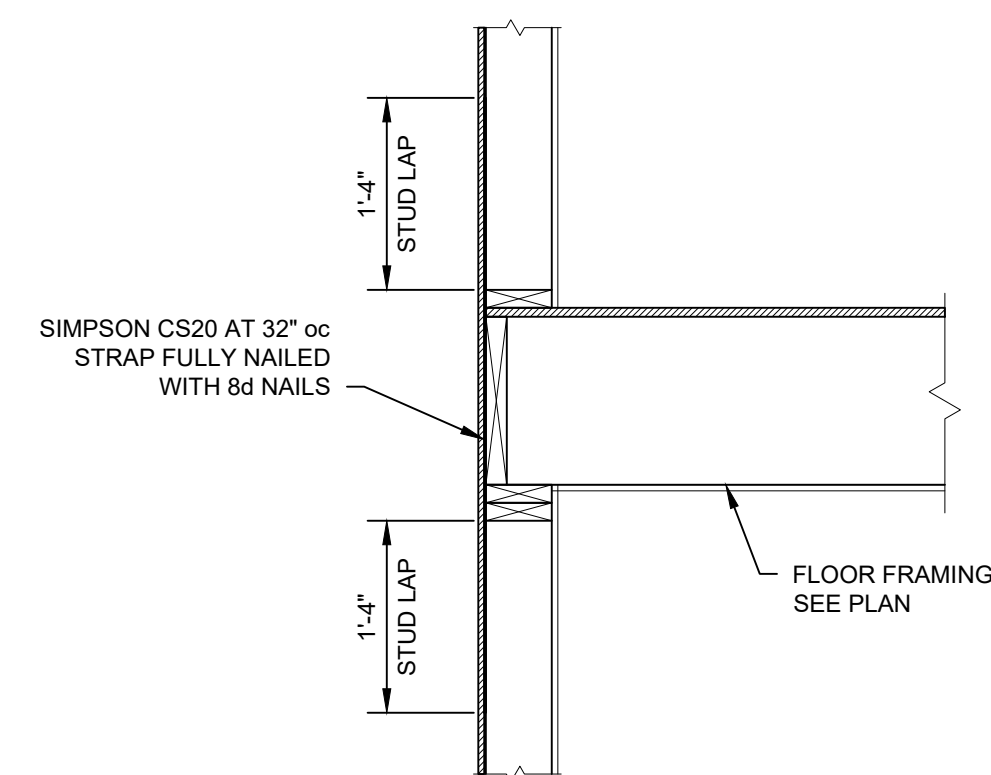
TYPICAL BREAKAWAY WALL INTERIOR ELEVATION

NTS



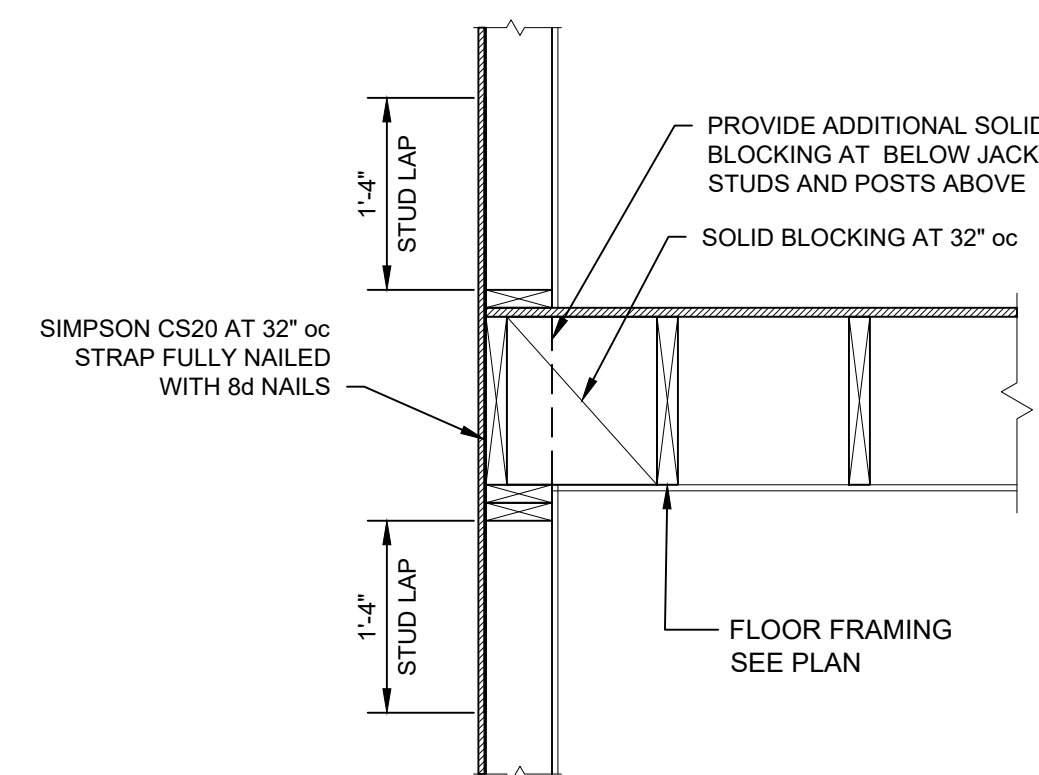
TYPICAL SHEAR WALL (SW) ELEVATION

NTS



SECTION AT FLOOR

3/4" = 1'-0"



AT ALTERNATE DIRECTION

3/4" = 1'-0"

REV	DATE	DESCRIPTION
ISSUE FOR PERMIT		
<p>SOUND ENGINEERING ASSOCIATES LLC 195 Tunxis Hill Rd, Suite 203, Fairfield, CT 06825 Tel.: 203-275-8506</p>		
OWNERSHIP AND CONDITIONS OF USE:		
<small>Drawings & Specifications, as instruments of professional service, are and shall remain the property of Sound Engineering Associates, LLC. Documents shall not be used, in whole or in part, for other projects or purposes or by any other parties than those authorized by contract without the specific written authorization of Sound Engineering Associates, LLC. The use of this document is contingent upon payment to Sound Engineering Associates, LLC for services rendered. Non-payment shall give Sound Engineering Associates, LLC the authority to bar document use by any and all parties.</small>		
THIS DRAWING IS COPYRIGHTED		
PREPARED FOR:		
TIM RATH 20 HARBOR VIEW AVE NORWALK, CT 06854		
PROJECT:		
STRUCTURAL ALTERATIONS 20 HARBOR VIEW AVE NORWALK, CT 06854		
DRAWING:		
TYPICAL SECTIONS & DETAILS		
DATE	PROJECT NO.	DRAWING NO.
5/13/2026	2024071	SEA-2.1



VALID ONLY WITH ENGINEER'S STAMP



MEMORANDUM

June 25th, 2026

TO: Planning and Zoning Commission – Chapin Bryce, Chair

FROM: Amelia Williams, Land Use Planner

SUBJECT: #2026-50 CSPR – Tim Rath – 20 Harbor View Avenue – Raise an existing single-family residence to be FEMA flood compliant adjacent to the Norwalk Harbor.

District: 5 **Block:** 85C **Lot:** 23 **Zone:** CD-1S **Flood Zone:** VE (EL.15)

ZONING HISTORY:

The .14-acre property currently consists of an existing non-conforming two-story single-family residence with an integral one car garage and rear deck. All non-conformities are proposed to remain. There is an existing seawall along the Eastern rear property line that abuts Norwalk Harbor. No stormwater management system currently exists on site. The entire property is within the Limit of Moderate Wave Action (LiMWA) and a high velocity flood zone.

PROPOSED USE/STRUCTURE:

The applicant is proposing to raise the existing residence and add stairs for the rear deck. The structure will be compliant with VE flood zone standards; the house will be built on piers with breakaway walls containing flood vents. The enclosed entry below BFE will be unfinished and flood vented. As there is no increase to impervious surface, stormwater treatment is not required and not proposed. A new gravel driveway is proposed to access parking under the house, and a patio is proposed under the deck. The applicant has confirmed there will be no change in grade. No landscape plan has been submitted.

STAFF COMMENTS:

- Staff has asked the applicant to make some clarifying revisions to the architectural plans.
- Staff recommend a landscape plan be a condition of approval.
- The proposal is consistent with the goals and policies of the Connecticut Coastal Management Act.

SIGN-OFFS: Comments have been received from the Conservation Office and Harbor Management Commission. Health Department, DPW, WPCA, etc. approvals have yet to be received.

ZONING BOARD OF APPEALS: No variances were needed for this proposal.

VIOLATIONS: There are no zoning violations currently on the property.

The following resolutions are offered:

DRAFT RESOLUTION TO APPROVE

BE IT RESOLVED that application #2026-50 CSPR – Tim Rath – 20 Harbor View Avenue – Raise an existing single-family residence to be FEMA flood compliant adjacent to the Norwalk Harbor be **APPROVED** subject to the following conditions:

1. That the building and site be developed in accordance with the following plans:
 - a. Per sedimentation and erosion control plan (site plan) dated 6/16/2026 prepared by Fairfield County Engineering LLC, Norwalk, CT
 - b. Per architectural plans dated 10/31/2024 and revised 6/15/2026 prepared by AWA Design Group P.C., Stamford, CT, with clarifying revisions requested by Staff
 - c. Per zoning location survey dated 6/29/2017 and revised 6/18/2026 prepared by Arcamone Land Surveyors, LLC, Norwalk, CT
 - d. Per structural plans dated 5/13/2026 prepared by Sound Engineering Associates LLC, Fairfield, CT
2. That all department sign-offs are obtained prior to issuance of any Zoning Permit; and
3. That all required soil sedimentation and erosion controls are in place prior to the start of any construction; and
4. That any additional needed soil sedimentation and erosion controls be installed at the direction of Staff; and
5. That any changes to the plans be reviewed by Staff prior to implementation; and
6. That any utilities comply with setbacks and flood regulations; and
7. That flood certifications be submitted prior to issuance of a zoning permit and prior to obtaining a Certificate of Zoning Compliance (COZC), prepared by a CT licensed engineer or architect; and
8. That flood compliance be achieved and demonstrated with a FEMA elevation certificate prior to COZC; and
9. That a landscape plan be submitted to and approved by Staff prior to the issuance of a zoning permit; and
10. That all plantings be implemented prior to COZC; and

11. That all plantings be maintained, and any dead plantings must be replaced in accordance with the approved planting plan; and
12. That no changes to the seawall are permitted without City review and DEEP approval; and
13. Nothing in this permit shall obviate the requirements for the applicant to obtain any other assents, permits or licenses required by law or regulation by the City of Norwalk, State of Connecticut, or the Government of the United States, including any approval required by the Connecticut Department of Environmental Protection and U.S. Army Corps of Engineers- obtaining such assents, permits or licenses is the sole responsibility of the applicant; and

BE IT FURTHER RESOLVED that this proposal complies with all applicable coastal resource and use policies and with all applicable sections of the Zoning Regulations for the City of Norwalk; and

BE IT FURTHER RESOLVED that these preceding conditions and modifications of this application are integral to the Commission's approval because, if not for those conditions and modifications, the Commission would have denied this application; and

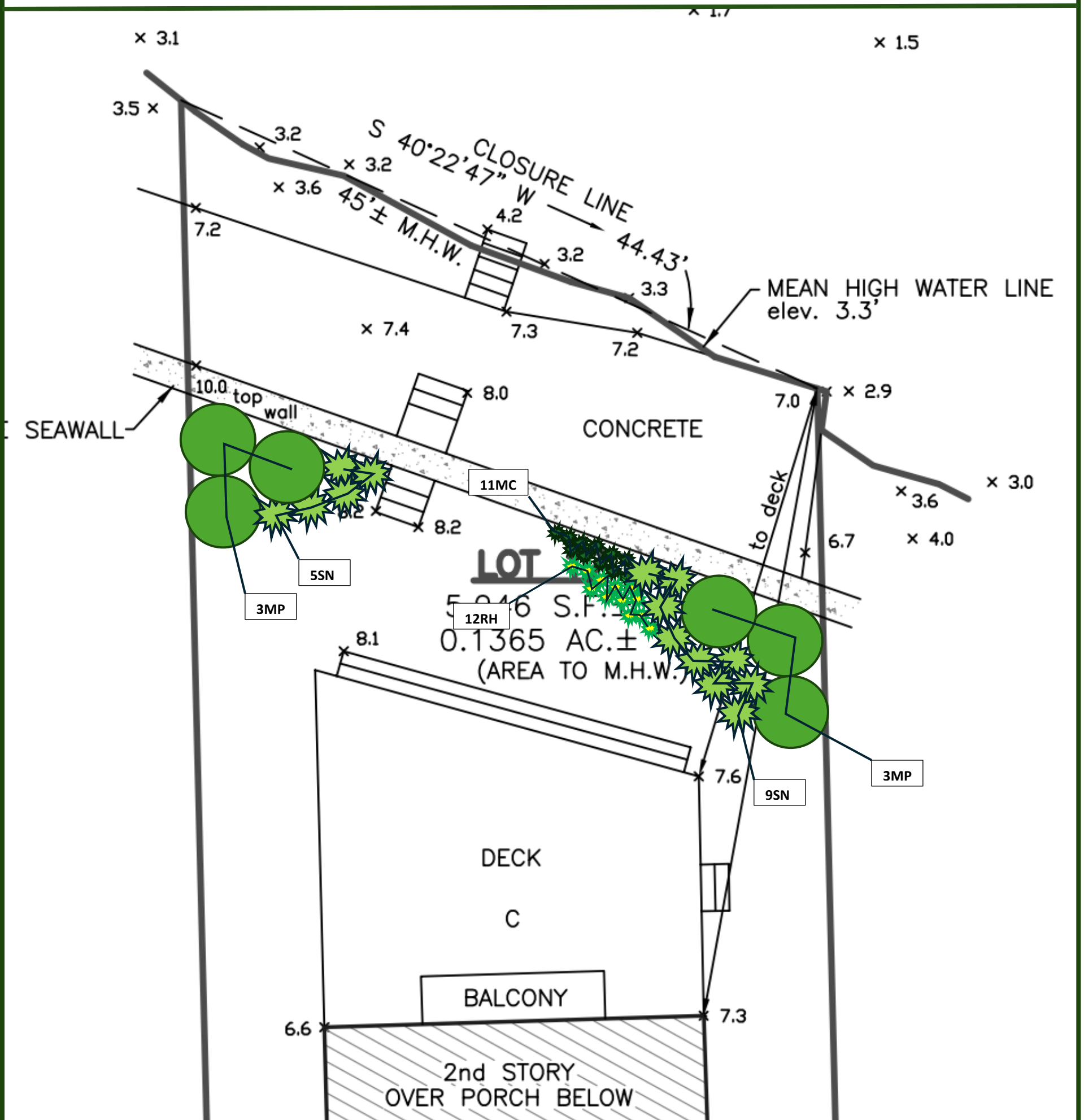
BE IT FURTHER RESOLVED that the effective date of this approval shall be July 10th, 2026.

You must obtain a zoning approval and a building permit prior to any work on the site.

COASTAL AREA RESTORATION PLAN

20 HARBOR VIEW AVENUE, NORWALK, CT

BY ALEKSANDRA MOCH, LANDSCAPE DESIGNER, JUNE 25, 2026



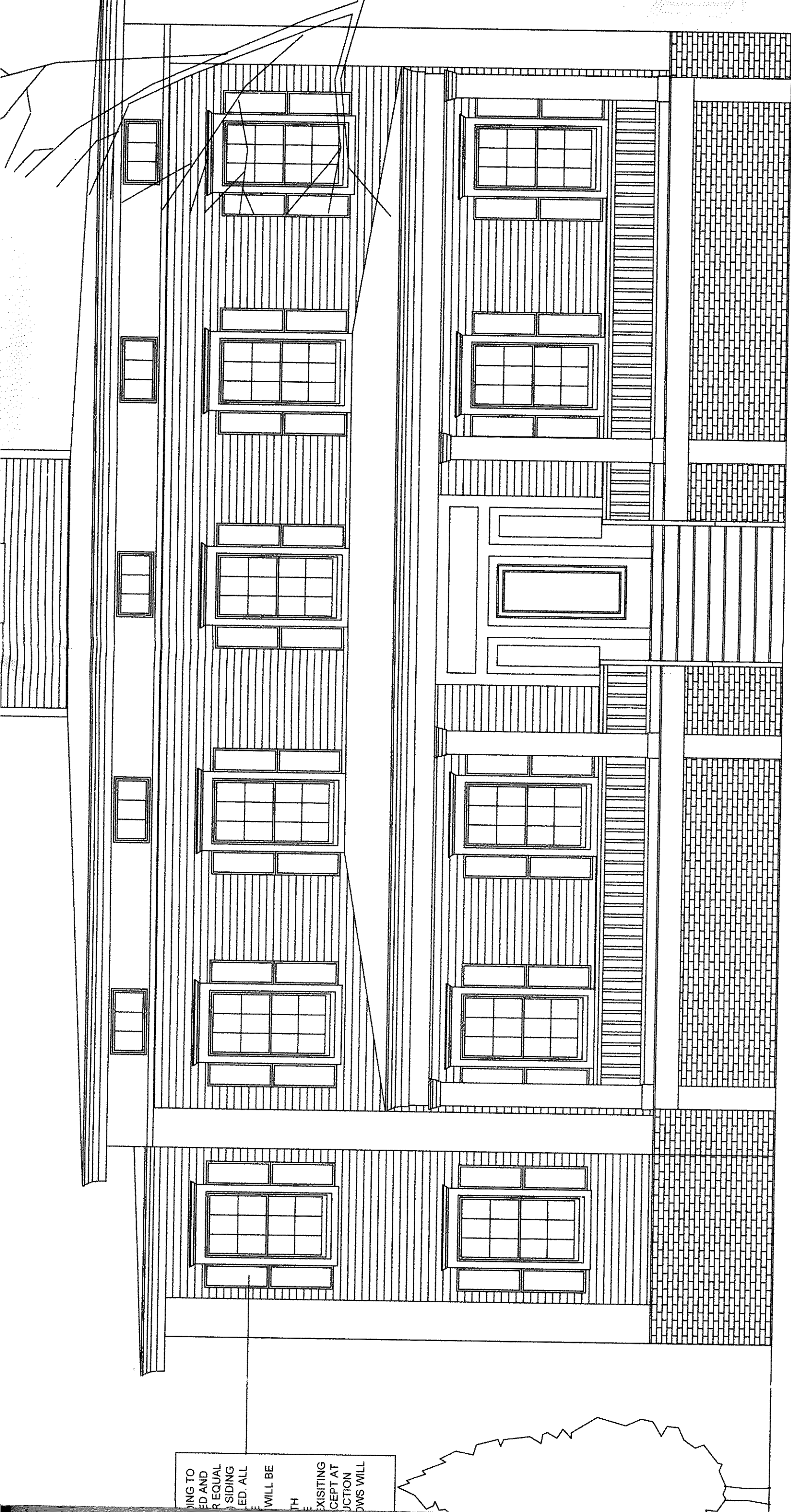
PLANTING SCHEDULE

QTY	KEY	BOTANICAL/COMMON NAME	SIZE	ROOT
14	SN	<i>Sorghastrum nutans</i> / Indiangras	#3	Cont.
12	RH	<i>Rudbeckia hirta</i> / Black-eyed-Susan	#1	Cont.
11	MC	<i>Muhlenbergia capillaris</i> / Pink Muhly Grass	#1	Cont.
6	MP	<i>Myrica pensylvanica</i> / Bayberry	3'-4'	Cont.

75 East Avenue

The property at 75 East Avenue was purchased in 2016 by Mario Lombardi. Previously it was the Downer Funeral Home and before that a private dwelling. At the time of my site observation it was discovered that a fair amount of the bearing partitions had been removed (assumably require to move caskets) and floors on the main floor were off by 4" level from one end to another. Much of the construction predated building codes, and was roughhewn and often undersized. There was also rot in many of the exterior walls and door and window openings. The partial attic had become a pigeon's nest and entirely unsafe. Years of vacancy and neglect and the building had become inhabitable. Much of the original ornamentation and detail were lost and could never be replicated without excessive cost.

The repairs and redesign of this structure provided for four residential apartments. And a beautiful building was retained and brought back to life. Not replicated to the exact detail the craftsman of the past could accomplish. But to the required codes of today insulated and weather proofed and built to last another 100 years.



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ELIMINARY WEST & SOUTH ELEVATION
NOR on the GREEN
EAST AVENUE
RWALK, CT

HELL ARCHITECTURE

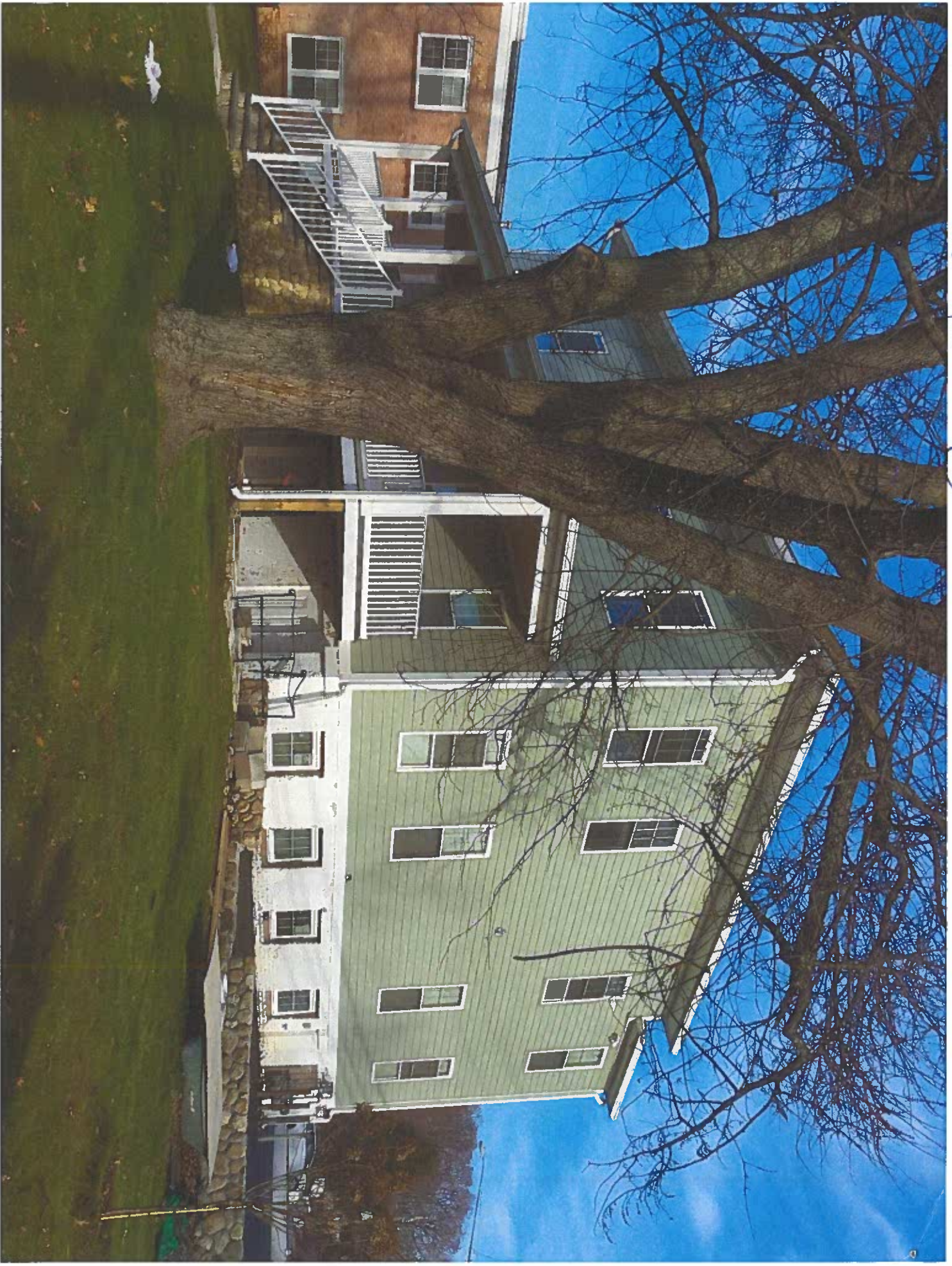
SCALE 1/8" = 1'-0"

12/20/2018

75 East Ave

(TP)

12-19-2018 (1).JPG (3264x2448)

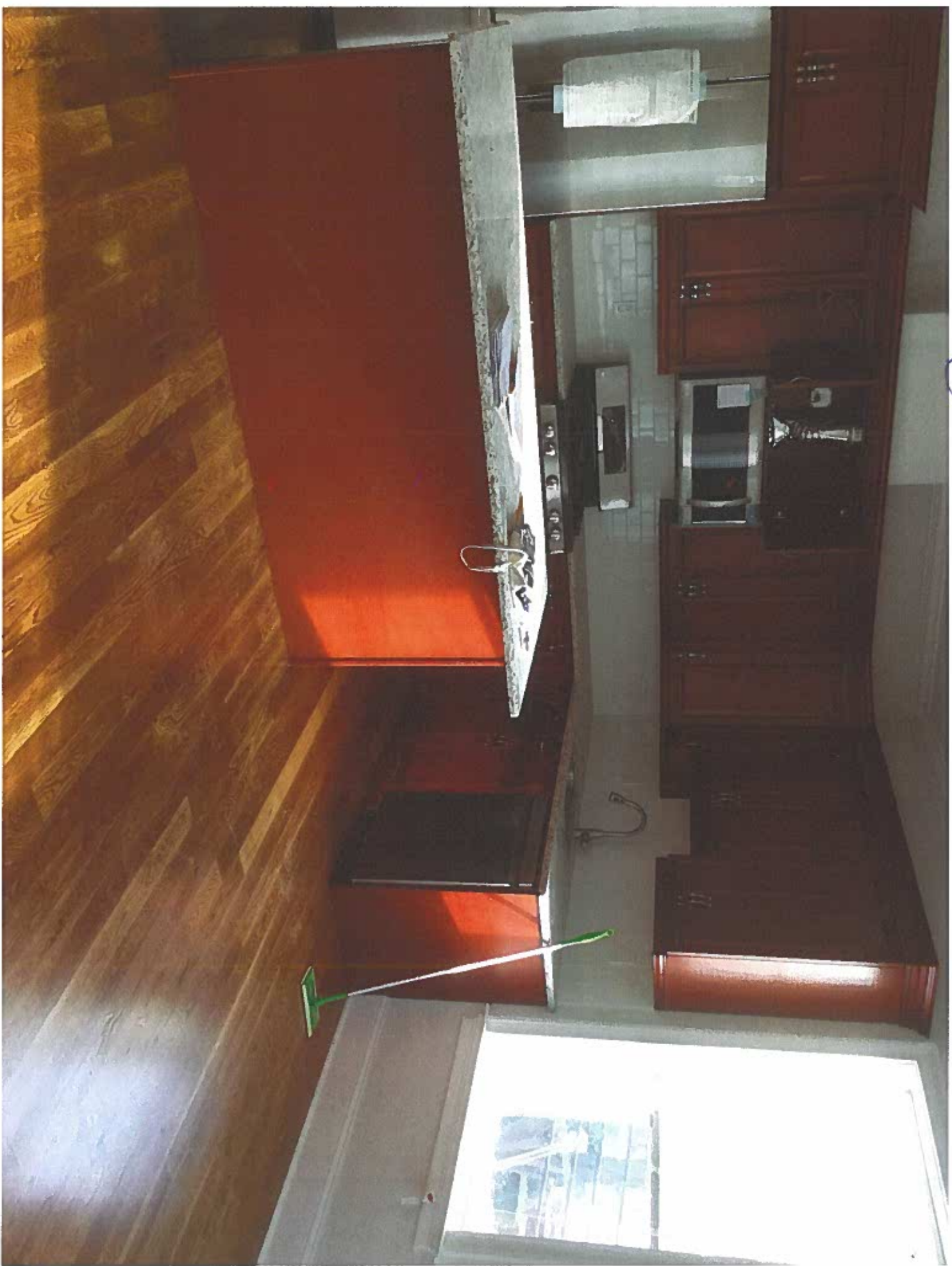


48991008

75 East Ave (TM)

12-19-2018 (2).JPG (3264x2448)

Unit 4 Kitchen



12-19-2018

715 East Ave

TM

12-19-2018 (3).JPG (3264x2448)

attic/cupola area = living space unit 4



12-19-2018 (4).JPG
75 East Ave

FM

12-19-2018 (4).JPG (3264x2448)



~~12-19-2018 (5)~~ 75 East Ave (EM)

12-19-2018 (5).JPG (3264x2448)

Rear



75 East Ave (TM)

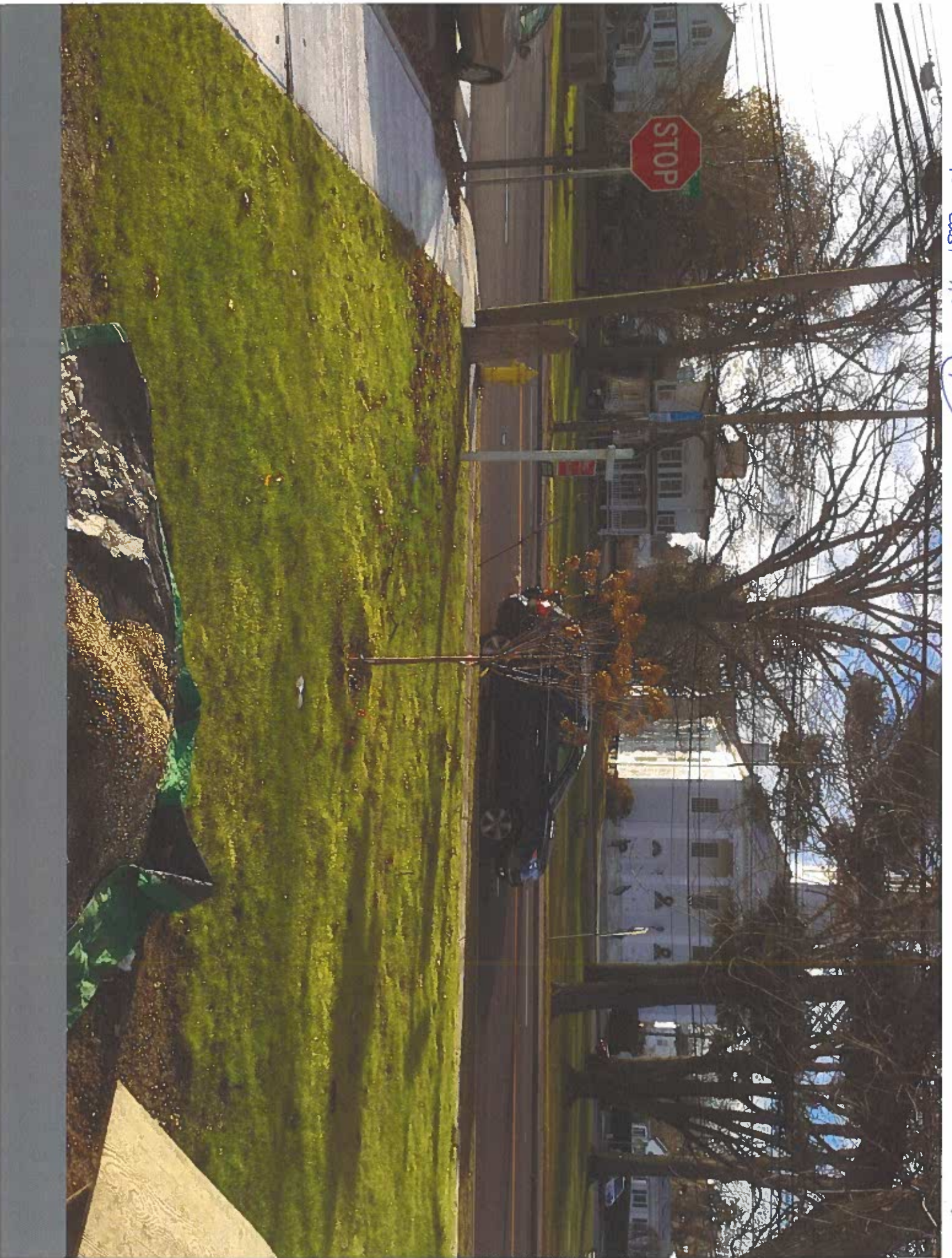




75 East Ave (TM)









CITY OF NORWALK - PLANNING & ZONING
 Frank J. Strauch, RLA
 Site Planner
 fstrauch@norwalkct.org
 P: 203-854-7955 / F: 203-854-7958
 125 East Avenue, PO BOX 5125
 Norwalk, CT 06856-5125

January 18, 2017

Mario Lombardi
 C/O Fishell Architecture
 36 Givens Avenue
 Stamford, CT 06902
 Attn: Lyle Fishell

*ZONING'S
 Set*

Sent Certified Mail
 No. 7011 1150 0000 3157 3814

RE: #14-16SP / #32-16CAM – Mario Lombardi – 75 East Avenue – Conversion of existing funeral home to 4 unit MFR -- Tax Map: 14 NE District: 1 Block: 71 Lot: 25 Zone: EAVD

Dear Mr. Fishell:

At their meeting of December 14, 2016, the Norwalk Zoning Commission adopted the following resolution:

RESOLVED that application #14-16SP/#32-16CAM – L. Fishell – 75 East Av - Conversion of funeral home to 4 units, and as shown on zoning location map dated 7/17/2015 and revised to 11/8/2016 by Dennis A. Delius, (Norwalk, CT), CT. LIC. 6396 and on the engineering plans by HKA Associates (Trumbull, CT), dated 4/3/2016 and the architectural plans by Fishell Architecture, LLC, Norwalk, CT dated 10/20/2016 be **APPROVED** with the following conditions:

1. That **all** required CEAC signoffs are submitted; and
2. That a surety, in an amount to be determined by staff, be submitted to guarantee the installation of the required erosion and sediment controls; and
3. That a surety, in an amount to be determined by staff, be submitted to guarantee the installation of the required improvements; and
4. That all soil and erosion controls be in place and verified by an inspection by Staff prior to the start of any work on the site; and
5. That any additional needed soil and sedimentation controls be installed at the direction of the staff; and
6. That **all recommendations by the zoning commission's consultant in its report be followed; and**
7. That an updated drainage plan be submitted showing proposed drainage; and
8. That if there is a proposed dumpster outside that it be locked and properly screened; and
9. That the hours of garbage pick-up be no earlier than 7 a.m. and no later than 7 p.m. and that any deliveries be no earlier than 8 a.m. and no later than 6 p.m.; and
10. That all signage, existing and proposed, comply with the zoning regulations; and
11. That an engineer's certification be submitted prior to a certificate of occupancy; and
12. That a stormwater system maintenance plan be submitted and that any proposed system be properly maintained; and
13. That any changes to the plan be reviewed and approved prior to those changes being implemented; and
14. That any graffiti on the site, now or in the future, be removed immediately; and
15. That all HVAC units shall be located in conformance with the applicable zoning setbacks; and
16. That any sidewalks in poor condition be replaced and that there be a full 5' clearance from any obstruction; and

BE IT FURTHER RESOLVED that the proposal complies with the applicable sections of the Norwalk Building Zone Regulations, specifically Sections 118-500, "East Avenue Village District" and 118-1450 Special Permit and 118-1110 Coastal Zone ; and

BE IT FURTHER RESOLVED that a Certificate of Special Permit **AND** map be placed on the Norwalk Land Records; and

BE IT FURTHER RESOLVED that this proposal complies with all applicable coastal resource and use policies; and

BE IT FURTHER RESOLVED that the effective date of this approval shall be December 23, 2016.

THIS MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A ZONING PERMIT

You must obtain a zoning approval and a building permit prior to any work on the site. A building permit must be obtained within one year of the effective date of this approval or this special permit approval automatically becomes null and void.

A Zoning Approval will also not be issued until a financial guarantee for erosion & sediment controls and tree protection is submitted to this office. Enclosed please find a copy of the requirements for submitting a financial guarantee to this department. The financial guarantee for this part of the project is set at Five Thousand Dollars Even (\$5,000.00). A copy of the financial guarantee estimate is enclosed for your use.

THIS MUST BE SUBMITTED PRIOR TO ANY FILINGS AND ISSUANCE OF A ZONING PERMIT

This Special Permit will become effective when the special permit certificate and Mylar site plan map are filed on the Norwalk Land Records in the Town Clerks Office. A copy of the special Permit approval instructions is enclosed for your use.

THIS MUST BE FILED PRIOR TO THE ISSUANCE OF A ZONING PERMIT

Regarding all non-cash bonds: Corporation Counsel before and the Commission reserves the right to approve the surety as to form and/or issuing financial institution. A list of approved CT surety companies is enclosed for your use.

A Certificate of Occupancy will also not be issued until a financial guarantee for all the required improvements must is submitted to this office. Enclosed please find a copy of the requirements for submitting a financial guarantee to this department. The financial guarantee for this part of the project is set at Thirty-Six Thousand Twenty-Five Dollars and Zero Cents (\$36,025.00). A copy of the financial guarantee estimate is enclosed for your use. The contractor / owner / leasee is responsible to alerting Planning & Zoning staff as to what improvements have been completed prior to any request for a certificate of occupancy. The staff member will inspect all improvements and request all engineer certification of improvements prior to the issuance of any certificate of occupancy. All remaining work not done and / or accepted will be bonded by a financial guarantee.

THIS MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A ZONING CERIFICATE OF OCCUPANCY – IF ALL WORK IS COMPLETED AND ACCEPTED BY THIS DEPARTMENT, A 15% MAINTENANCE BOND MUST BE RETAINED BY THIS OFFICE FOR A PERIOD OF 1 YEAR AFTER THE ZONING CERIFICATE OF OCCUPANCY IS ISSUED

Regarding all non-cash bonds: Corporation Counsel before and the Commission reserves the right to approve the surety as to form and/or issuing financial institution. A list of approved CT surety companies is enclosed for your use.

Enclosed please find a copy of the "Policy on Construction Inspection in the City of Norwalk." You are responsible for obtaining permits from the Department of Public Works prior to any work in a street right-of-way. All work must comply with the standards for the City of Norwalk, whether or not those standards were specifically discussed in the process of reviewing the application.

If you have any questions regarding this approval, please contact me directly either by phone at 203-854-7955 or by email at fstrauch@norwalkctdot.org.

Very truly,



Frank J. Strauch, RLA
Site Planner

Cc: File
Attachments



MEMORANDUM

July 1st, 2026

TO: Planning and Zoning Commission – Chapin Bryce, Chair

FROM: Michelle Andrzejewski, Senior Planner

SUBJECT: #14-16SP/#32-16CAM MODIFICATION – L. Fishell – 75 East Avenue – Conversion of a funeral home to 4 units.

Commissioners,

Staff has received a request to modify an approved Special Permit and Coastal Area Management (CAM) application. The applicant originally received approval from the Commission in 2016, which included a peer design review. A subsequent zoning permit was issued in 2017.

In March 2019, the applicant received a conditional Certificate of Zoning Compliance. The certificate was contingent upon completion of several outstanding items, including architectural features that were not installed. Specifically, these features included the eyebrow windows above the uppermost windows and shutters. The applicant is requesting a modification that the installation of the eyebrow windows and shutters not be required.

STAFF COMMENTS: Staff's position is that the applicant was aware of the conditions of approval and the plans approved by the Commission. Condition No. 6 of the Commission's approval specifically states: "That **all** recommendations by the Zoning Commission's consultant in its report be followed." The omitted architectural features were part of the approved plans and were required as a condition of the Commission's approval. Therefore, staff believes these features should be installed prior to the issuance of final Certificate of Zoning Compliance.



March 17, 2026

VIA HAND DELIVERY

Nowalk Planning and Zoning Commission
Attn: Steven Kleppin
125 East Avenue
Norwalk, CT 06851

Re: Design Review Application – 216 East Avenue, Norwalk, CT

Dear Steven:

On behalf of the AMG Real Estate LLC (the “**Applicant**”), please accept this Site Plan Review application for the property located at **216 East Avenue, Norwalk, Connecticut** (the “**Property**”), which is located in the **CD-3 Zone** and within the **East Norwalk Village TOD Village Zone District (EVTZ)**. The Property is currently improved with an existing gasoline service station and repair facility that is a **legal nonconforming use** in the CD-3 Zone.

The Applicant seeks Commission review and approval for (i) an **interior use change** within the existing building, consisting generally of converting the existing repair/service area to **retail floor area** to be operated in conjunction with the existing gasoline service station use, and (ii) a **refresh of the building’s exterior design/façade**, as shown on the enclosed architectural plans and elevations. **Fuel sales and fueling operations will remain as existing and are not proposed to change.** No building expansion is proposed.

Because the Property is located within the EVTZ, the application is also subject to the **Village District design review standards and peer review process**. Consistent with these requirements, the enclosed submission includes the site and architectural plans and supporting materials necessary for the Commission’s review of both the proposed use change and the exterior design updates.

We respectfully request that the Commission accept this application, refer it for the required EVTZ peer review, and schedule the matter for review and action in accordance with the City’s procedures. Please do not hesitate to contact me with any questions.

Very truly yours,

Daniel S. Glissman

Daniel S. Glissman
Direct: 860-278-1900
Email: daniel.glissman@mrglaw.com



Site Plan Review Application

City of Norwalk Planning & Zoning Commission

Phone: 203-854-7780

www.norwalkct.gov

Date Received:

Per Section 8.4.5 of the Norwalk Zoning Regulations, the purpose of Site Plan Reviews is to aid in determining the conformity of proposals related to Development, Buildings, Structures, Uses, and other matters with the Zoning Regulations.

1. Address of Subject Property(s):

216 East Avenue, Norwalk, CT

2. District: 3, Block: 9, Lot(s): 14 3. Zone: CD-3, Overlay/Village District: EVTZ

4. Historic Structure(s): No Yes 5. Flood Hazard Zone: No Yes, Flood Zone(s) _____

6. Coastal Area Management Zone: No Yes If yes, include application for Coastal Site Plan Review or specify Section allowing exemption: _____

7. Existing Use of Property:

Motor Vehicle Maintenance, Repair, Fuel Sales, Service or Cleaning

8. Proposed Use of Property as Identified per Table 4.3.9.A Building, Lot & Building Site Principal Uses:

Motor Vehicle Maintenance, Repair, Fuel Sales, Service or Cleaning / Retail Sales -

Convert existing automobile repair/service bay area within an existing gas station building to accessory retail sales primarily serving on-site customers, including

convenience goods and automotive-related merchandise. No change to fueling operations.

No vehicle repair/service use will remain in the converted area.

Applicant Information

Applicant Name: AMG REAL ESTATE LLC

Billing Address: 555 SOUTH COLUMBUS AVE #201 MOUNT VERNON, NY 10550

Phone Number: (914) 699-9500 Email: DPorco@atlantismgmt.com

Signature: DANNY PORCO

Property Owner Information and Authorization

Owner of Record: AMG REAL ESTATE LLC

Billing Address: 555 SOUTH COLUMBUS AVE #201 MOUNT VERNON, NY 10550

Phone Number: (914) 699-9500 Email: DPorco@atlantismgmt.com

Signature: DANNY PORCO

**By signing, the property owner confirms that the Applicant has been authorized to apply for Planning & Zoning approval, and attests that all information provided is true and accurate.*

LIST OF ABBREVIATIONS

@	- At	INCL.	- Include/Including
A.C.T.	- Acoustical Ceiling Tile	INFO.	- Information
A.F.C.	- Above Finished Ceiling	INSUL.	- Insulate, Insulating, Insulation
A.F.F.	- Above Finished Floor	INT.	- Interior
AIA	- American Institute of Architects	JAN.	- Janitor
AIEE	- American Institute of Electrical Engineers	K.D.	- Knock Down
AISC	- American Institute of Steel Contractors	K.O.	- Knock Out
ALUM.	- Aluminum	KW.	- Kilowatt
ALT.	- Alternate	L.	- Length
AMP.	- Ampere	LAV.	- Lavatory
APT.	- Apartment	LB.	- Pound
ARCH.	- Architect or Architectural	L.H.	- Left Hand
ASHRAE	- American Society of Heating, Refrigerating, & Air Conditioning Engineers	L.H.R.	- Left Hand Reverse
		LIN.	- Linear
ASME	- American Society of Mechanical Engineers	LT.	- Light
ASTM	- American Society of Testing Engineers	MANUF.	- Manufacturer
ASSOC.	- Associated, Association	MAT.	- Material
AWG	- American Wire Gauge	MAX.	- Maximum
BD.	- Board	MECH.	- Mechanical
B.L.	- Building Line	MED.	- Medium
BLDG.	- Building	MEZZ.	- Mezzanine
BLK.	- Block	MIN.	- Minimum
BM.	- Beam	MISC.	- Miscellaneous
B.O.	- By Others	MTL.	- Metal
BOT.	- Bottom	N.	- North
B.O.S.	- Bottom of Steel	NEC	- National Electrical Code
BTU	- British Thermal Unit	NEMA	- National Electrical M Assoc
CAB.	- Cabinet	N.I.C.	- Not in Contract
CLG.	- Ceiling	NO.	- Number
C.T.	- Ceramic Tile	N.T.S.	- Not to Scale
CFM	- Cubic Feet Per Minute	OA.	- Overall
C.H.	- Ceiling Height	O.A.D.	- Overall Dimension
CL.	- Centerline	O.C.	- On Center
CLKG.	- Caulking	O.D.	- Outside Diameter
CLO.	- Closet	OFF.	- Office
CLR.	- Clear	P.A.	- Public Assembly
COL.	- Column	PCF	- Pounds Per Cubic Foot
CONC.	- Concrete	PERF.	- Perforated
CONST.	- Construction	PERM.	- Permanent
CONT.	- Continuous	PERP.	- Perpendicular
CONTR.	- Contractor	PH.	- Phase
CORR.	- Corridor	P.LAM.	- Plastic Laminate
COV.G.	- Covering	PLMB.	- Plumbing
CPT.	- Carpet	PLYWD.	- Plywood
CS.	- Countersink	PNL.	- Panel
CTR.	- Center	POL.	- Polished
CU. FT.	- Cubic Feet	POS.	- Positive
CU. IN.	- Cubic Inch	PSF	- Pound Per Square Foot
CU. YD.	- Cubic Yard	PSI	- Pound Per Square Inch
D.	- Depth or Deep	PTN.	- Partition
DB.	- Decibel	PT.	- Paint
DBL.	- Double	PTD.	- Painted
DEPT.	- Department	PR.	- Pair
DET.	- Detail	QUAL.	- Quality
D.F.	- Drinking Fountain	RAD.	- Radius
DIA.	- Diameter	RE.	- Refer
DIAG.	- Diagonal	REC'D.	- Received
DIM.	- Dimension	RECP.	- Receptacle
DIV.	- Division	REF.	- Refrigerator
DN.	- Down	R.H.	- Right Hand
DR.(S)	- Door(s)	R.H.R.	- Right Hand Reverse
DWG.	- Drawing	REQ.	- Required
ELEV.	- Elevation or Elevator (context determines)	RM.(S)	- Room(s)
ELEC.	- Electrical	S.S.	- Stainless Steel
ENAM.	- Enamel	S.C.	- Solid Core
ENGR.	- Engineer	SECT.	- Section
EQ.	- Equal	SEP.	- Separate
EQUIP.	- Equipment	SIM.	- Similar
E.W.C.	- Electric Water Cooler	SPEC.(S)	- Specification(s)
EXH.	- Exhaust	SPKR.	- Speaker
EXIST.	- Existing	SPKLR.	- Sprinkler
EXP.	- Exposed	SQ.	- Square
EXTR.	- Extruded	SQ. FT.	- Square Foot
EXT.	- Exterior	SR.	- Senior
F.D.	- Fire Damper	STD.	- Standard
F.H.	- Full Height	STL.	- Steel
FIN.	- Finish	STRUC.	- Structural
FL.	- Floor	SUPT.	- Superintendent
FT.	- Foot	SUSP.	- Suspended
FIG.	- Figure	TEL.	- Telephone
FIN.	- Finish	THK.	- Thick/Thickness
FFRF.	- Fireproof	TYP.	- Typical
FIX.	- Fixture	U.L.	- Underwriter's Laboratories
F.P.S.C.	- Fireproof Self Closing	U.O.N.	- Unless Otherwise Noted
FT. LB.	- Foot Pound	UR.	- Urinal
FTG.	- Footing	V.C.T.	- Vinyl Composition Tile
GA.	- Gauge	VERT.	- Vertical
GAL.	- Gallon	V.I.F.	- Verify In Field
GALV.	- Galvanized	VS.	- Versus
G.C.	- General Contractor	VOL.	- Volume
GL.	- Glass	W.	- Width
G.P.M.	- Gallons per Minute	W/	- With
GYP.	- Gypsum	W.C.	- Water Closet
HC.	- Handicapped	WO.	- Wood
HGT.	- Height	W/O.	- Without
HDW.	- Hardware	WP.	- Waterproof
H.M.	- Hollow Metal	WT.	- Weight
HOR.	- Horizontal	YD.	- Yard
HR.	- Hour		
H.R.	- Handrail		
H.W.	- Hot Water		
HVAC	- Heating, Ventilation & Air Conditioning	☐	- Centerline
I.D.	- Inside Diameter	#	- Pound or Number
IN.	- Inch		

SYMBOLS USED AS ABBREVIATIONS

☐	- Centerline
#	- Pound or Number

GENERAL CONSTRUCTION NOTES

- INFORMATION SHOWN ON THESE DRAWINGS IS FOR DESIGN INTENT ONLY. VERIFY EXISTING CONDITIONS AND DIMENSIONS IN FIELD. COORDINATE DISCREPANCIES WITH THE ENGINEER. DO NOT SCALE DRAWINGS TO DETERMINE DIMENSIONS.
- ESTABLISH LINES, GRADES, AND BENCHMARKS NECESSARY FOR PROPER WORK. FURNISH GIVEN SURVEY DATA.
- BE RESPONSIBLE FOR QUANTITIES OF WORK. FURNISH LABOR, MATERIALS, AND EQUIPMENT REQUIRED TO COMPLETE WORK.
- PROVIDE PROOF OF WORKMAN'S COMPENSATION INSURANCE AND DISABILITY INSURANCE COVERAGE REQUIRED BY GOVERNING STATE LAW PRIOR TO START OF WORK.
- COORDINATE DRYWALL WORK WITH THAT OF OTHER TRADES IF DRYWALL IS IN CONFLICT WITH DUCTWORK, PLUMBING LINES, ETC.
- PROVIDE NECESSARY BRIDGING AND BRACING REQUIRED TO SECURE DRYWALL AND MAINTAIN FIRE AND SOUND RATING WHERE INDICATED ON THE DRAWINGS.
- PROVIDE METAL CORNER BEADS AT VERTICAL AND HORIZONTAL OUTSIDE CORNERS AND METAL J MOLDS AT EXPOSED EDGES, SPACKLE AND FINISH TO FORM STRAIGHT AND SMOOTH WALLS.
- PROVIDE WATER RESISTANT GYPSUM BOARD FOR PARTITIONS ADJACENT TO PLUMBING LINES OR FIXTURES.
- BUILT-IN CABINET WORK SHALL BE ENCASED IN LAMINATE CLASS B FINISH COMPLETELY. ANY EXPOSED FACE CABINET SHALL UTILIZE FIRE RETARDANT WOOD MATERIAL. WOOD BLOCKING SHALL BE PRESSURE TREATED WITH A FIRE RETARDANT AND PROVIDED WITHIN LIGHT GAUGE STEEL FRAMING TO RECEIVE MILLWORK. PROPERLY SEAL AND PRIME NEW WOOD SURFACES TO RECEIVE FINISH COAT.
- PROVIDE FIRE RETARDANT PLYWOOD PANELS SECURED AND ANCHORED ACROSS 3-STUDS WITHIN LIGHT GAUGE STEEL FRAMING WHEN NECESSARY TO ACCEPT PLASMA TV STEEL MOUNTING BRACKET ASSEMBLY.
- SET CEILING HEIGHTS AS INDICATED ON THE DRAWINGS MEASURED FROM FINISH FLOOR UNLESS OTHERWISE NOTED. SEE FINISH SCHEDULE.
- NOTIFY THE ARCHITECT IMMEDIATELY AND PRIOR TO PROGRESS OF WORK IF UNUSUAL FIELD CONDITIONS ARISE WHICH WOULD PREVENT THE CEILING AND/OR LIGHT FIXTURES FROM BEING INSTALLED AT THE INDICATED HEIGHT.
- IN GENERAL, EXECUTE THE CEILING WORK TO PROVIDE A SMOOTH, CONTINUOUS, MATCHING, TIGHT, AND ALIGNING CEILING. THE FINAL CEILING INSTALLATION SHALL BE FREE OF VISUAL DEFECTS. REPAIR/REPLACE WHERE DAMAGED BY OTHER TRADES.
- DO NECESSARY CUTTING FOR AND/OR BRIDGING REQUIRED FOR LIGHT FIXTURES, AIR DIFFUSERS, ETC.
- INSTALL RESILIENT BASES STRAIGHT AND TRUE, TERMINATING THEM AGAINST OUTER EDGES OF DOOR FRAMES. FURNISH AND INSTALL RESILIENT BASE CORNER SECTIONS SHALL BE PROVIDED IN LENGTHS NOT LESS THAN 1'-0" MEASURED FROM THE CORNER.
- COMPLETELY SEAL ABOVE CEILING PENETRATION CORES THROUGH FLOOR AND ROOF DECKS TO MAINTAIN EXISTING FIRE RATINGS, TYPICAL. UTILIZE 3M FIRE STOPPING PRODUCTS AND ASSEMBLIES.
- WHERE DUCTS OR PART OF DUCTS ARE RUNNING PARALLEL OVER FIRE RATED PARTITIONS, EXTEND PARTITIONS AROUND DUCTS TO EFFECT COMPLETE FIRE RATED ASSEMBLIES.
- WHERE DUCTS PENETRATE A FIRE RATED PARTITION AT AN ANGLE, SO THAT A FIRE DAMPER CANNOT BE INSTALLED AT CENTERLINE OF RATED PARTITION, EXTEND A HOUSING FRO THE RATED PARTITION TO THE FIRE DAMPER, COMPLETELY ENCLOSE THE DUCTS WITH MATERIAL EQUAL TO THAT OF THE PARTITION FIRE RATING. COMPLETE PARTITION FIRE RATING SHALL BE MAINTAINED.
- WHERE PIPES, CONDUITS, OR LOW TENSION WIRING PENETRATE FIRE RATED OR SOUND RATED ENCLOSURES SUCH AS WALL OR SLAB, THE SPACES AROUND SUCH PENETRATIONS SHALL NOT EXCEED 1/2". PACK SPACES SOLID WITH MINERAL WOOL OR APPROVED EQUAL ON BOTH SIDES OF THE RATED ENCLOSURE TO ENSURE FULL FIRE/SOUND RATING IN COMPLIANCE WITH THE LOCAL BUILDING CODE.
- FURNISH AND INSTALL 24 HOUR TEMPORARY LIGHTING INCLUDING TEMPORARY LIGHTING FRO INSTALLATION OR DELIVERY OF GOODS OR MATERIAL ON WEEKENDS.
- PARTITION THICKNESS SHOWN ON CONSTRUCTION PLANS OR ENLARGED PLANS ARE NOMINAL DIMENSIONS FROM FINISH FACE OF GYPSUM BOARD TO FINISH FACE OF GYPSUM BOARD UNLESS OTHERWISE NOTED. SEE PARTITION TYPE DETAIL FOR ACTUAL DIMENSIONS.
- ALIGN AND SAND SMOOTH GYPSUM BOARD SURFACES.
- WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, AND TRUE AND IN PROPER ALIGNMENT.
- FULLY PACK AND SEAL EXISTING AND NEW FLOOR PENETRATIONS FOR PIPING IN ACCORDANCE WITH THE GOVERNING BUILDING LAWS.
- FIELD CONDITIONS MAY REQUIRE MODIFICATIONS IN THE DETAILS OF THE DRAWINGS AND QUANTITIES OF WORK INVOLVED. THE WORK SHALL BE CARRIED OUT TO MEET THESE FIELD CONDITIONS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- NEW WALLS AND PARTITIONS, WITHIN AREA OF WORK SHALL RECEIVE A PRIMER AND (2) FINISH COATS OF SCHEDULED FINISH PAINT. INTERIOR TRIM (DOORS, FRAMES, ETC.) SHALL RECEIVE A PRIMER AND (2) FINISH COATS OF SEMI-GLOSS PAINT. COLORS ARE TO CONFORM TO THE FINISH SCHEDULE OR WILL BE SELECTED BY THE ARCHITECT.
- ELEVATION 0'-0" IS A REFERENCE OF THE EXISTING FINISHED FLOOR HEIGHT. NOTATION TO HEIGHTS WILL BE FROM THIS ELEVATION, UNLESS OTHERWISE NOTED. SURFACES ABOVE RAISED FLOOR ARE TAKEN FROM FINISHED RAISED FLOOR HEIGHT AND NOTED (A.R.F.)
- SEAL PENETRATIONS THROUGH NEW FIRE RATED WALLS, CEILINGS, ETC. WITH ARCHITECT APPROVED 3M FIRE STOPPING PRODUCTS. FIRE STOPPING PERIMETER OF DUCT/CONDUIT PENETRATIONS. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. DETAIL DRAWINGS TAKE PRECEDENCE OVER LARGE AND SMALL SCALE DRAWINGS.
- IN THE EVENT OF DISCREPANCY BETWEEN DRAWINGS AND SPECIFICATIONS OR BETWEEN DRAWINGS BRING THE DISCREPANCY TO THE ARCHITECT'S ATTENTION IMMEDIATELY. IN WRITING, FOR CLARIFICATION, THE GREATER MONETARY VALUE SHALL TAKE PRECEDENCE IN THE EVENT THE CONTRACTOR NEGLECTS TO OBTAIN CLARIFICATION.
- THE CONTRACTOR SHALL TAKE NO ADVANTAGE OF ANY APPARENT ERROR OR OMISSION IN THE CONTRACT DOCUMENTS. IN THE EVENT THE CONTRACTOR DISCOVERS SUCH AN ERROR, OR OMISSION IN THE CONTRACT DOCUMENTS, HE SHALL IMMEDIATELY NOTIFY THE ARCHITECT. THE ARCHITECT WILL THEN MAKE SUCH CORRECTIONS AND INTERPRETATIONS AS MAY BE DEEMED NECESSARY FOR FULFILLING THE INTENT OF THE CONTRACT DOCUMENTS.
- VERIFY FIELD CONDITIONS AND NECESSARY DIMENSIONS PRIOR TO BEGINNING WORK AT THIS SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION AND AMENDMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL TRADES UNLESS A CONSTRUCTION MANAGER IS PRESENT.
- THE CONTRACTOR SHALL COORDINATE WITH THE MECHANICAL AND ELECTRICAL DRAWINGS FOR ROUGH/FINISH CARPENTRY REQUIRED FOR INSTALLATION OF THEIR WORK. THIS INCLUDES, BUT IS NOT LIMITED TO, THE FRAMED OPENINGS OF DUCTWORK, TRANSFER GRILLES, PIPING, ACCESS DOORS, CHOPPING FOR DRAINS, FIRE/SMOKE DAMPERS, ETC.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ANY MECHANICAL, ELECTRICAL, PLUMBING, OR UTILITY SERVICE EQUIPMENT FROM DAMAGE DURING CONSTRUCTION.
- WORK DESCRIBED BY THESE DOCUMENTS SHALL BE PERFORMED IN FULL ACCORDANCE WITH THE CURRENT VERSION OF ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO THE FOLLOWING CODES: UNIFORM BUILDING CODE, UNIFORM MECHANICAL CODE, UNIFORM FIRE CODE, NFPA STANDARDS, NATIONAL ELECTRICAL CODE, UNIFORM PLUMBING CODE, ALL AS ADOPTED BY MT. VERNON, STATE OF NEW YORK.
- CONTRACTOR SHALL REVIEW THESE PLANS THOROUGHLY, MAKE A DETAILED SITE VISIT, AND SHALL IMMEDIATELY BRING ANY INCONSISTENCY, SITE LAYOUT PROBLEM, OR ANY OTHER REQUEST FOR CLARIFICATION TO THE ARCHITECT FOR RESOLUTION PRIOR TO THE DELIVERY OF ANY BID OR WORK. FAILURE TO DO SO SHALL CAUSE THE CONTRACTOR TO BE INELIGIBLE FOR EXTRAS RELATING TO SUCH MATTERS.
- CONTRACTOR SHALL SUBMIT REPRODUCIBLE SHOP DRAWINGS TO ARCHITECT FOR OWNER'S, ARCHITECT'S, AND ENGINEER'S APPROVAL.
- CONTRACTOR SHALL COORDINATE WITH ALL TRADES TO PROVIDE COMPLETE WORKING SYSTEMS. CONTRACTOR SHALL LAY OUT HIS WORK AND SHALL PROVIDE DIMENSIONS AND LAYOUT IN ADVANCE FOR ALL OTHER TRADES (PLUMBING, ELECTRICAL, STRUCTURAL, MECHANICAL, ETC.) AND IMMEDIATELY NOTIFY ARCHITECT OF CONFLICT BEFORE PROCEEDING.
- DRAWINGS OF EXISTING FACILITIES ARE, IN GENERAL, DIAGRAMMATIC. EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR FROM FIELD MEASUREMENTS TAKEN BY CONTRACTOR'S PERSONNEL. ACTUAL ARRANGEMENT OF THE WORK SHALL FOLLOW LOCATIONS SHOWN ON THE DRAWINGS WITHIN THE CONSTRAINTS OF EXISTING EQUIPMENT AND CONSTRUCTION. DIMENSIONS SHALL GOVERN THESE DRAWINGS AND THEY ARE NOT TO BE SCALED. DRAWING AND NOTES TO DRAWINGS ARE CORRELATIVE AND HAVE EQUAL AUTHORITY AND PRIORITY. SHOULD THERE BE DISCREPANCIES IN THEMSELVES OR BETWEEN THEM, CONTRACTOR SHALL BASE BID PRICING ON THE MOST EXPENSIVE COMBINATION OF QUALITY AND/OR QUANTITY OF THE WORK INDICATED. IN THE EVENT OF DISCREPANCIES, THE APPROPRIATE METHOD OF PERFORMING THE WORK AND/OR ITEMS TO BE INCORPORATED INTO THE SCOPE OF THE WORK SHALL BE DETERMINED BY THE ARCHITECT OR ENGINEER.
- CONTRACTOR IS RESPONSIBLE FOR THE SAFETY, ACTIONS, AND CONDUCT OF HIS EMPLOYEES AND HIS SUBCONTRACTORS' EMPLOYEES WHILE IN THE PROJECT AREA, ADJACENT AREAS, AND IN THE BUILDING AND ITS VICINITY.
- ALL MATERIALS, FINISHES, MANUFACTURED ITEMS, AND EQUIPMENT SHALL BE INSTALLED IN FULL ACCORDANCE WITH THE SUPPLIER'S OR MANUFACTURER'S WRITTEN RECOMMENDATIONS OR THESE DOCUMENTS, WHICHEVER IS MORE STRINGENT.
- REQUESTS TO SUBSTITUTE ANY PRODUCT, TECHNIQUE, OR MATERIAL SHALL BE SUBMITTED IN WRITING TO ARCHITECT FOR APPROVAL. SAMPLES, PRODUCT INFORMATION, AND DRAWINGS SHALL BE REQUIRED PRIOR TO SUBSTITUTION APPROVAL. PROPOSED SUBSTITUTION SHALL BE OF EQUAL QUALITY AND PERFORMANCE SPECIFICATION TO THAT ORIGINALLY SPECIFIED.
- ALL WORKMANSHIP, MATERIAL, AND EQUIPMENT SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF OWNER ACCEPTANCE. ANY FAILURE OR DETERIORATION WITHIN THIS PERIOD SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL ARRANGE ACCESS TO BUILDING AND PROJECT SITE VIA PROJECT MANAGER, AND SHALL FOLLOW ALL BUILDING SPECIFIC RULES OF CONDUCT AS ENFORCED BY THE PROJECT MANAGER. CONTRACTOR SHALL ONLY USE BUILDING ENTRANCE AS SPECIFIED BY PROJECT MANAGER AND ARCHITECT. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING MATERIAL REMOVAL AND DELIVERY WITH PROJECT MANAGER SO AS TO AVOID DISTURBANCE TO EXISTING TENANTS AND/OR NEIGHBORS. CONTRACTOR SHALL ARRANGE WITH PROJECT MANAGER AND ARCHITECT FOR AFTER-HOURS ACCESS TO PROJECT SITE.
- CONTRACTOR SHALL PROVIDE MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INCLUDED IN THE DRAWINGS.
- CONTRACTORS SHALL BREAK OUT IN THEIR PRICING COST ITEMS OUTLINED BY ARCHITECT FOR REVIEW AS ADD ALTERNATES. ALL ADD ALTERNATES SHALL INCLUDE ALL CONTRACTOR'S O&P SO THAT THEY MAY BE ADDED STRICTLY AS ELECTIVE LINE ITEMS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SEEING THAT EACH SUBCONTRACTOR CLEANS UP AND REMOVES, DAILY, ANY AND ALL DEBRIS GENERATED BY CONSTRUCTION OPERATIONS, MAKING READY FOR ALL SUBSEQUENT SUBCONTRACTORS.
- GENERAL CONTRACTOR SHALL: EXERCISE REASONABLE PRECAUTION IN THE PROTECTION OF ALL EXISTING FINISHES TO REMAIN AND/OR ALL EXISTING SUBSTRATES TO RECEIVE NEW FINISH; SCHEDULE AND COORDINATE ALL TRADES TO ELIMINATE DAMAGE TO ALL FLOOR MATERIALS ONCE INSTALLED; PROVIDE PROTECTIVE COVERINGS FOR ALL FLOOR, PARTITION AND CEILING FINISHES TO REMAIN IN THE PROJECT AREA AND FOR ALL FINISHES WHICH MAY BE SUBJECT TO TRAFFIC OR CONSTRUCTION ACTIVITY IN ADJACENT AREAS; PROVIDE PROTECTIVE COVERING FOR ALL WINDOWS AND OTHER GLASS TO REMAIN; PROVIDE IMPACT PROTECTION FOR ALL INTERIOR FINISHES; PROVIDE MINIMUM 1/8 INCH THICK TEMPERED HARDBOARD OR PLYWOOD GANG WAY TO PROTECT ALL FLOORING MATERIALS FROM BREAKAGE, CRACKING, SCRATCHING OR OTHER DAMAGE FROM DOLLIES, HAND TRUCKS OR ROLLING BINS OR TOOL CARTS USED TO TRANSPORT MATERIALS TO AND FROM PROJECT AREA; EXTEND PROTECTION FROM BUILDING ENTRY(ES) TO PROJECT AREA.
- THE CONTRACTOR SHALL PROTECT INTERIOR SURFACE OF GLAZING AT ALL TIMES FROM BREAKAGE AND SCRATCHING OF WINDOW COATINGS. ANY HOLLOW OR DAMAGED AREAS OF CONCRETE FLOOR SHALL BE REPAIRED MAKE LEVEL PRIOR TO COMMENCEMENT OF NEW CONSTRUCTION. THE CONTRACTOR SHALL REMOVE FROM DEMOLISHED WALLS OR PORTIONS OF WALLS ALL POWER CIRCUITS AND SWITCH LEGS BACK TO FIRST JUNCTION BOX. REMOVE ANY MILLWORK OR WALL- MOUNTED PLUMBING FIXTURES FROM WALLS INDICATED TO BE DEMOLISHED AND NOT OTHERWISE SHOWN. THE CONTRACTOR SHALL MAINTAIN A TRUCK OR OTHER VEHICLE FOR REMOVAL OF WASTE MATERIALS DAILY FROM SITE. WASTE MATERIALS SHALL BE TRANSPORTED TO SUCH VEHICLE BY COVERED RUBBER- TIRED CARTS. ANY LIGHTING FIXTURES REMOVED FROM THE SPACE AND NOT DISPOSED OF SHALL BE SALVAGED AS DIRECTED BY THE ARCHITECT. THE CONTRACTOR SHALL TAKE CARE NOT TO UNREASONABLY CAUSE DAMAGE ANY SALVAGED MATERIALS OR FIXTURES.
- DO NOT SCALE DRAWINGS FOR DIMENSIONS. CONTACT ARCHITECT FOR CLARIFICATION AND/OR ADDITIONAL INFORMATION IF REQUIRED.
- REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING DRAWINGS PROVIDED BY ENGINEER AND CONSULTANTS FOR DETAILED SIZES, SPECIFICATIONS, DETAILS AND INSTRUCTION.
- THE CONTRACTOR SHALL FILE WITH THE DEPARTMENT OF BUILDINGS AND OBTAIN ALL NECESSARY CERTIFICATES OF INSURANCE, PAY ALL FEES, OBTAIN ALL PERMITS, AND PROVIDE ANY WORK HEREIN DESCRIBED.
- GC WILL PROVIDE WORKING (1) 5LB ABC FIRE EXTINGUISHER PER FLOOR AT SITE DURING CONSTRUCTION.

DELIVERY, STORAGE, & HANDLING

- DELIVER, STORE, AND HANDLE PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, USING MEANS AND METHODS THAT WILL PREVENT DAMAGE, DETERIORATION, AND LOSS, INCLUDING THEFT.
- CONTROL DELIVERY SCHEDULES TO MINIMIZE LONG-TERM STORAGE AT THE SITE AND PREVENT OVERCROWDING OF CONSTRUCTION SPACES. IN PARTICULAR, COORDINATE DELIVERY AND INSTALLATION TO INSURE MINIMUM HOLDING OF STORAGE TIMES FOR ITEMS KNOWN OR RECOGNIZED TO BE FLAMMABLE, HAZARDOUS, EASILY DAMAGED, OR SENSITIVE TO DETERIORATION, THEFT AND THEIR SOURCES OF LOSS.
- DELIVER PRODUCTS TO THE SITE IN THE MANUFACTURER'S SEALED CONTAINER OR OTHER PACKAGING SYSTEM, COMPLETE WITH LABELS AND INSTRUCTIONS OR HANDLING, STORING, UNPACKING, PROTECTING, AND INSTALLING.
- STORE PRODUCTS AT THE SITE IN A MANNER THAT WILL FACILITATE INSPECTION AND MEASUREMENT OF QUANTITY OR COUNTING OF UNITS.
- STORE HEAVY MATERIALS AWAY FROM THE PROJECT STRUCTURE IN A MANNER THAT WILL NOT ENDANGER THE SUPPORTING CONSTRUCTION.

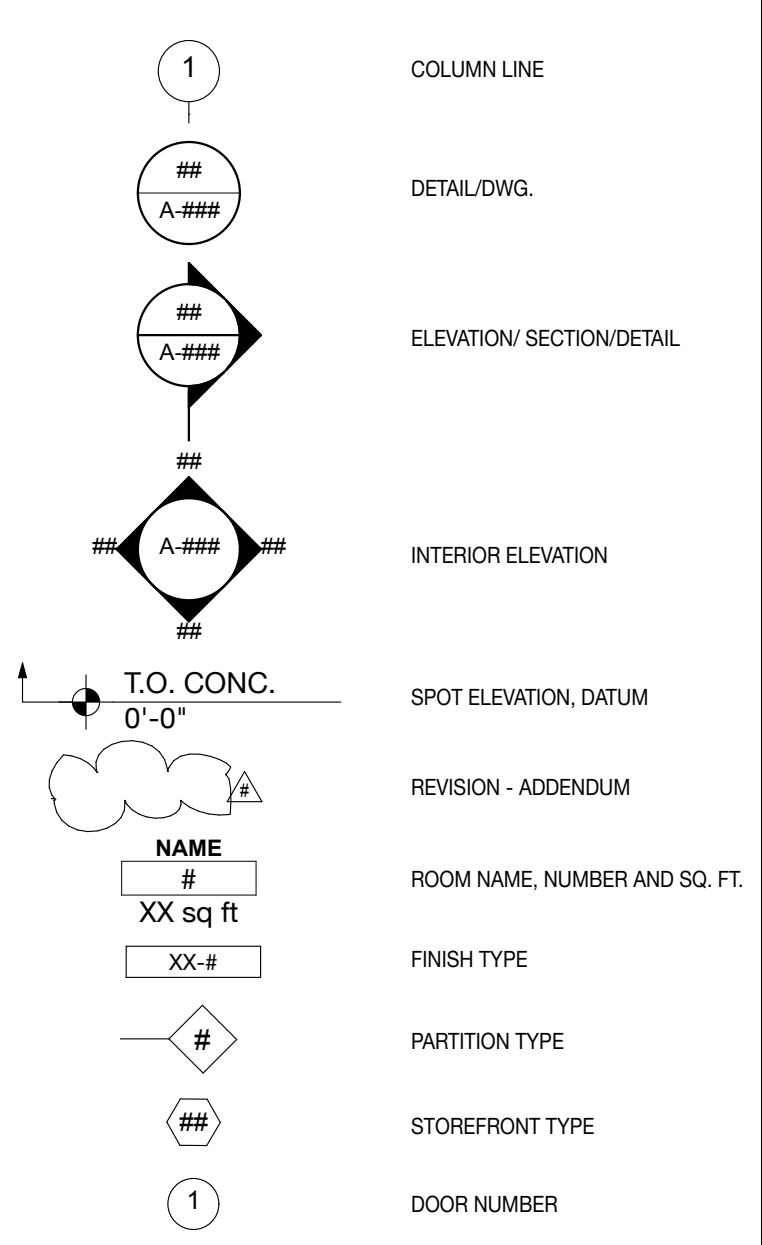
REMOVAL PERFORMANCE DISCLAIMER

THE ARCHITECT AND ARCHITECT'S CONSULTANTS DO NOT ASSUME RESPONSIBILITY FOR THE MEANS BY WHICH THE REMOVAL IS PERFORMED. THE CONTRACTOR SHALL REMOVE AND/OR PERFORM THE ITEMS NOTED AS SUCH IN THESE DOCUMENTS IN A PROFESSIONAL MANNER IN ACCORDANCE WITH "GOOD GENERAL PRACTICES".

NOTE:
THE DUTIES OF THE ARCHITECT AND HIS EMPLOYEES OR AGENTS SHALL TERMINATE WITH THE COMPLETION AND DELIVERY OF WORKING DRAWINGS. THE ARCHITECT IS NOT RESPONSIBLE OF SUPERVISION OF CONSTRUCTION OF THE PROJECT, NOR DOES THE ARCHITECT HAVE AUTHORITY TO ACT ON BEHALF OF THE OWNER OR THE CONTRACTOR UNLESS NOTED OTHERWISE IN WRITING.

THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR OR ANY SUB-CONTRACTOR OR ANY OF THE CONTRACTOR'S OR SUB-CONTRACTOR'S EMPLOYEES OR AGENTS, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.

SYMBOL LEGEND



ADA STATEMENT:

I HEREBY CERTIFY THAT THE PLANS AND DRAWINGS FOR THIS PROJECT WERE DRAWN IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS, INCLUDING, BUT NOT LIMITED TO THE AMERICANS WITH DISABILITIES ACT (THE "ADA"), THE ADA ACCESSIBILITY GUIDELINES AND ANY STATE OR LOCAL ACCESSIBILITY CODES, REGULATIONS, OR STANDARDS.

BUILDING/SITE DATA:

MBLU: 3-9-14-0	ZONING DISTRICT: CD-3	SITE AREA: 14,082 S.F.
USE GROUP: MERCANTILE	TYPE OF CONSTRUCTION:	TYPE IIIB
STORIES: 1	EXISTING FLOOR AREA:	1,660 SF
	PROPOSED FLOOR AREA:	1,660 SF

PROPOSED SCOPE OF WORK:

GUT RENOVATION OF AN EXISTING CONVENIENCE STORE / REPAIR SHOP . THE SCOPE OF WORK INCLUDES:

- COMBINE CONVENIENCE STORE AND CAR REPAIR SHOP
- NEW CONVENIENCE STORE LAYOUT
- NEW FINISHES THROUGHOUT
- NEW ADA BATHROOM
- NEW SHOPFRONT AND NEW ENTRANCE
- FACADE UPGRADE (BRICK SIDING OVER EXISTING CMU)
- NEW SIGNAGE.

GAS STATION PUMPS, CANOPY AND LANDSCAPE NOT IN THE SCOPE OF WORK FOR THIS APPLICATION.

BUILDING DEPARTMENT NOTES:

THE RENOVATION WORK DESCRIBED HEREIN SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL BUILDING CODES AND REPRESENTS:

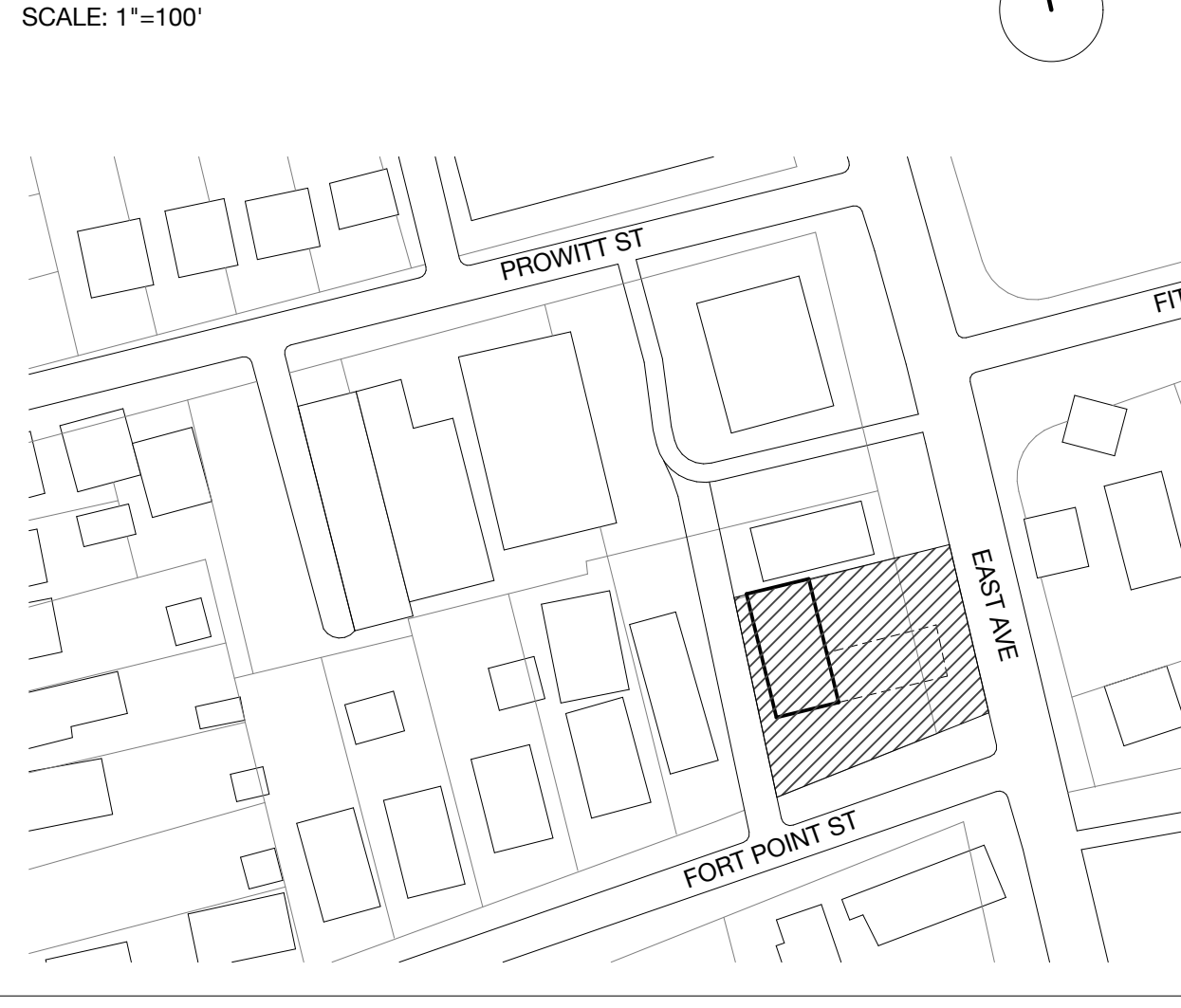
- CHANGE IN USE
- NO CHANGE OCCUPANCY
- NO CHANGE IN EGRESS
- NO CHANGE IN ZONING

BUILDING CODE:

BASED ON THE 2022 CONNECTICUT STATE BUILDING CODE, WHICH IS BASED ON THE FOLLOWING NATIONAL MODEL CODES:

- 2021 International Building Code
- 2017 ICC/ANSI A117.1 Accessible and Usable Buildings and Facilities
- 2021 International Existing Building Code
- 2021 International Plumbing Code
- 2021 International Mechanical Code
- 2021 International Energy Conservation Code
- 2020 NFPA 70, National Electrical Code, of the National Fire Protection Association Inc.
- 2021 International Residential Code

SITE PLAN:



DRAWING LIST

NUMBER	NAME	SCALE
A.000	COVER SHEET AND GENERAL NOTES	N.T.S
A.001	DOOR, WINDOW, HARDWARE AND FINISH SCHEDULES	N.T.S
A.002	TYP. WALL TYPES AND DETAILS	N.T.S
A.003	PROPOSED SITE PLAN	1" = 20'-0"
A.004	CODE COMPLIANCE ANALYSIS PLAN	1/4" = 1'-0"
A.100	AS BUILT / GROUND FLOOR DEMOLITION PLAN	1/4" = 1'-0"
A.101	PROPOSED GROUND FLOOR CONSTRUCTION PLAN	1/4" = 1'-0"
A.102	PROPOSED GROUND FLOOR REFLECTED CEILING PLAN	1/4" = 1'-0"
A.103	PROPOSED EQUIPMENT PLAN	1/4" = 1'-0"
A.104	RESTROOM DETAILS AND PLUMBING SCHEDULES	1/2" = 1'-0"
A.200	TYP. BUILDING SECTIONS	1/4" = 1'-0"
A.201	PROPOSED BUILDING ELEVATIONS	1/4" = 1'-0"

Pablo De Miguel Architect, PLLC

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OWNER:
Atlantis Management Group
555 S Columbia Ave #201 Mt. Vernon NY 10550
contact: Danny Porco
T. 347 249-6302 E. Dporco@atlantismgmt.com

MEP ENGINEER:

STRUCTURAL ENGINEER:

CIVIL ENGINEER:

EXPEDITING & CODE CONSULTANT:

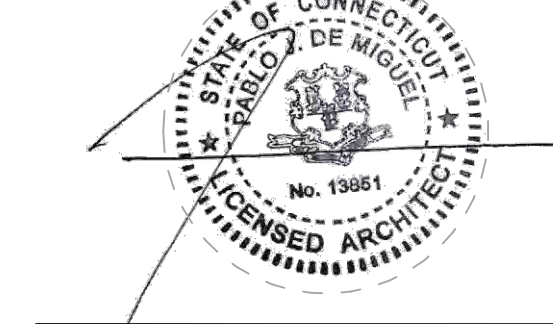
CONTRACTOR:

KEY PLAN

ISSUE	DATE	DESCRIPTION
2	08/21/2025	issued for filing
1	06/30/2025	issued for review

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THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS. FOR ADDITIONS TO THIS PROJECT OR COMPLETION OF THIS PROJECT BY OTHERS.

SEAL & SIGNATURE



PROJECT:
ATLANTIS FRESH MARKET
Convenience Store

216 East Ave
Norwalk, CT 06855
MBLU: 3-9-14-0

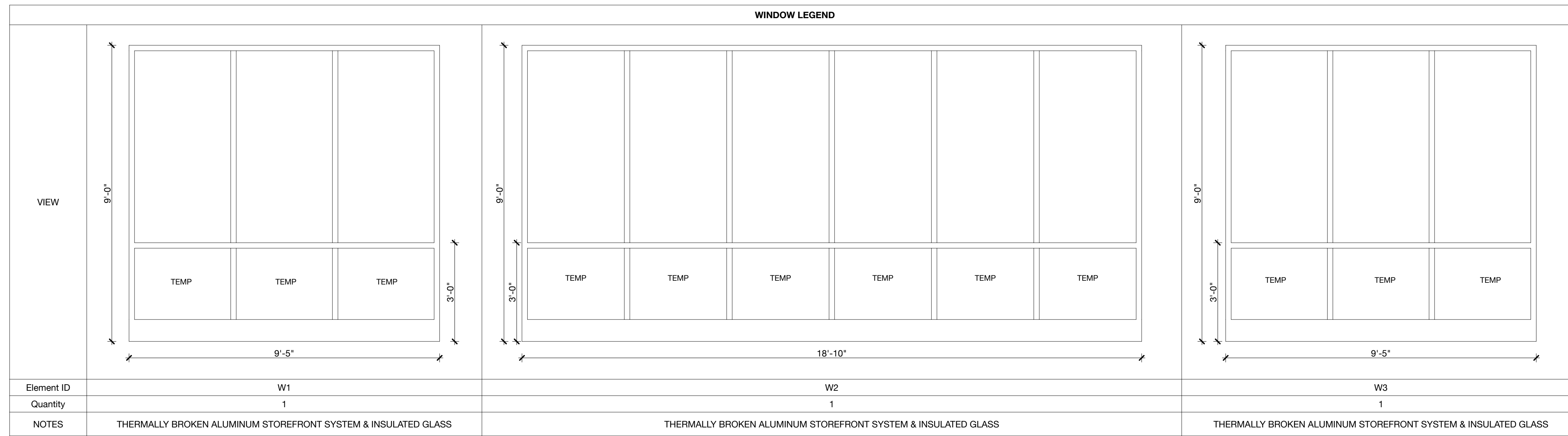
DATE: 8/21/25 PROJECT #: 2402

SHEET NAME:

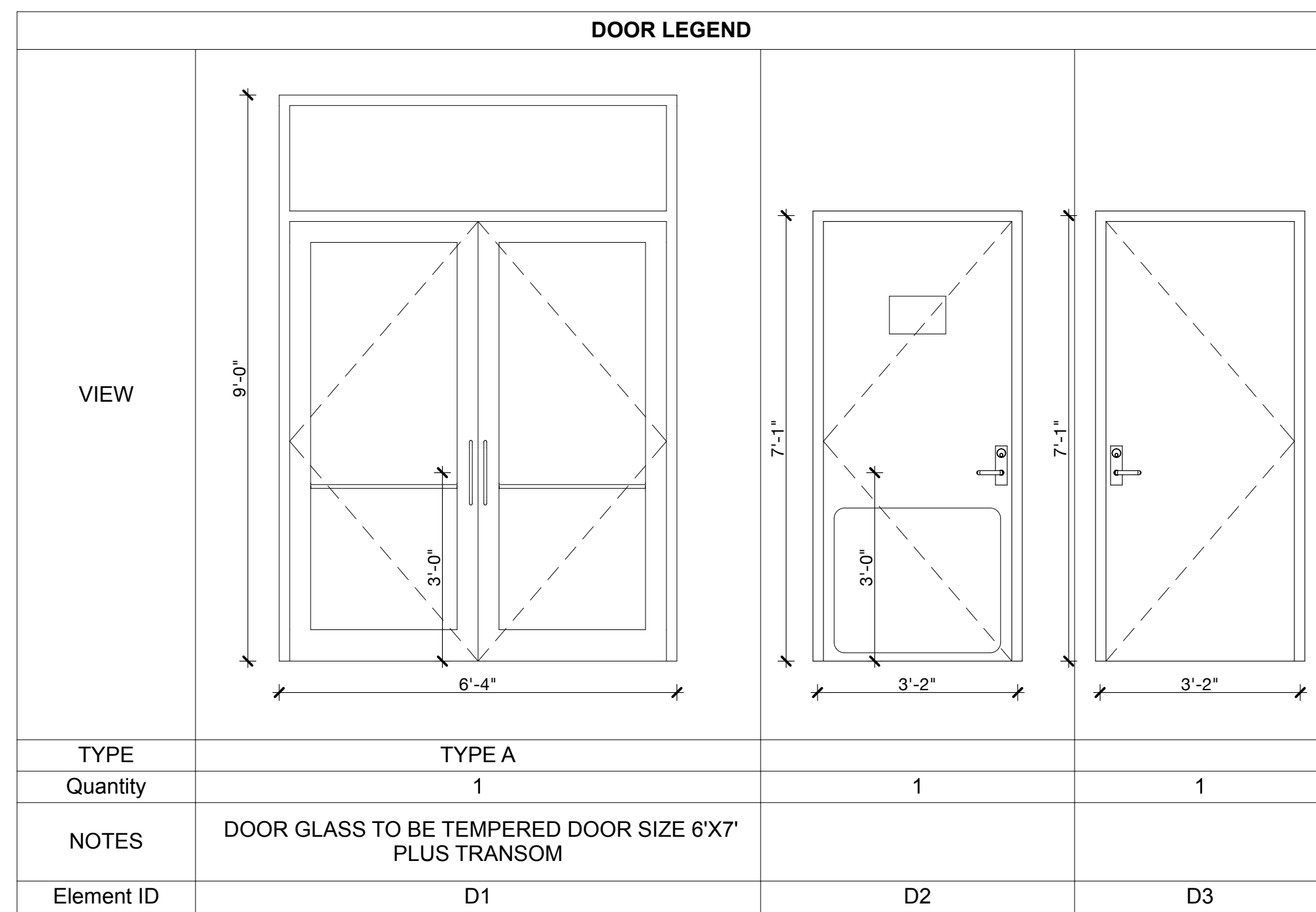
COVER SHEET AND GENERAL NOTES

DRAWING No.:

A.000.00



WINDOW SCHEDULE												
WINDOW #	LOCATION	MANUFACTURER	ASSEMBLY U-FACTOR	SHGC	VT	AIR LEAKAGE RATE (CFM/SF)	TYPE	WINDOW SIZE		QUANTITY	FINISH	REMARKS
								NOMINAL WIDTH	NOMINAL HEIGHT			
W1	NORTH FACADE	KAWNEER COMPANY INC. 1000 DENNY OR APPROVED EQUAL	0.368	0.338	0.616	0.05	TYPE 1	9'-5"	9'-0"	1	BLACK ANODIZED ALUMINUM	THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM & INSULATED GLASS
W2	WEST FACADE	KAWNEER COMPANY INC. 1000 DENNY OR APPROVED EQUAL	0.368	0.338	0.616	0.05	TYPE 1	18'-10"	9'-0"	1	BLACK ANODIZED ALUMINUM	THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM & INSULATED GLASS
W3	WEST FACADE	KAWNEER COMPANY INC. 1000 DENNY OR APPROVED EQUAL	0.368	0.338	0.616	0.05	TYPE 1	9'-5"	9'-0"	1	BLACK ANODIZED ALUMINUM	THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM & INSULATED GLASS



DOOR SCHEDULE																	
#	MANUFACTURER	ASSEMBLY U-FACTOR	SHGC	VT	AIR LEAKAGE RATE (CFM/SF)	TYPE	FIRE	NOMINAL WIDTH	NOMINAL HEIGHT	SWING	LEAF	MATERIAL	FRAME MATERIAL	HARDWARE SET	THRESHOLD	FINISH	REMARKS
D1	KAWNEER COMPANY INC. 350 THERMAL OR APPROVED EQUAL	0.593	0.240	0.395	0.2	TYPE A	1	6'	7'	L	1 3/4"	ALUM / GLASS	NA	HW-01	Axxx/01	ANODIZED ALUMINUM & TEMPERED GLASS. FRAME COLOR TO MATCH DARK GREY METAL FACADE PANEL	DOOR GLASS TO BE TEMPERED DOOR SIZE 6'X7' PLUS TRANSOM
D2								3'	7'	R	1 3/4"	HM	NA		N/A	PAINTED PT-02	
D3								3'	7'	L	1 3/4"	HM	NA	HW-03			

FINISH SCHEDULE

ITEM CODE	LOCATION	DESCRIPTION	MANUFACTURER	PRODUCT #/ FINISH
FL-01	SALE FLOOR, ATTENDANT AREA, OFFICE, UTILITY ROOM, RESTROOM	24" X 48" FIELD TILE 3/8" THICK	DAL TILE HAUT MOORE - EMPIRE BLACK HM06	UNPOLISHED GROUT: LATICRETE 45 RAVEN
PT-01	ALL WALLS AND GYP. SUSPENDED CEILING	PAINT	BERH ULTRA SATIN	FLAT PAINT, COLOR WHITE 088-7766 CUSTOM COLOR MATCH
PT-02	ACCENT AREAS, CORRIDOR, DOORS	PAINT	BENJAMIN MOORE	GRAPHITE 1603
PT-03	INTERIOR WALLS AS INDICATED ON PLANS	PAINT	BERH ULTRA SATIN	FLAT PAINT, COLOR 4208-S SWEET MIDORI GREEN, 0883-BASE 7753
ST-01	SALE FLOOR	STONE COUNTERTOP	SILESTONE	SILVER NUBE
ST-02	RESTROOM	PORCELAIN MOSAIC TILE	SUBWAY TILE WHITE GLOSSY 3X6	UNPOLISHED GROUT: LATICRETE 45 RAVEN
ST-03	SALE FLOOR / WALK-IN COOLER EXTERIOR	PORCELAIN MOSAIC TILE	MEROLA TILE METRO SUBWAY GLOSSY WHITE 11-3/4 IN. X 11-3/4 IN. X 5 MM. MODEL NUMBER: FXLMSSW	UNPOLISHED GROUT: LATICRETE 45 RAVEN
ST-05	PAINTED CMU	SIDE OF BUILDING PAINTED EXISTING AND NEW CMU EXTERIOR WALL	BENJAMIN MOORE	GRAPHITE 1603
WD-01	FACADE	FIBER CEMENT LAP SIDING PLANKS 6" WIDE X 24" HIGH	JAMES HARDY	STEEL GRAY COLOR
WD-02	GENERAL SALES AREA, SOFFIT	RECLAIMED WOOD CLADDING	BY OWNER	BY OWNER
WD-03	SIGNAGE PANELS (WOOD FINISH)	WOOD LAMINATE OVER RIGID PANEL	WILSONART	UPTOWN WALNUT 7971K-12 SOFT GRAIN FINISH WITH AEAON
MTL-03	CANTILEVER/ CANOPY & SIDE PANELS	ALUMINUM PANEL TRIMS	ALUCOBOND	CONTEMPORARY GRAPHITE MICA PUDF-3 / GLOSS 30
MTL-04	STOREFRONT	ALUMINUM FRAME		BLACK ANODIZED OR PAINTED
CL-01	SALE FLOOR, BATHROOM, UTILITY	PAINTED GYP. BOARD		
CL-02	UTILITY/SALE FLOOR	SUSPENDED CEILING TILES 2X4	ARMSTRONG	AMSTRONG 1761 WH
RB-01	SALE FLOOR, ATTENDANT AREA, OFFICE, UTILITY ROOM	BASEBOARD	ROPPE 700 SERIES	RUBBER- COLOR DARK GREY TRD WITH CONCRETE FLOOR

162 14th Street
Brooklyn NY 11215
T. 646 265 0338 E. hola@pablodemiguel.com
W. www.pablodemiguel.com

OWNER:
Atlantis Management Group
555 S Columbus Ave #201 Mt. Vernon NY 10550
contact: Danny Porco
T. 347 249-6302 E. Dporco@atlantismgmt.com

MEP ENGINEER:

STRUCTURAL ENGINEER:

CIVIL ENGINEER:

EXPEDITING & CODE CONSULTANT:

CONTRACTOR:

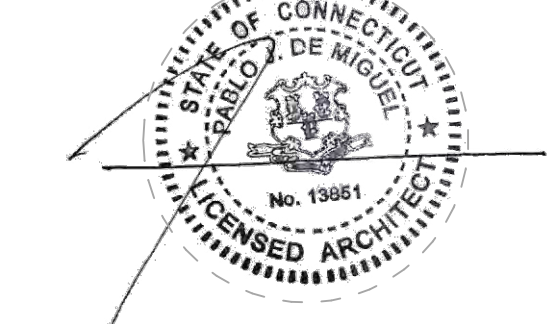
KEY PLAN

2 08/21/2025 issued for filing
1 06/30/2025 issued for review

ISSUE DATE DESCRIPTION

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SEAL & SIGNATURE



PROJECT:
ATLANTIS FRESH MARKET
Convenience Store

216 East Ave
Norwalk, CT 06855
MBLU: 3-9-14-0

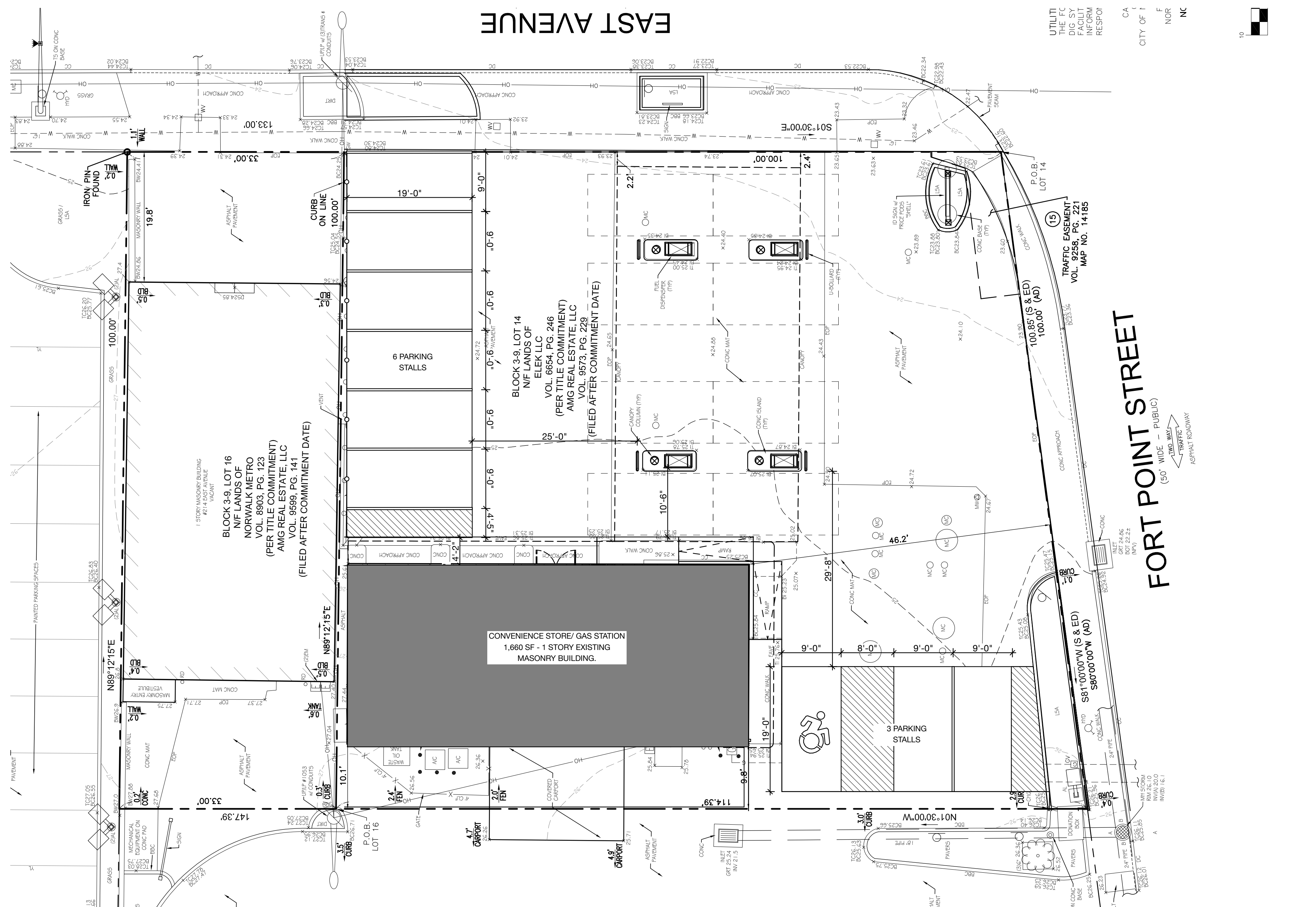
DATE: 8/21/25 PROJECT #: 2402

SHEET NAME:

DOOR, WINDOW, HARDWARE AND FINISH SCHEDULES

DRAWING No.:

A.001.00



02 NOTED SURVEY
SCALE: 1" = 10'

THIS PLAN IS USING AS REFERENCE THE PROPERTY SURVEY PRODUCED BY GALLAS SURVEYING GROUP AND SIGNED BY CHARLES J. OSBORNE III, DATED 11/28/2023

**ZONING INFORMATION TABLE - TOWN OF NORWALK
216-214 EAST AVE, NORWALK, CT**

Mblu : E13-182
ZONING DISTRICT : GENERAL URBAN COMMUNITY DISTRICT (CD-3 ZONE)
EXISTING USE: GAS STATION/CONVENIENCE STORE WITH VEHICLE REPAIR
PROPOSED USE: GAS STATION WITH A CONVENIENCE STORE

PARKING CALCULATIONS

ZR-CH 118-1210 AMOUNT OF MOTOR VEHICLE PARKING SPACE TO BE PROVIDED

12.(a). RETAIL STORES, INCLUDING PERSONAL AND BUSINESS SERVICE ESTABLISHMENTS, AND RETAIL ACCESSORY TO BOUTIQUE MANUFACTURING:

1 parking space per 200 square feet of active commercial floor area.

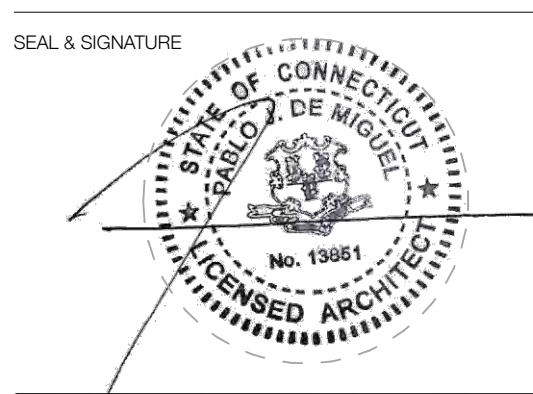
19.(b). MOTOR VEHICLE SERVICE AND GAS STATIONS - GAS STATION:

1 parking space per pump island.

	EXISTING	PROPOSED
12. CONVENIENCE STORE (RETAIL) = 1,480 SQ.FT / 200 = 7.4 (8 PARKING SPACES)		
19. GASOLINE FILLING STATION (4 PUMP ISLANDS) 4 X 1 = 4 PARKING SPACES		
TOTAL REQUIRED AS PER ZR: 12 PARKING SPACES (1 ADA + 11 REGULAR)	NOT DEFINED + 8 AT PUMPS	9 SPACES (1 VAN ADA) + 8 AT PUMPS

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PROJECT:
ATLANTIS FRESH MARKET
Convenience Store
216 East Ave
Norwalk, CT 06855
MBLU: 3-9-14-0
DATE: 8/21/25 PROJECT #: 2402

PROPOSED SITE PLAN

DRAWING No.:

A-003.00

MAP LEGEND

ABBREVIATIONS

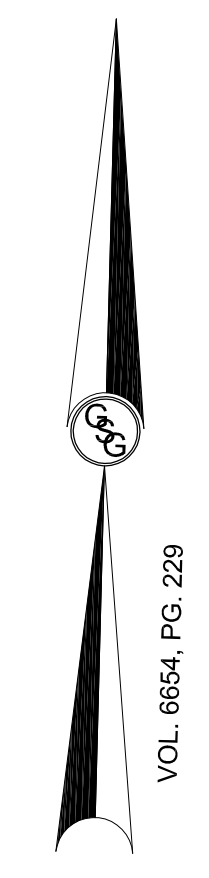
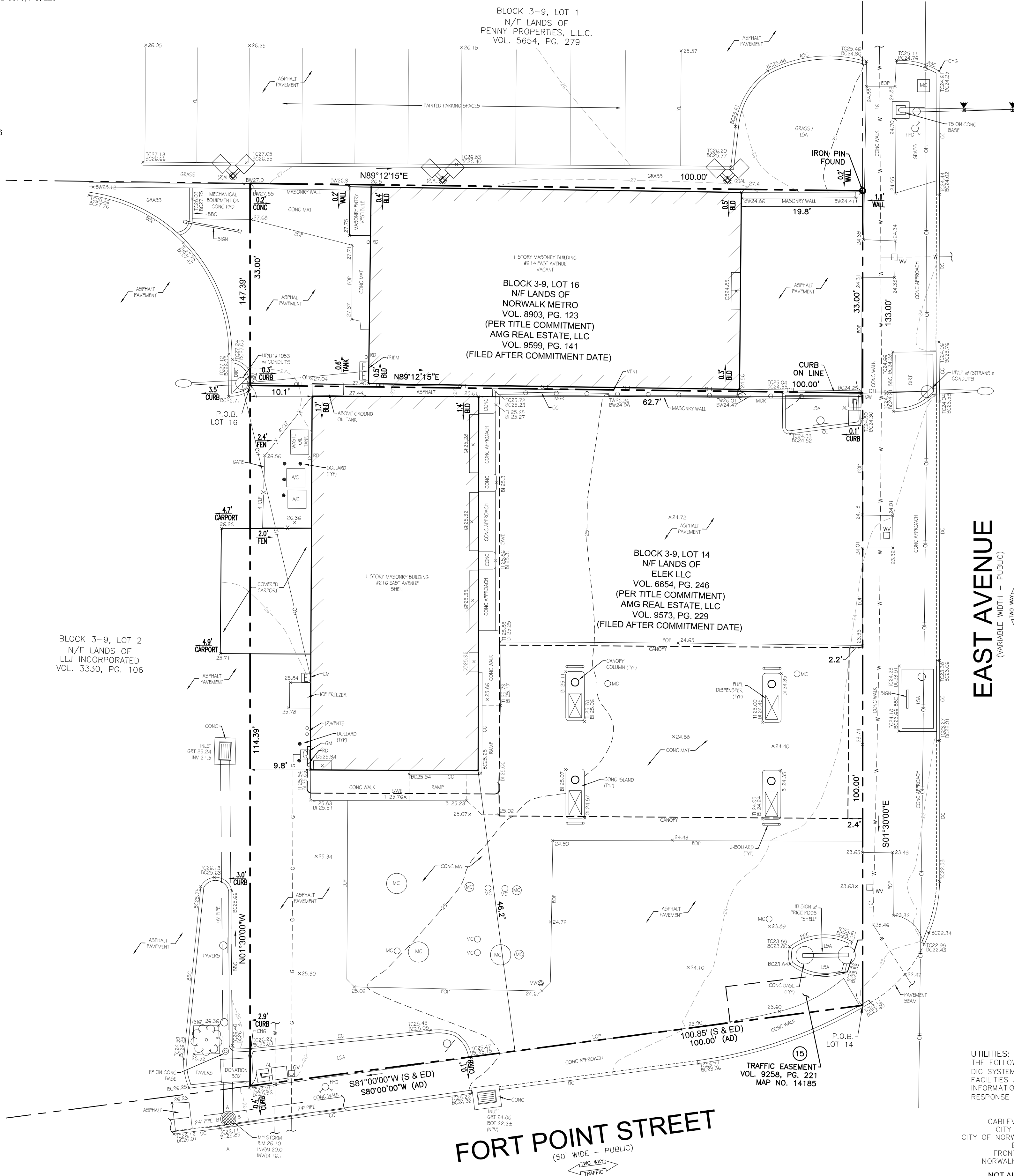
- PROPERTY LINE
EXIST. BUILDING FOOTPRINT AT GROUND LEVEL & DOORWAY
FENCE
GUIDE RAIL
EXISTING CONTOUR
EXISTING SPOT ELEVATION
EXIST. TOP OF CURB ELEVATION
EXIST. GUTTER ELEVATION
EXIST. TOP OF WALL ELEVATION
EXIST. BOTTOM OF WALL ELEVATION
DOOR SILL ELEVATION
GARAGE FLOOR ELEVATION
EXIST. TOP OF ISLAND ELEVATION
EXIST. BOTTOM OF ISLAND ELEVATION
APPROX. LOCATION U.G. WATER LINE & SIZE PER UTILITY MARKOUT
APPROX. LOCATION U.G. GAS LINE PER UTILITY MARKOUT
HYDRANT
WATER VALVE
GAS VALVE
GAS METER
ELECTRIC METER
AREA LIGHT ON CONCRETE BASE
MANHOLE
INLET
MONITORING WELL
TRAFFIC SIGNAL POLE
OVERHEAD WIRES
UTILITY POLE/LIGHT POLE
GUY WIRE
BOLLARD
SIGN
DENOTES OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
TREE & TRUNK SIZE
TITLE REPORT EXCEPTION NUMBER

- AIR CONDITIONER
AMG REAL ESTATE, LLC, DB 9573, PG. 229
AREA LIGHT
ASPHALT CURB
BELGIAN BLOCK CURB
BUILDING
BOTTOM OF STRUCTURE
CONCRETE CURB
CURB CHANGE
CHAIN LINK FENCE
CONCRETE
DEPRESSED CURB
ELEK LLC, DB 6654, PG. 246
ELECTRIC METER
EDGE OF PAVEMENT
FLAG POLE
FENCE
GAS METER
GUY WIRE
GRATE
HYDRANT
INVERT
LANDSCAPED AREA
METAL COVER
METAL GUIDE RAIL
MANHOLE
MONITORING WELL
NO PIPES VISIBLE
ROOF DRAIN
SURVEY
TRANSFORMER
TRAFFIC SIGNAL
TYPICAL
UTILITY POLE/LIGHT POLE
YELLOW LINE

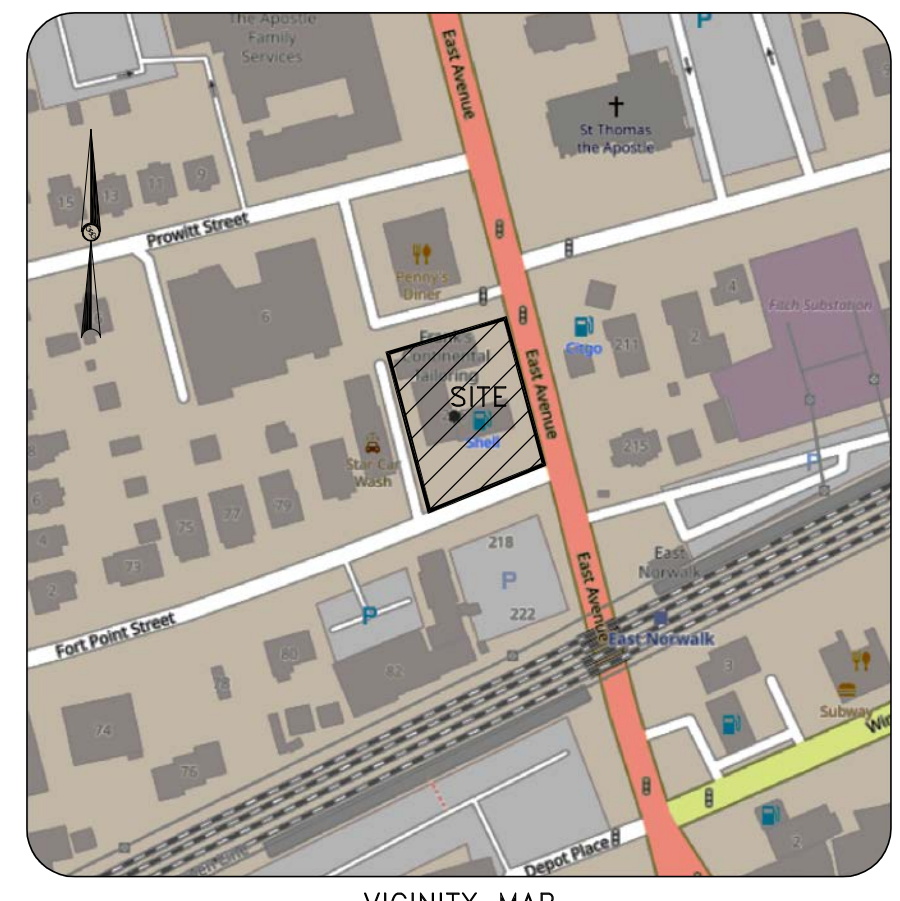
- REFERENCES:
1. MAP OF PROPERTY J.T. & C. PROWITT, NORWALK, CONNECTICUT, PREPARED BY CHARLES N. WOOD, DATED 05-01-1902, FILED ON 05-01-1902 AS MAP NO. 157.
2. SUPPLEMENTARY MAP OF PROPERTY BELONGING TO J.T. & C. PROWITT, NORWALK, CONNECTICUT, PREPARED BY CHARLES N. WOOD, DATED 1908, FILED ON 08-24-1908 AS MAP NO. 245.
3. MAP OF LOTS OWNED BY CLARENCE I. FINCH & CORA E. FINCH, NORWALK, CONNECTICUT, PREPARED BY ALLEN B. GREGORY, DATED 08-1925, FILED ON 08-15-1925 AS MAP NO. 624.
4. PLAN OF LAND IN EAST NORWALK, NORWALK, CONNECTICUT, PREPARED FOR THE TEXAS COMPANY, PREPARED BY SAMUEL W. HOYT, JR., CO. INC., DATED 08-1940, FILED ON 10-30-1940 AS MAP NO. 1809.
5. MAP OF PROPERTY PREPARED FOR FRANCES C. & HELEN M. BOTTONNE, NORWALK, CONNECTICUT, PREPARED BY RYAN & FAULDS, DATED 09-08-1970, FILED ON 09-09-1970 AS MAP NO. 7371.
6. PROPERTY SURVEY PREPARED FOR NORWALK METRO, 214 EAST AVENUE, NORWALK, CONNECTICUT, PREPARED BY WILLIAM W. SEYMOUR & ASSOCIATES, P.C., DATED 11-11-2019.
7. ALTA/NSPS LAND TITLE SURVEY FOR 216 EAST AVENUE, NORWALK, CONNECTICUT, PREPARED BY: FIRST ORDER, LLC FOR BOCK & CLARK CORPORATION AN NVS COMPANY, LAST REVISED 01-20-2023.
8. RIGHT OF WAY SURVEY, TOWN OF NORWALK, MAP SHOWING EASEMENT ACQUIRED FROM ELEK LLC BY THE STATE OF CONNECTICUT, DEPARTMENT OF TRANSPORTATION, WALK RAILROAD BRIDGE REPLACEMENT, DATED 09-2020, APPROVED 04-16-2021, FILED ON 06-08-2021 AS MAP NO. 14185.
9. STATE OF CONNECTICUT, DEPARTMENT OF TRANSPORTATION, EAST AVENUE RAILROAD UNDERPASS IN THE CITY OF NORWALK, PROJECT NO. 170-1375, APPROVED 01-05-2021.
10. DEED VOLUME 6654, PAGE 229 (PRIOR DEED FOR LOT 14 CALLING THE PROPER BEARING FOR COURSE NO. 1 ALONG FORT POINT STREET)

SCHEDULE A PROPERTY DESCRIPTION:
LOT 14 ONLY:
ALL THAT CERTAIN PIECE OR PARCEL OF LAND, TOGETHER WITH THE BUILDINGS AND IMPROVEMENTS THEREON, SITUATED IN EAST NORWALK, SO-CALLED, IN THE CITY OF NORWALK, COUNTY OF FAIRFIELD, AND STATE OF CONNECTICUT, ACCORDING TO A MAP PREPARED BY THE SAMUEL W. HOYT, JR., COMPANY, INC., ENGINEERS AND SURVEYORS, CERTIFIED SUBSTANTIALLY CORRECT BY FREDERICK P. STABLE, PRESIDENT, ENTITLED, 'PLAN OF LAND IN EAST NORWALK, NORWALK, CONNECTICUT AS PREPARED FOR THE TEXAS COMPANY, AUGUST, 1940, FILED IN THE NORWALK TOWN CLERK'S OFFICE AS MAP NO. 1809, AND BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:
BEGINNING AT THE INTERSECTION OF THE WESTERLY LINE OF EAST AVENUE WITH THE NORTHERLY LINE OF FORT POINT STREET DEFINED BY A CROWFOOT CUT IN A CEMENT CONCRETE WALK.
THENCE BEARING S 81° 00' W ALONG THE SAID NORTHERLY SIDE OF FORT POINT STREET FOR A DISTANCE OF 100.85 FEET TO AN IRON PIN;
THENCE BEARING N 1° 30' W ALONG LAND NOW OR FORMERLY OF PHILIP H. FIELDING FOR A DISTANCE OF 114.39 FEET TO ANOTHER IRON PIN;
THENCE BEARING N 89° 12' 15" EAST, FURTHER ALONG SAID LAND NOW OR FORMERLY OF PHILIP H. FIELDING FOR A DISTANCE OF 100.00 FEET TO ANOTHER CROWFOOT CUT IN A CEMENT CONCRETE WALK UPON THE SAID WESTERLY SIDE OF EAST AVENUE;
AND THENCE BEARING S 1° 30' E ALONG THE SAID WESTERLY SIDE OF EAST AVENUE FOR A DISTANCE OF 100.00 FEET TO THE CROWFOOT CUT AT THE POINT OR PLACE OF BEGINNING.

SCHEDULE A PROPERTY DESCRIPTION (LOT 16):
ALL THAT CERTAIN PIECE OR PARCEL OF LAND, TOGETHER WITH THE BUILDINGS AND IMPROVEMENTS THEREON, SITUATED IN THE CITY OF NORWALK, COUNTY OF FAIRFIELD, AND STATE OF CONNECTICUT, BEING THE NORTHERLY PORTION OF LOT NO. 23A AS SHOWN AND DESIGNATED ON A CERTAIN MAP ENTITLED, 'MAP OF LOTS OWNED BY CLARENCE I. FINCH AND CORA E. FINCH, NORWALK, CONN., SCALE 1"=400', AUGUST, 1925, CERTIFIED SUBSTANTIALLY CORRECT BY ALLEN B. GREGORY, NORWALK, CONN., WHICH MAP IS ON FILE IN THE NORWALK TOWN CLERK'S OFFICE AS MAP NO. 624, BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:
NORTHERLY: 100 FEET BY LOT NO. 24 ON SAID MAP;
EASTERLY: 33 FEET BY HIGHWAY CALLED EAST AVENUE;
SOUTHERLY: 100 FEET BY THE SOUTHERLY PORTION OF LOT NO. 23A ON SAID MAP; AND
WESTERLY: 33 FEET BY THE WESTERLY PORTION OF LOT NO. 23A AS SHOWN ON SAID MAP



VOL. 6654, PG. 229



VICINITY MAP

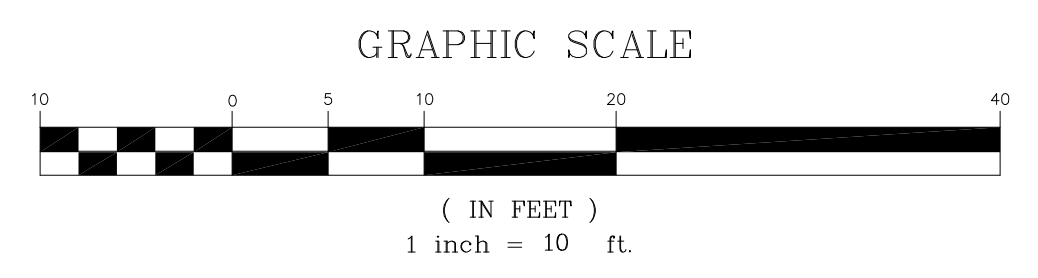
- NOTES:
1. PROPERTY KNOWN AND DESIGNATED AS BLOCK 3-9, LOTS 14 & 16 ON THE GIS WEB SITE FOR THE CITY OF NORWALK, FAIRFIELD COUNTY, CONNECTICUT.
2. AREA LOT 14: 10,719 S.F. OR 0.2481 AC. AREA LOT 16: 3,300 S.F. OR 0.0758 AC.
3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON PRIOR UTILITY MARK-OUTS. ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY, AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
4. THIS SURVEY IS PREPARED WITH REFERENCE TO A COMMITMENT FOR TITLE INSURANCE, FOR LOT 14, ISSUED BY ABSTRACT INCORPORATED AS AGENTS FOR FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. CT-6306146, HAVING A COMMITMENT DATE OF DECEMBER 31, 2022, WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B, PART II:
(10) ABSOLUTE ASSIGNMENT OF LEASES AND RENTS FROM ELEK LLC AND LLJ INCORPORATED TO PATRIOT BANK, N.A. DATED DECEMBER 2, 2016 AND RECORDED IN VOLUME 8449 AT PAGE 40 OF THE NORWALK LAND RECORDS [BLANKET]
(11) CERTIFICATE OF VARIANCE GRANTED BY THE CITY OF NORWALK ZONING BOARD OF APPEALS DATED APRIL 10, 1989 AND RECORDED IN VOLUME 2323 AT PAGE 266 OF THE NORWALK LAND RECORDS [VARIANCE GRANTED TO TEXACO FOR CANOPY & SIGN SETBACKS, ANOTHER GRANTED FOR THE NUMBER OF GROUND SIGNS. STATUS UNKNOWN AS SITE CONDITIONS FROM 1989 MAY NOT BE THE SAME AS THE CURRENT CONDITIONS]
(12) CERTIFICATE OF VARIANCE GRANTED BY THE CITY OF NORWALK ZONING BOARD OF APPEALS DATED MARCH 19, 1997 AND RECORDED IN VOLUME 3327 AT PAGE 3 OF THE NORWALK LAND RECORDS [PARKING VARIANCE, NOTHING TO SHOW, IT SHOULD BE NOTED THAT NO VISIBLE PARKING STRIPING EXISTED AT THE TIME OF SURVEY]
(13) COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, AND AGREEMENTS SET FORTH IN A DEED DATED SEPTEMBER 17, 2007 AND RECORDED IN VOLUME 6654 AT PAGE 246 OF THE NORWALK LAND RECORDS [BLANKET, NOTHING TO SHOW]
(14) ACCESS AGREEMENT GRANTING RIGHT OF ENTRY BETWEEN MOTIVA ENTERPRISES LLC AND ELEK LLC DATED AS OF SEPTEMBER 28, 2007 AND RECORDED IN VOLUME 6654 AT PAGE 251 OF THE NORWALK LAND RECORDS [BLANKET]
(15) EASEMENT IN FAVOR OF THE STATE OF CONNECTICUT DATED MAY 25, 2021 AND RECORDED IN VOLUME 9258 AT PAGE 221 OF THE NORWALK LAND RECORDS, AND SHOWN ON MAP NO. 14185 ON FILE IN THE NORWALK TOWN CLERK'S OFFICE [SHOWN]
(16) NOTES, NOTATIONS, FACTS, CONDITIONS AND SERVICE LINES SHOWN ON MAP NO. 1809 ON FILE IN THE NORWALK TOWN CLERK'S OFFICE [THERE ARE NO SURVEY RELEVANT NOTES TO SHOW, THE SITE CONDITIONS FROM 1940 ARE NO LONGER RELEVANT, THE SERVICE LINES IN THE ROAD ARE NOT SHOWN AS THE CLIENT CONTRACT AGREEMENT ONLY EXTENDS TO THE NEAR CURBLINE]
THIS SURVEY IS ALSO PREPARED WITH REFERENCE TO A COMMITMENT FOR TITLE INSURANCE, FOR LOT 16, ISSUED BY ABSTRACT INCORPORATED AS AGENTS FOR FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. CT-6335854, HAVING A COMMITMENT DATE OF JANUARY 25, 2023, WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B, PART II:
(12) NOTES, NOTATIONS, FACTS AND CONDITIONS SHOWN ON MAP NO. 157 AND 624, BOTH ON FILE IN THE NORWALK TOWN CLERK'S OFFICE [THERE ARE NO SURVEY RELEVANT NOTES TO SHOW]
5. ELEVATIONS ARE BASED UPON NAVD 88 (BENCHMARK DRILL HOLE N-5 PER MAP REFERENCE NO. 7, ELEV. 404.4)
6. BY GRAPHIC PLOTTING, PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NO. 09001C0332G, EFFECTIVE DATE: 07-08-2013, OBTAINED FROM FEMA NFHL WEB SERVICE ON 09-18-2023.
7. THE LOCATION AND EXTENTS OF UNDERGROUND TANKS AND VAULTS, IF ANY EXIST, HAVE NOT BEEN DETERMINED BY THE SURVEYOR.
8. THERE ARE NO VISIBLE, STRIPED, PARKING SPACES ON EITHER PROPERTY.
9. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 OF THE 'STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT' AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 23, 2019. THIS SURVEY IS A TOPOGRAPHIC SURVEY AND IT CONFORMS TO A HORIZONTAL ACCURACY OF 1/2" AND A TOPOGRAPHIC ACCURACY OF 1/2".

EAST AVENUE (VARIABLE WIDTH - PUBLIC)

FORT POINT STREET (50' WIDE - PUBLIC)



UTILITIES: THE FOLLOWING COMPANIES WERE NOTIFIED BY CONNECTICUT CALL BEFORE YOU DIG SYSTEM (1-800-922-4455) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 20233800694
UTILITY COMPANY PHONE NUMBER AFTER HOURS
CABLEVISION OF CONNECTICUT 800-778-9140 800-778-9140
CITY OF NORWALK - DPW 203-854-3244 203-854-3244
CITY OF NORWALK - FIRST DISTRICT WATER 203-847-7387 203-847-7387
EVERSOURCE GAS 203-206-5702 877-400-6511
FRONTIER COMMUNICATIONS 800-778-9140 800-778-9140
NORWALK THIRD TAXING DISTRICT 800-778-9140 800-778-9140
NOT ALL UTILITY COMPANIES RESPONDED TO THE MARKOUT REQUEST



ALTA/NSPS LAND TITLE SURVEY
BLOCK 3-9, LOTS 14 & 16
214 & 216 EAST AVENUE
CITY OF NORWALK
FAIRFIELD COUNTY
STATE OF CONNECTICUT

GALLAS SURVEYING GROUP
2865 U.S. ROUTE 1
NORTH BRUNSWICK, NJ 08902
TELE: 732-422-6700
FAX: 732-940-6786
www.gallasurvey.com

Table with columns: DATE, SCALE, DRAWN, CHECKED, FIELD DATE, FIELD BOOK, PAGE, R.M.C., FIELD CREW, FILE NO., DRAWING NAME/SHEET NO.

TO: - AMG REAL ESTATE, LLC.
- ABSTRACTS, INCORPORATED.
- FIRST AMERICAN TITLE INSURANCE COMPANY.
THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 8, 9 & 13 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 10-23-2022.

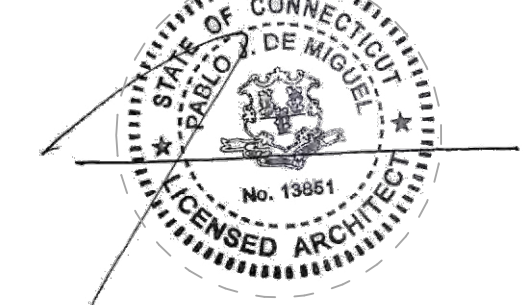
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON NOT VALID UNLESS EMBOSSED WITH RAISED IMPRESSION OR BLUE INK SEAL.
CHARLES J. OSBORNE III
CONNECTICUT PROFESSIONAL LAND SURVEYOR #70076

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SEAL & SIGNATURE

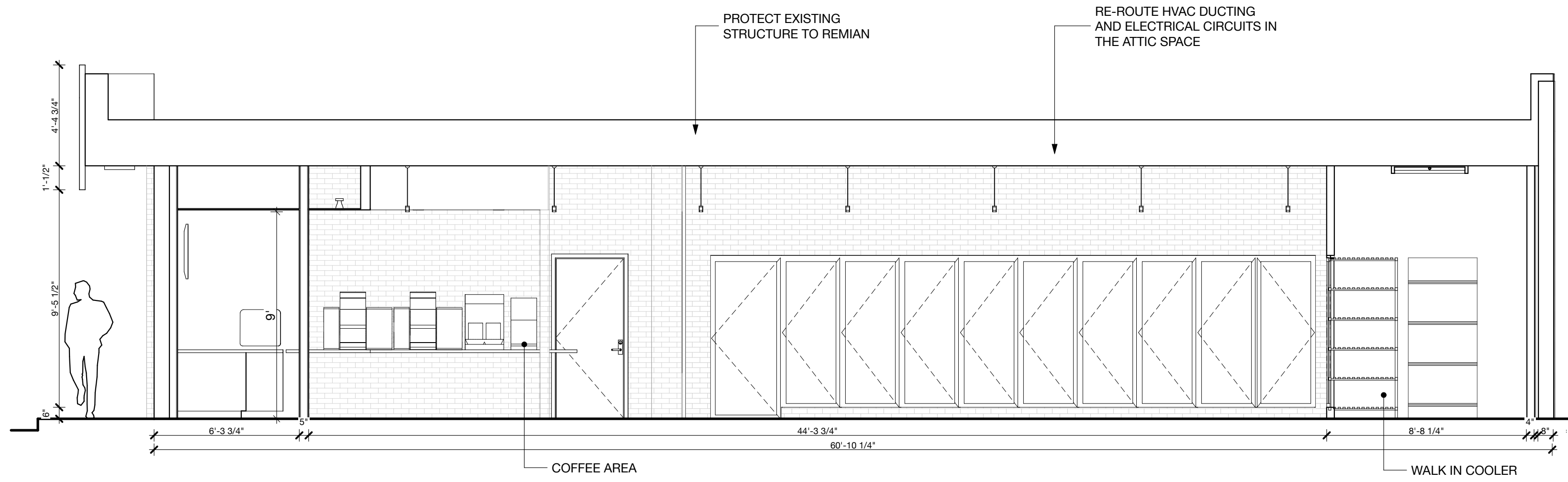


PROJECT:
ATLANTIS FRESH MARKET
 Convenience Store
 216 East Ave
 Norwalk, CT 06855
 MBLU: 3-9-14-0
 DATE: 8/21/25 PROJECT #: 2402

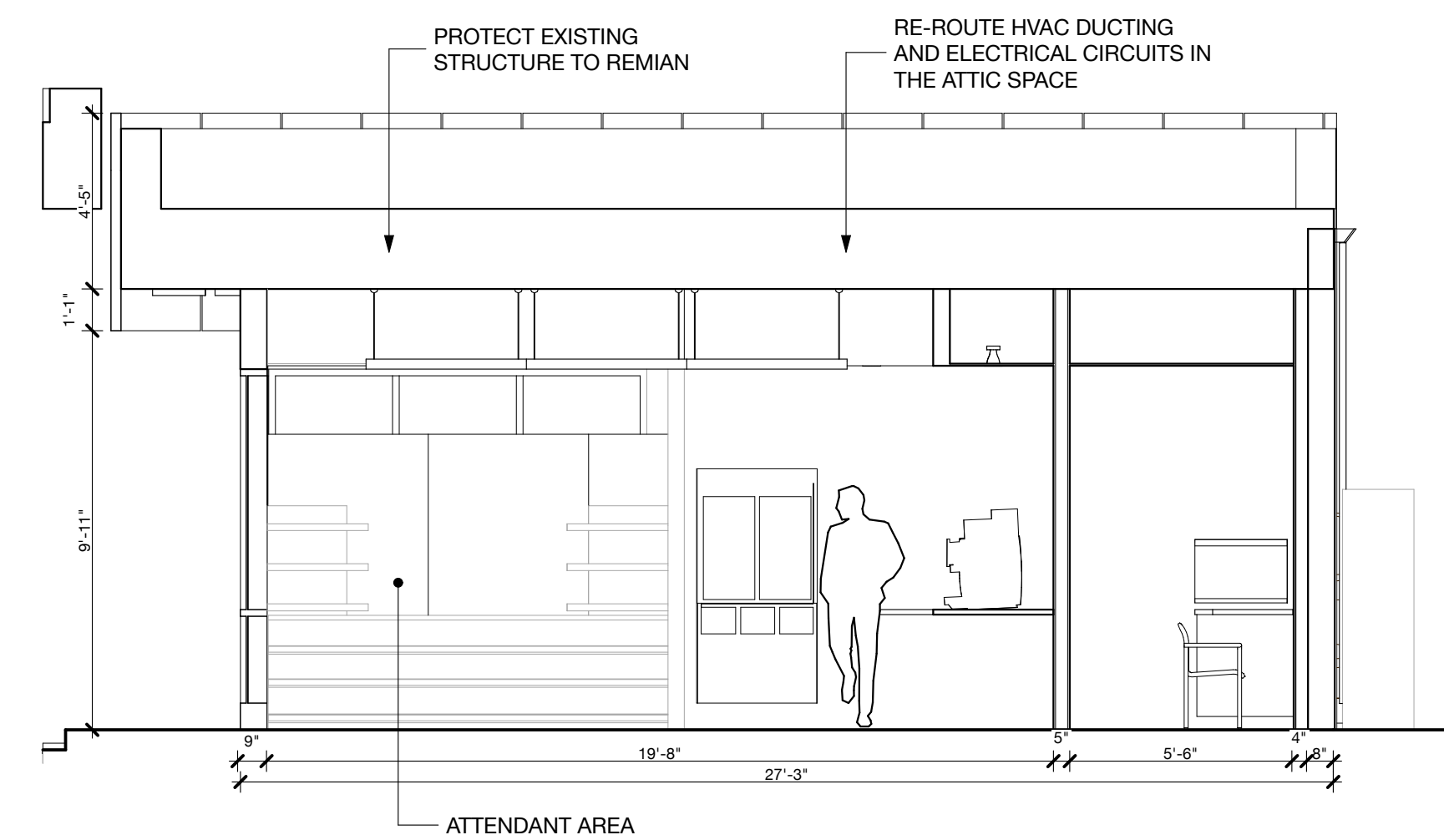
SHEET NAME:
TYP. BUILDING SECTIONS

DRAWING No.:

A.200.00



1 BUILDING SECTION
 SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
 SCALE: 1/4" = 1'-0"

OWNER:

Atlantis Management Group
555 S Columbus Ave #201 Mt. Vernon NY 10550
contact: Danny Porco
T. 347 249-6302 E. Dporco@atlantismgmt.com

MEP ENGINEER:

STRUCTURAL ENGINEER:

CIVIL ENGINEER:

EXPEDITING & CODE CONSULTANT:

CONTRACTOR:

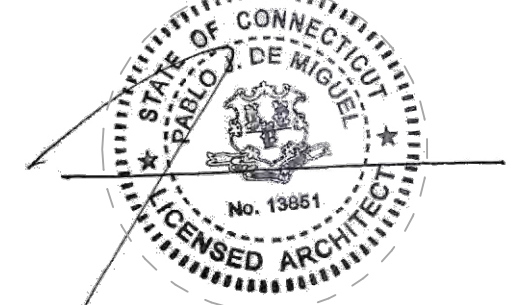
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PROJECT:
ATLANTIS FRESH MARKET
Convenience Store

216 East Ave
Norwalk, CT 06855
MBLU: 3-9-14-0

DATE: 8/21/25 PROJECT #: 2402

SHEET NAME:

PROPOSED BUILDING ELEVATIONS

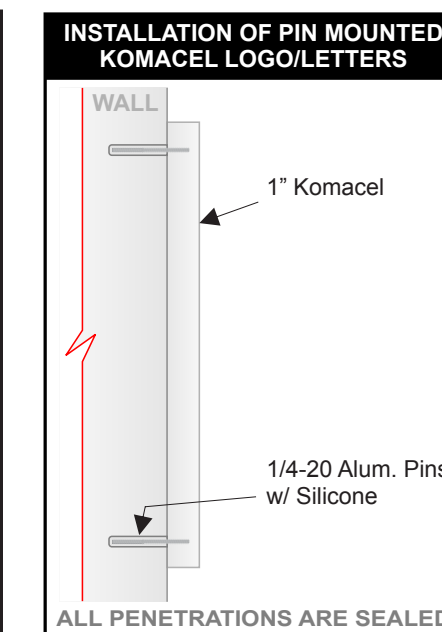
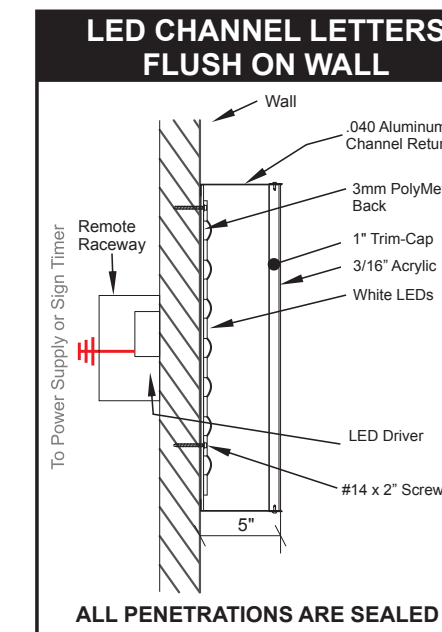
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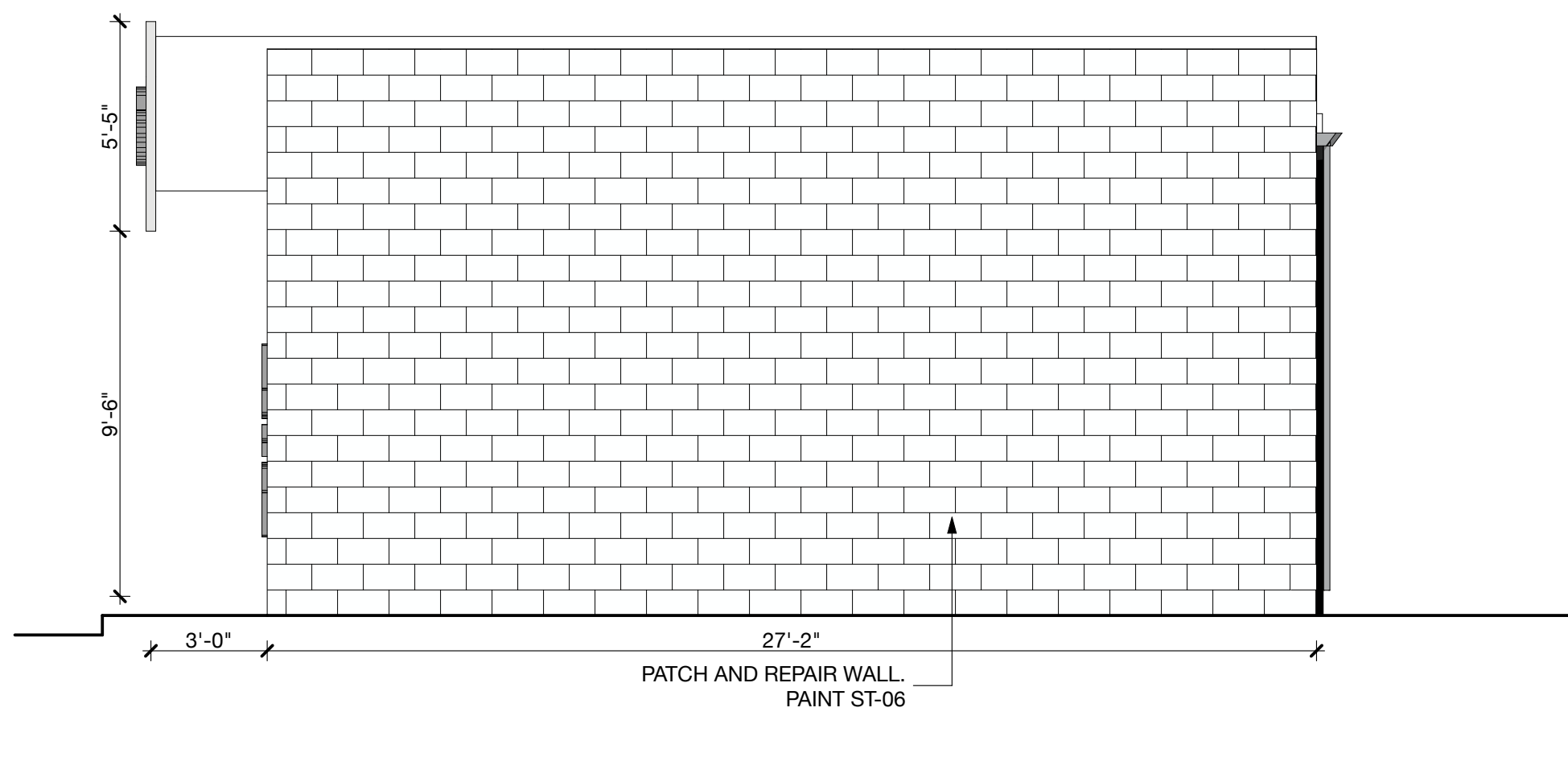
PAGE: #Lay\Nrh\Subset of XX

SIGNS CALCULATIONS
CD-3 Zone
SIGN A (ON PINS) AREA: **25 S.F.** (Wall sign) < 32 SF
SIGN B (W/ INTERNAL ILLUMINATION) AREA: **35 S.F.** (Band Sign) < 90SF
TOTAL SIGN AREA : 60 SF.
Facade linear Ft = 60' x 1.5 = **90 SF. Max.**
ARTICLE 7 :
Band Sign . 1 x business, 1.5 SF per linear ft of facade / max. 3ft high
Wall Sign . 1 x business , max. 32 sf

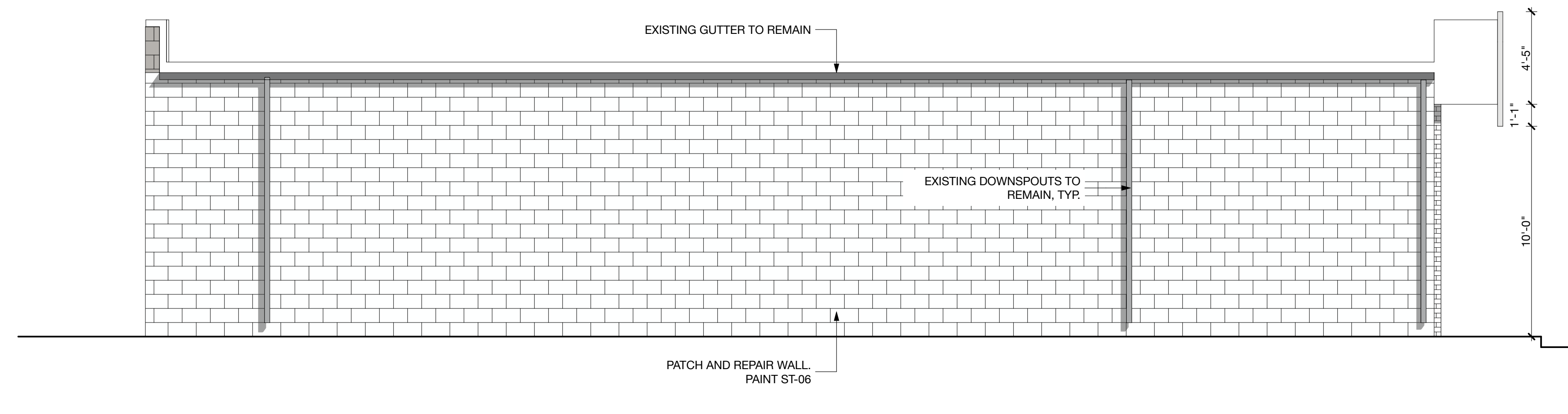
FINISH SCHEDULE				
ITEM CODE	LOCATION	DESCRIPTION	MANUFACTURER	PRODUCT #/ FINISH
ST-05	FACADE	FIBER CEMENT PANEL - MODERN BRICK	NICHHA	MIDNIGHT
ST-06	PAINTED CMU OR CONCRETE	SIDE OF BUILDING EXTERIOR WALL	BENJAMIN MOORE OR APPROVED EQ.	TO MATCH CONCRETE COLOR
MTL-01	FACADE	ALUMINUM PANEL	ALUCOBOND	CLASSIC CHAMPAGNE METALLIC PVDF-3/GLOSS 30
MTL-03	CANTILEVER CANOPY & SIDE PANELS	ALUMINUM PANEL TRIMS	ALUCOBOND	CONTEMPORARY GRAPHITE MICA PVDF-3/ GLOSS 30
MTL-04	STOREFRONT	ALUMINUM FRAME		BLACK ANODIZED OR PAINTED



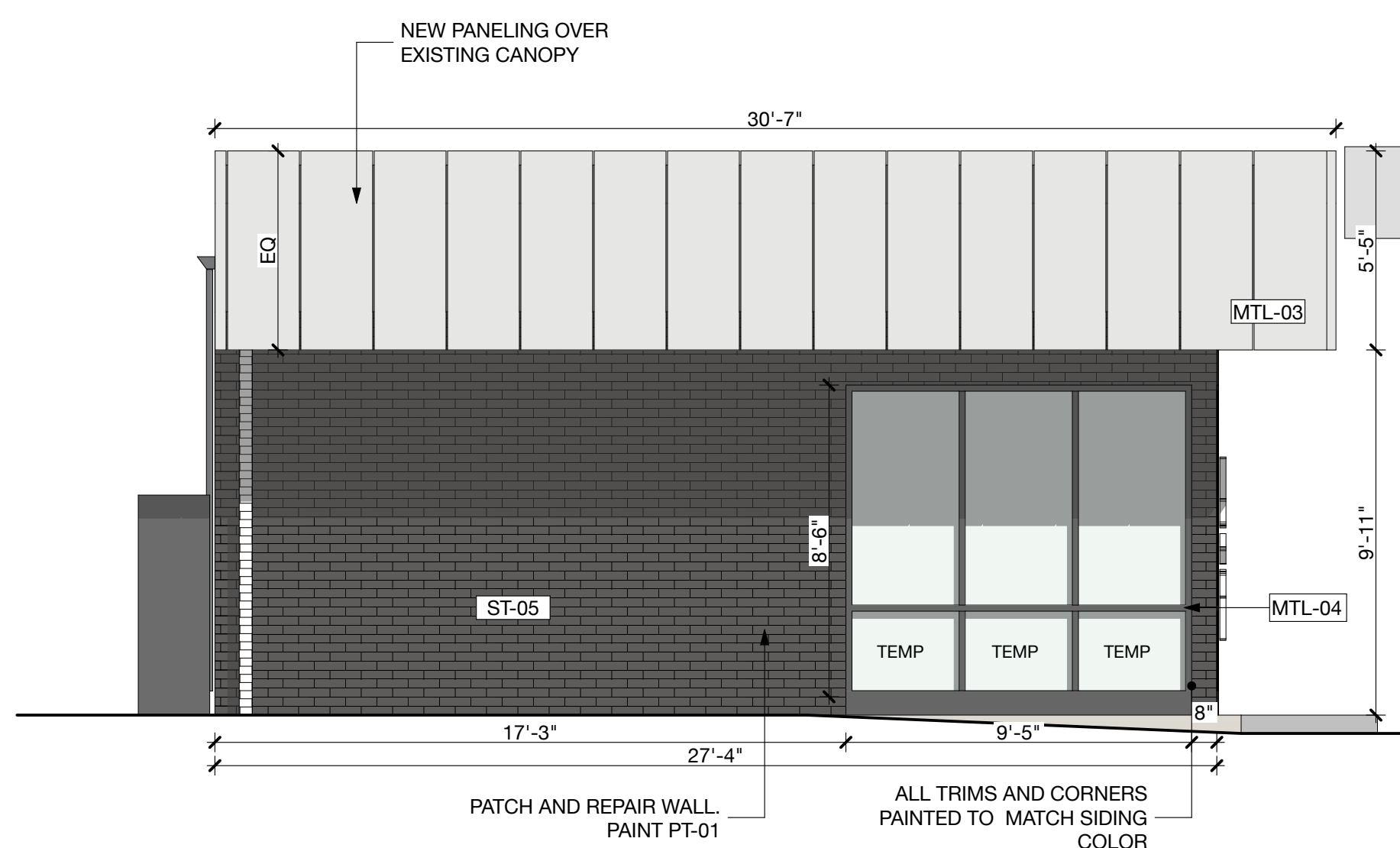
SIGN A: NON - ILLUMINATED KOMACEL STAR LOGO
COLORS: ORACAL SILVER FACES - PRIMED AND PAINTED SILVER RETURNS
STAR SIZE : 5' X 5'
ILLUMINATION : NONE.
SIGN A AREA : 25 SQ.FT.
SIGN B: INDIVIDUALLY ILLUMINATED CHANNEL LETTERS
COLORS: LETTER RETURNS 4.5" DEEP BLACK ALUMINUM W/ 1" BLACK TRIM CAP; WHITE ACRYLIC FRONTS; GREEN ACRYLIC FRONT TO MATCH PANTONE 361C.
LETTER SIZES : 'ATLANTIS' 11'-2" W X 13" H X 4.5" D; 'FRESH MARKET' 10'9" W X 6" H X 4.5" D
ILLUMINATION : GE WHITE LEDS W/REMOTE DRIVER . 5.5 TOTAL AMP W/ 100W DRIVERS (2.2 AMP EACH)
SIGN B AREA : 24.19 SQ.FT.



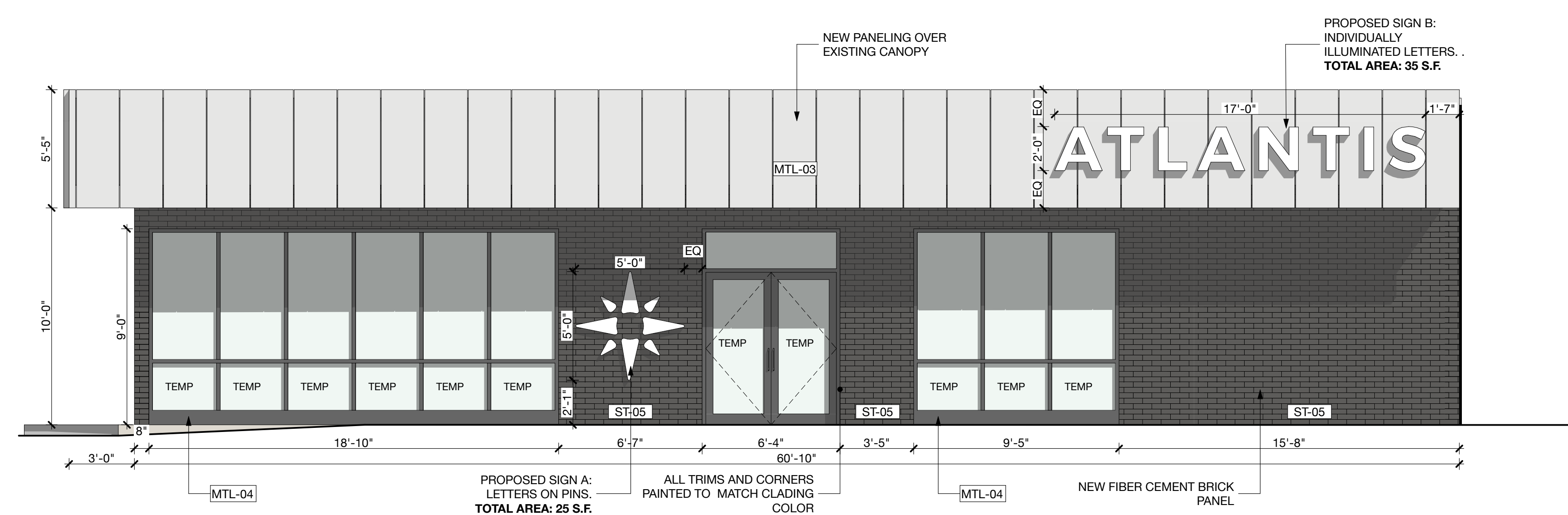
1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



4 WEST ELEVATION
SCALE: 1/4" = 1'-0"

OWNER:

Atlantis Management Group
555 S Columbus Ave #201 Mt. Vernon NY 10550
contact: Danny Porco
T. 347 249-6302 E. Dporco@atlantismgmt.com

MEP ENGINEER:

STRUCTURAL ENGINEER:

CIVIL ENGINEER:

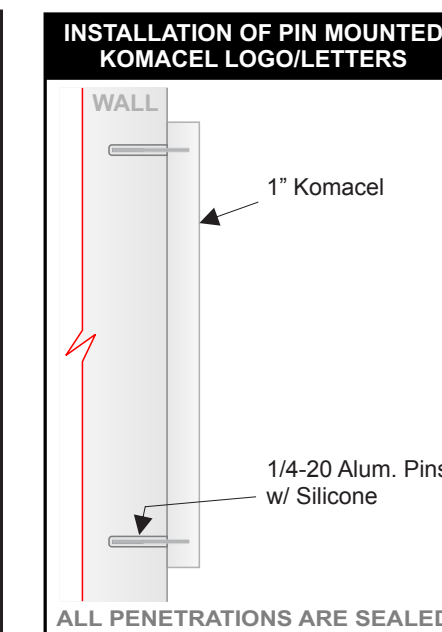
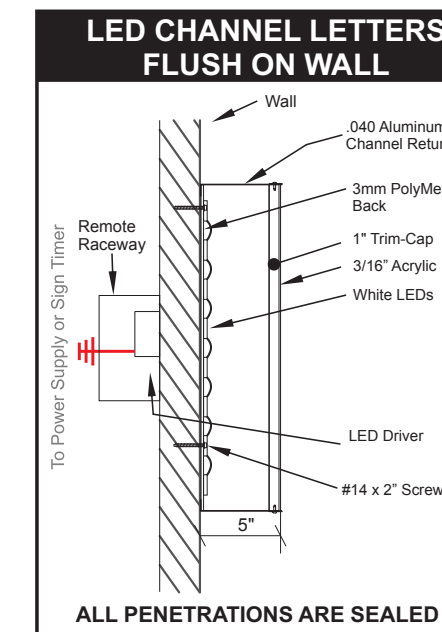
EXPEDITING & CODE CONSULTANT:

CONTRACTOR:

KEY PLAN

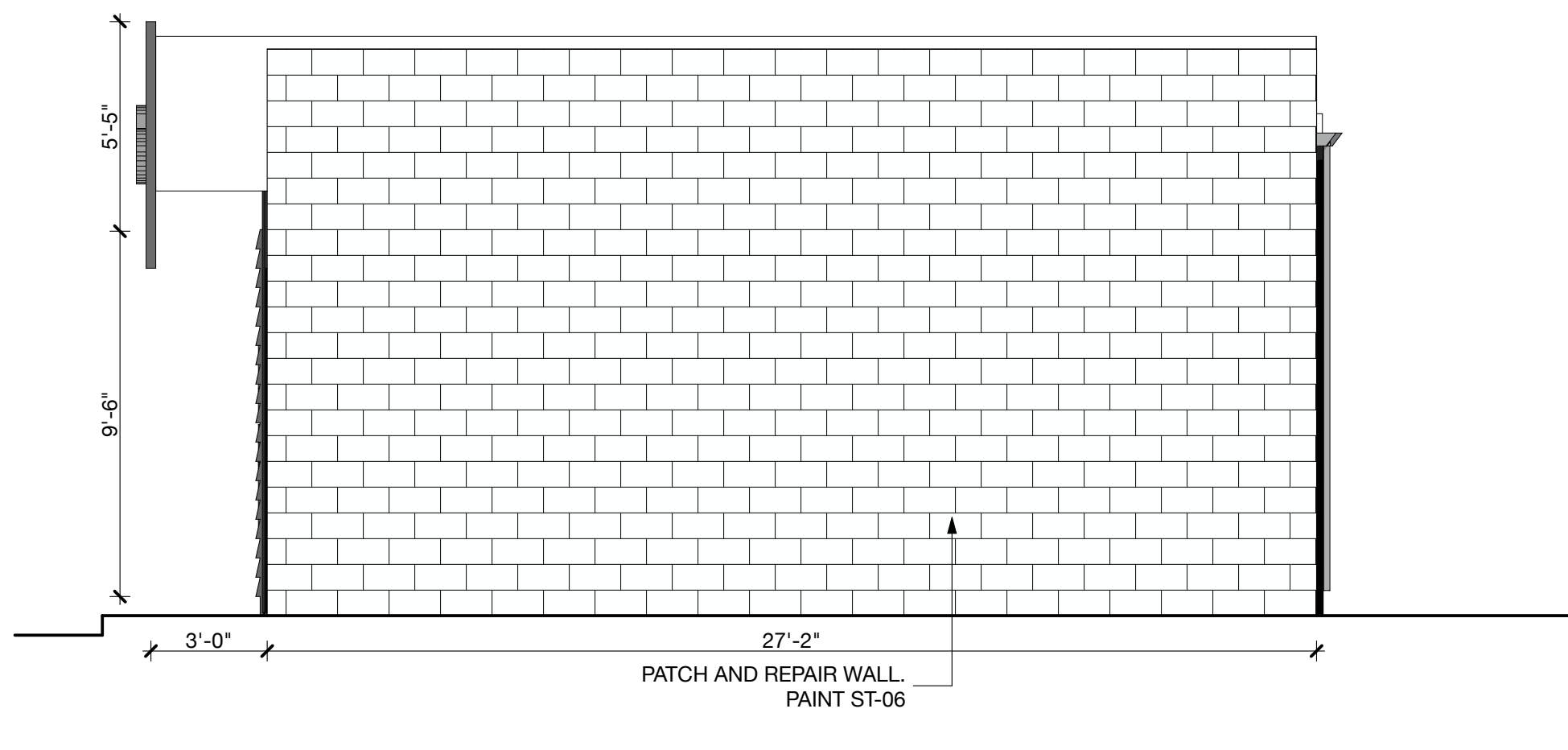
SIGNS CALCULATIONS
CD-3 Zone
SIGN A (ON PINS) AREA: **25 S.F.** (Wall sign) < 32 SF
SIGN B (W/ INTERNAL ILLUMINATION) AREA: **35 S.F.** (Band Sign) < 90SF
TOTAL SIGN AREA : 60 SF.
Facade linear Ft = 60' x 1.5 = **90 SF. Max.**
ARTICLE 7 :
Band Sign . 1 x business, 1.5 SF per linear ft of facade / max. 3ft high
Wall Sign . 1 x business , max. 32 sf

FINISH SCHEDULE				
ITEM CODE	LOCATION	DESCRIPTION	MANUFACTURER	PRODUCT #/ FINISH
ST-05	FACADE	FIBER CEMENT PANEL - MODERNBRICK	NICHIHA	MIDNIGHT
ST-06	PAINTED CMU OR CONCRETE	SIDE OF BUILDING EXTERIOR WALL	BENJAMIN MOORE OR APPROVED EQ.	TO MATCH CONCRETE COLOR
MTL-01	FACADE	ALUMINUM PANEL	ALUCOBOND	CLASSIC CHAMPAGNE METALLIC PVDF-3/GLOSS 30
MTL-03	CANTILEVER CANOPY & SIDE PANELS	ALUMINUM PANEL TRIMS	ALUCOBOND	CONTEMPORARY GRAPHITE MICA PVDF-3/ GLOSS 30
MTL-04	STOREFRONT	ALUMINUM FRAME		BLACK ANODIZED OR PAINTED

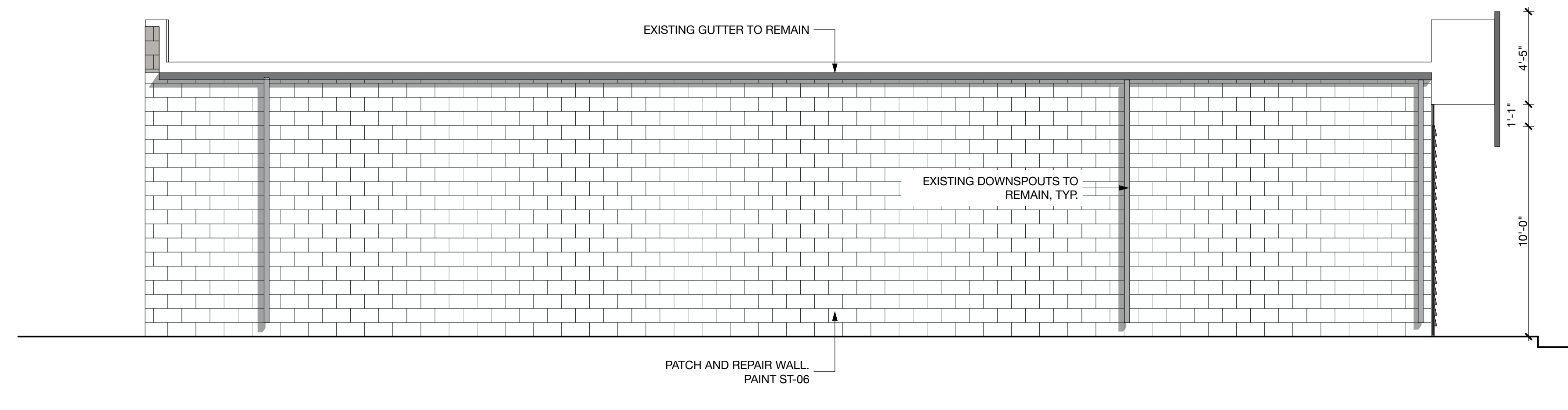


SIGN A: NON - ILLUMINATED KOMACEL STAR LOGO
COLORS: ORACAL SILVER FACES - PRIMED AND PAINTED SILVER RETURNS
STAR SIZE : 5' X 5'
ILLUMINATION : NONE.
SIGN A AREA : 25 SQ.FT.

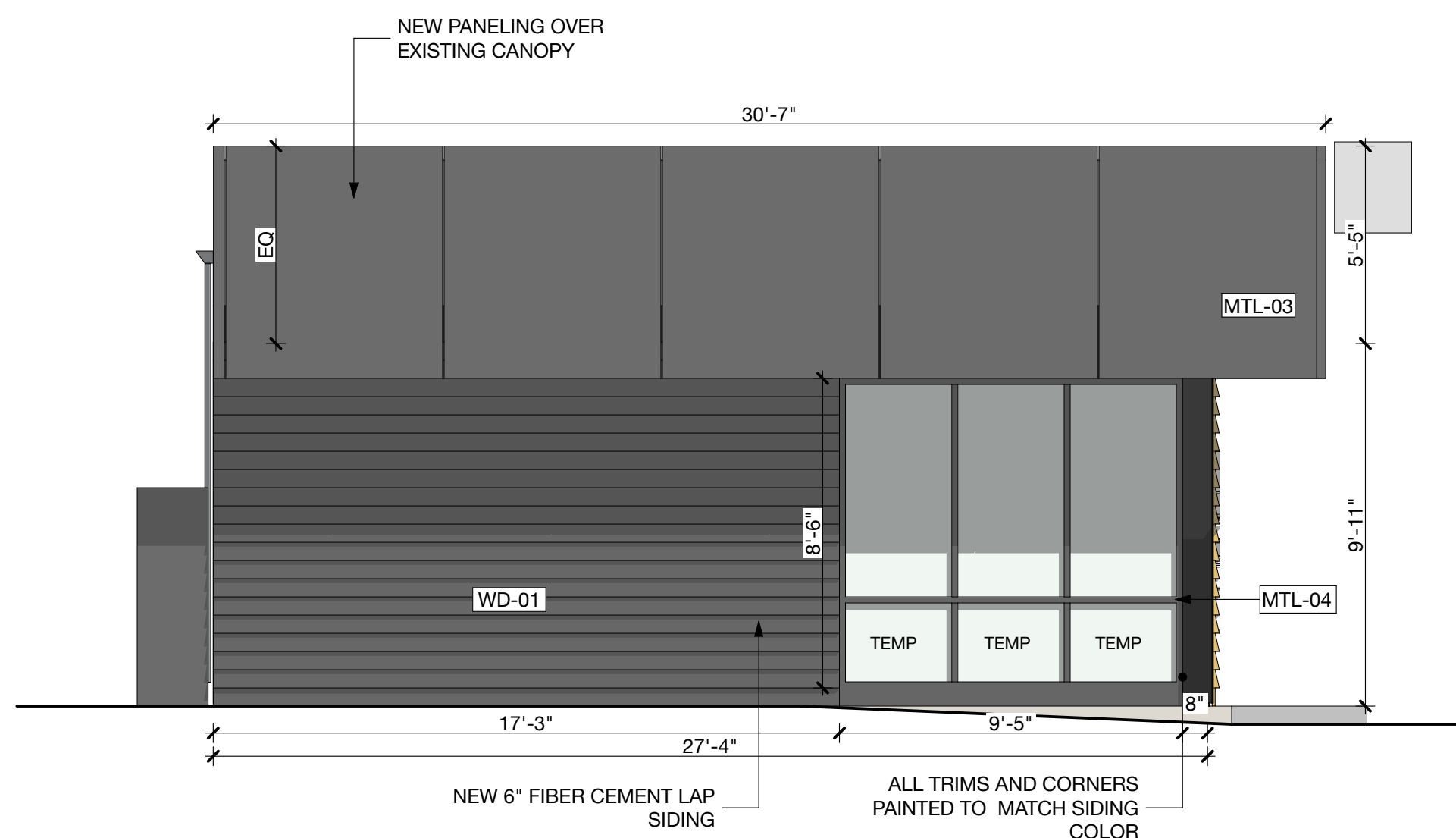
SIGN B: INDIVIDUALLY ILLUMINATED CHANNEL LETTERS
COLORS: LETTER RETURNS 4.5" DEEP BLACK ALUMINUM W/ 1" BLACK TRIM CAP; WHITE ACRYLIC FRONTS; GREEN ACRYLIC FRONT TO MATCH PANTONE 361C.
LETTER SIZES : 'ATLANTIS' 11'-2" W X 13" H X 4.5" D; 'FRESH MARKET' 10'9" W X 6" H X 4.5" D
ILLUMINATION : GE WHITE LEDS W/REMOTE DRIVER . 5.5 TOTAL AMP W/ 100W DRIVERS (2.2 AMP EACH)
SIGN B AREA : 24.19 SQ.FT.



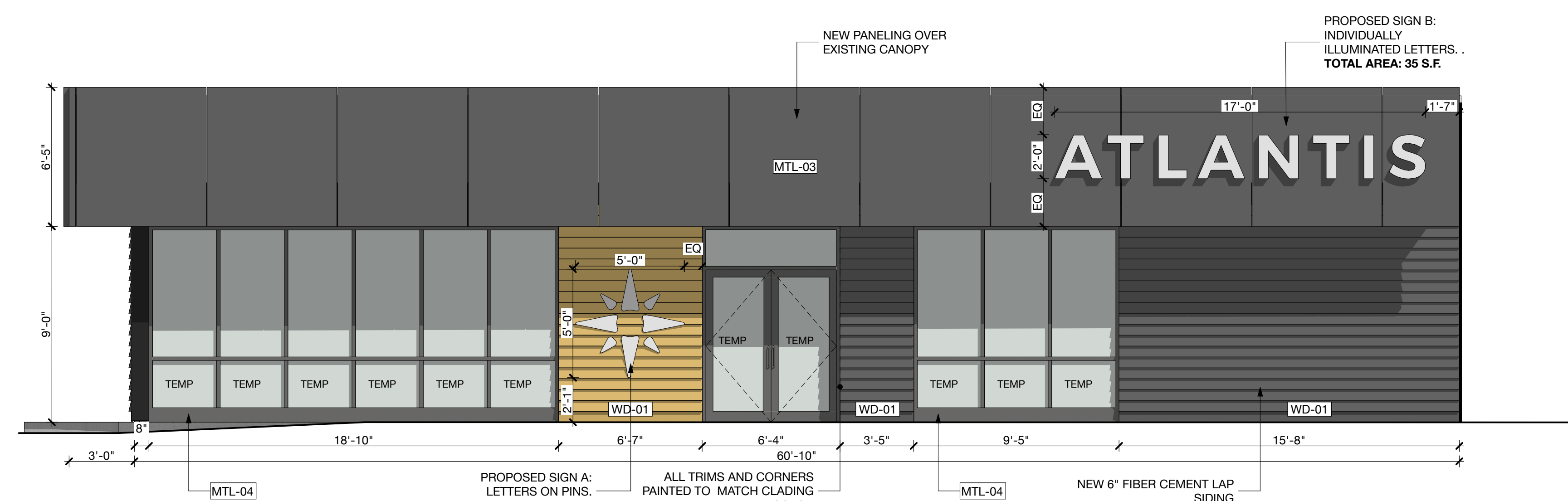
1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
SCALE: 1/4" = 1'-0"

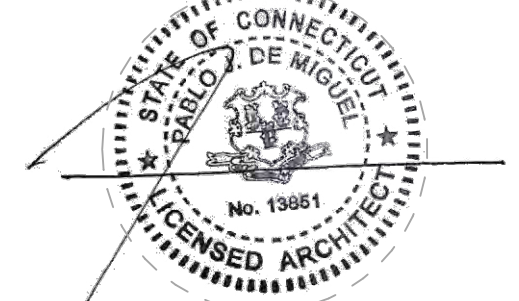


4 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

ISSUE	DATE	DESCRIPTION
2	08/21/2025	issued for filing
1	06/30/2025	issued for review

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SEAL & SIGNATURE



PROJECT:
ATLANTIS FRESH MARKET
Convenience Store

216 East Ave
Norwalk, CT 06855
MBLU: 3-9-14-0

DATE: 11/17/25 PROJECT #: 2402

SHEET NAME:
PROPOSED BUILDING ELEVATIONS

DRAWING No.:

A.201.00



162 14th Street
 Brooklyn NY 11215
 T. 646 265 0338 E. hola@pablodemiguel.com
 W. www.pablodemiguel.com

OWNER:
Atlantis Management Group
 555 S Columbus Ave #201 Mt. Vernon NY 10550
 contact: Danny Porco
 T. 347 249-6302 E. Dporco@atlantismgmt.com

MEP ENGINEER:

STRUCTURAL ENGINEER:

CIVIL ENGINEER:

EXPEDITING & CODE CONSULTANT:

CONTRACTOR:

KEY PLAN

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SEAL & SIGNATURE



PROJECT:
ATLANTIS FRESH MARKET
 Convenience Store

216 East Ave
 Norwalk, CT 06855
 MBLU: 3-9-14-0

DATE: 11/17/25 PROJECT #: 2402

SHEET NAME:

PROPOSED BUILDING VIEWS

DRAWING No.:

A.800.00



March 17, 2026

VIA HAND DELIVERY

Nowalk Planning and Zoning Commission
Attn: Steven Kleppin
125 East Avenue
Norwalk, CT 06851

Re: Design Review Application – 216 East Avenue, Norwalk, CT

Dear Steven:

On behalf of the AMG Real Estate LLC (the “**Applicant**”), please accept this Site Plan Review application for the property located at **216 East Avenue, Norwalk, Connecticut** (the “**Property**”), which is located in the **CD-3 Zone** and within the **East Norwalk Village TOD Village Zone District (EVTZ)**. The Property is currently improved with an existing gasoline service station and repair facility that is a **legal nonconforming use** in the CD-3 Zone.

The Applicant seeks Commission review and approval for (i) an **interior use change** within the existing building, consisting generally of converting the existing repair/service area to **retail floor area** to be operated in conjunction with the existing gasoline service station use, and (ii) a **refresh of the building’s exterior design/façade**, as shown on the enclosed architectural plans and elevations. **Fuel sales and fueling operations will remain as existing and are not proposed to change.** No building expansion is proposed.

Because the Property is located within the EVTZ, the application is also subject to the **Village District design review standards and peer review process**. Consistent with these requirements, the enclosed submission includes the site and architectural plans and supporting materials necessary for the Commission’s review of both the proposed use change and the exterior design updates.

We respectfully request that the Commission accept this application, refer it for the required EVTZ peer review, and schedule the matter for review and action in accordance with the City’s procedures. Please do not hesitate to contact me with any questions.

Very truly yours,

Daniel S. Glissman

Daniel S. Glissman
Direct: 860-278-1900
Email: daniel.glissman@mrglaw.com



Site Plan Review Application

City of Norwalk Planning & Zoning Commission

Phone: 203-854-7780

www.norwalkct.gov

Date Received:

Per Section 8.4.5 of the Norwalk Zoning Regulations, the purpose of Site Plan Reviews is to aid in determining the conformity of proposals related to Development, Buildings, Structures, Uses, and other matters with the Zoning Regulations.

1. Address of Subject Property(s):

216 East Avenue, Norwalk, CT

2. District: 3, Block: 9, Lot(s): 14 3. Zone: CD-3, Overlay/Village District: EVTZ

4. Historic Structure(s): No Yes 5. Flood Hazard Zone: No Yes, Flood Zone(s) _____

6. Coastal Area Management Zone: No Yes If yes, include application for Coastal Site Plan Review or specify Section allowing exemption: _____

7. Existing Use of Property:

Motor Vehicle Maintenance, Repair, Fuel Sales, Service or Cleaning

8. Proposed Use of Property as Identified per Table 4.3.9.A Building, Lot & Building Site Principal Uses:

Motor Vehicle Maintenance, Repair, Fuel Sales, Service or Cleaning / Retail Sales -

Convert existing automobile repair/service bay area within an existing gas station building to accessory retail sales primarily serving on-site customers, including

convenience goods and automotive-related merchandise. No change to fueling operations.

No vehicle repair/service use will remain in the converted area.

Applicant Information

Applicant Name: AMG REAL ESTATE LLC

Billing Address: 555 SOUTH COLUMBUS AVE #201 MOUNT VERNON, NY 10550

Phone Number: (914) 699-9500 Email: DPorco@atlantismgmt.com

Signature: DANNY PORCO

Property Owner Information and Authorization

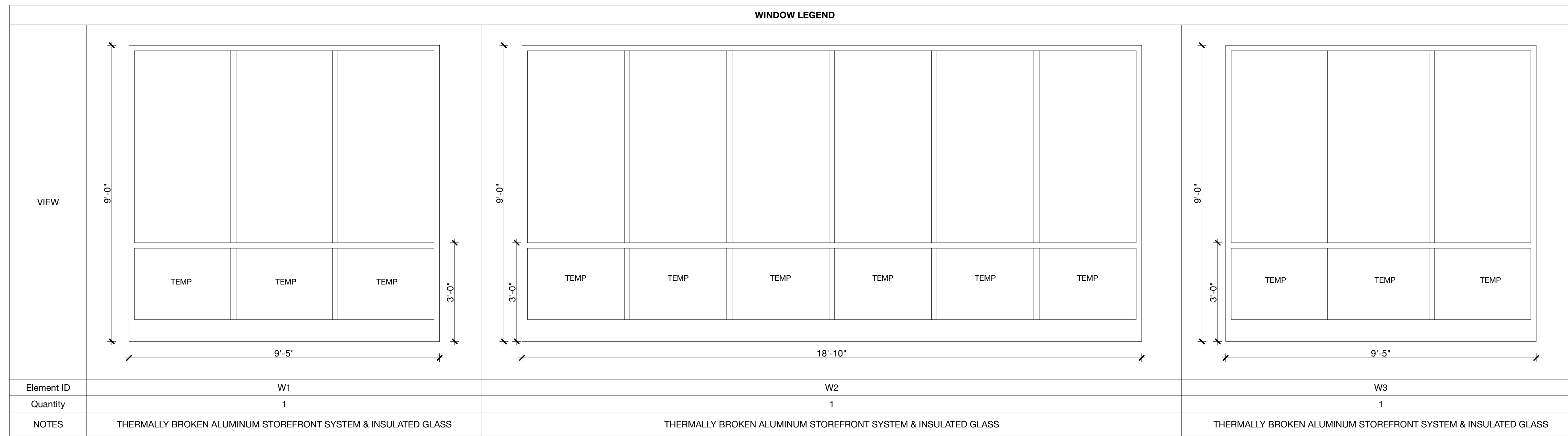
Owner of Record: AMG REAL ESTATE LLC

Billing Address: 555 SOUTH COLUMBUS AVE #201 MOUNT VERNON, NY 10550

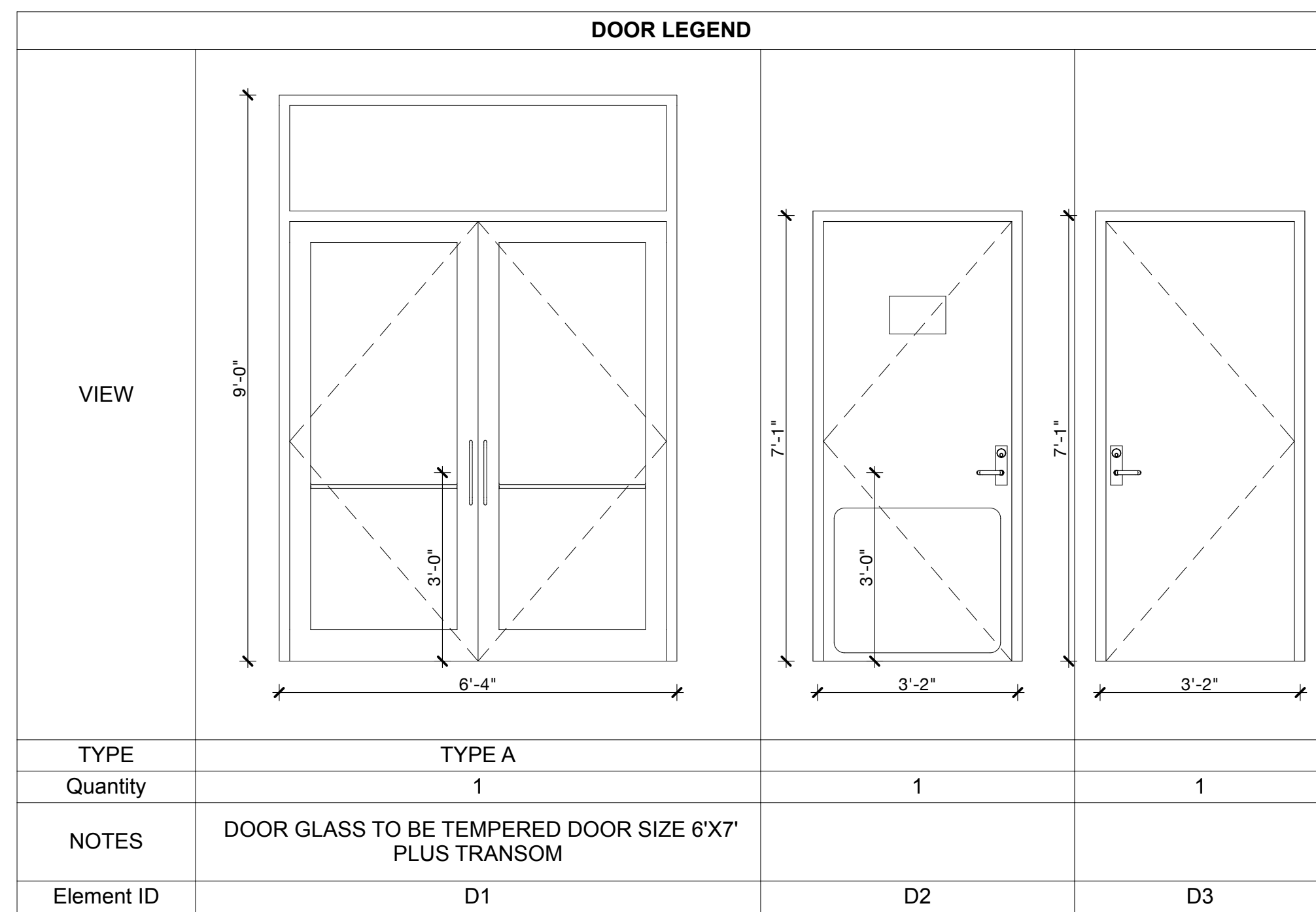
Phone Number: (914) 699-9500 Email: DPorco@atlantismgmt.com

Signature: DANNY PORCO

**By signing, the property owner confirms that the Applicant has been authorized to apply for Planning & Zoning approval, and attests that all information provided is true and accurate.*



WINDOW #	LOCATION	MANUFACTURER	ASSEMBLY U-FACTOR	SHGC	VT	AIR LEAKAGE RATE (CFM/SF)	TYPE	WINDOW SIZE		QUANTITY	FINISH	REMARKS
								NOMINAL WIDTH	NOMINAL HEIGHT			
W1	NORTH FACADE	KAWNEER COMPANY INC. 1000 DENNY OR APPROVED EQUAL	0.368	0.338	0.616	0.05	TYPE 1	9'-5"	9'-0"	1	BLACK ANODIZED ALUMINUM	THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM & INSULATED GLASS
W2	WEST FACADE	KAWNEER COMPANY INC. 1000 DENNY OR APPROVED EQUAL	0.368	0.338	0.616	0.05	TYPE 1	18'-10"	9'-0"	1	BLACK ANODIZED ALUMINUM	THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM & INSULATED GLASS
W3	WEST FACADE	KAWNEER COMPANY INC. 1000 DENNY OR APPROVED EQUAL	0.368	0.338	0.616	0.05	TYPE 1	9'-5"	9'-0"	1	BLACK ANODIZED ALUMINUM	THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM & INSULATED GLASS



#	MANUFACTURER	ASSEMBLY U-FACTOR	SHGC	VT	AIR LEAKAGE RATE (CFM/SF)	TYPE	FIRE	NOMINAL WIDTH	NOMINAL HEIGHT	SWING	LEAF	MATERIAL	FRAME MATERIAL	HARDWARE SET	THRESHOLD	FINISH	REMARKS
D1	KAWNEER COMPANY INC. 350 THERMAL OR APPROVED EQUAL	0.593	0.240	0.395	0.2	TYPE A	1	6'	7'	L	1 3/4"	ALUM / GLASS	NA	HW-01	Axxx/01	ANODIZED ALUMINUM & TEMPERED GLASS. FRAME COLOR TO MATCH DARK GREY METAL FACADE PANEL	DOOR GLASS TO BE TEMPERED DOOR SIZE 6'X7' PLUS TRANSOM
D2								3'	7'	R	1 3/4"	HM	NA		N/A	PAINTED PT-02	
D3								3'	7'	L	1 3/4"	HM	NA	HW-03			

FINISH SCHEDULE

ITEM CODE	LOCATION	DESCRIPTION	MANUFACTURER	PRODUCT #/ FINISH
FL-01	SALE FLOOR, ATTENDANT AREA, OFFICE, UTILITY ROOM, RESTROOM	24" X 48" FIELD TILE 3/8" THICK	DAL TILE HAUT MOORE - EMPIRE BLACK HM06	UNPOLISHED GROUT: LATICRETE 45 RAVEN
PT-01	ALL WALLS AND GYP. SUSPENDED CEILING	PAINT	BERH ULTRA SATIN	FLAT PAINT, COLOR WHITE 088-7766 CUSTOM COLOR MATCH
PT-02	ACCENT AREAS, CORRIDOR, DOORS	PAINT	BENJAMIN MOORE	GRAPHITE 1603
PT-03	INTERIOR WALLS AS INDICATED ON PLANS	PAINT	BERH ULTRA SATIN	FLAT PAINT, COLOR 4208-5 SWEET MIDORI GREEN, 0883-BASE 7753
ST-01	SALE FLOOR	STONE COUNTERTOP	SILESTONE	SILVER NUBE
ST-02	RESTROOM	PORCELAIN MOSAIC TILE	SUBWAY TILE WHITE GLOSSY 3X6	UNPOLISHED GROUT: LATICRETE 45 RAVEN
ST-03	SALE FLOOR / WALK-IN COOLER EXTERIOR	PORCELAIN MOSAIC TILE	MEROLA TILE METRO SUBWAY GLOSSY WHITE 11-3/4 IN. X 11-3/4 IN. X 5 MM. MODEL NUMBER: FXLMSSW	UNPOLISHED GROUT: LATICRETE 45 RAVEN
ST-05	PAINTED CMU	SIDE OF BUILDING PAINTED EXISTING AND NEW CMU EXTERIOR WALL	BENJAMIN MOORE	GRAPHITE 1603
WD-01	FACADE	FIBER CEMENT LAP SIDING PLANKS 6" WIDE X 24" HIGH	JAMES HARDY	STEEL GRAY COLOR
WD-02	GENERAL SALES AREA, SOFFIT	RECLAIMED WOOD CLADDING	BY OWNER	BY OWNER
WD-03	SIGNAGE PANELS (WOOD FINISH)	WOOD LAMINATE OVER RIGID PANEL	WILSONART	UPTOWN WALNUT 7971K-12 SOFT GRAIN FINISH WITH Aeon
MTL-03	CANTILEVER/ CANOPY & SIDE PANELS	ALUMINUM PANEL TRIMS	ALUCOBOND	CONTEMPORARY GRAPHITE MICA PUDF-3 / GLOSS 30
MTL-04	STOREFRONT	ALUMINUM FRAME		BLACK ANODIZED OR PAINTED
CL-01	SALE FLOOR, BATHROOM, UTILITY	PAINTED GYP. BOARD		
CL-02	UTILITY/SALE FLOOR	SUSPENDED CEILING TILES 2X4	ARMSTRONG	AMSTRONG 1761 WH
RB-01	SALE FLOOR, ATTENDANT AREA, OFFICE, UTILITY ROOM	BASEBOARD	ROPPE 700 SERIES	RUBBER- COLOR DARK GREY TRD WITH CONCRETE FLOOR

162 14th Street
Brooklyn NY 11215
T. 646 265 0338 E. hola@pablodemiguel.com
W. www.pablodemiguel.com

OWNER:
Atlantis Management Group
555 S Columbus Ave #201 Mt. Vernon NY 10550
contact: Danny Porco
T. 347 249-6302 E. Dporco@atlantismgmt.com

MEP ENGINEER:

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EXPEDITING & CODE CONSULTANT:

CONTRACTOR:

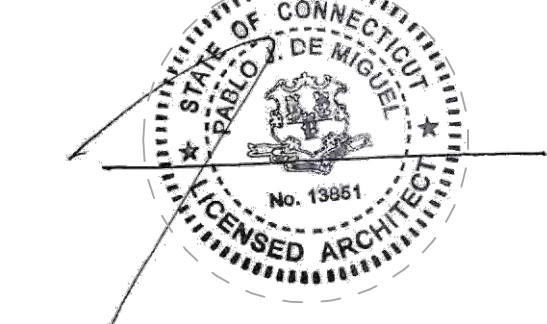
KEY PLAN

2 08/21/2025 issued for filing
1 06/30/2025 issued for review

ISSUE DATE DESCRIPTION

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SEAL & SIGNATURE



PROJECT:
ATLANTIS FRESH MARKET
Convenience Store

216 East Ave
Norwalk, CT 06855
MBLU: 3-9-14-0

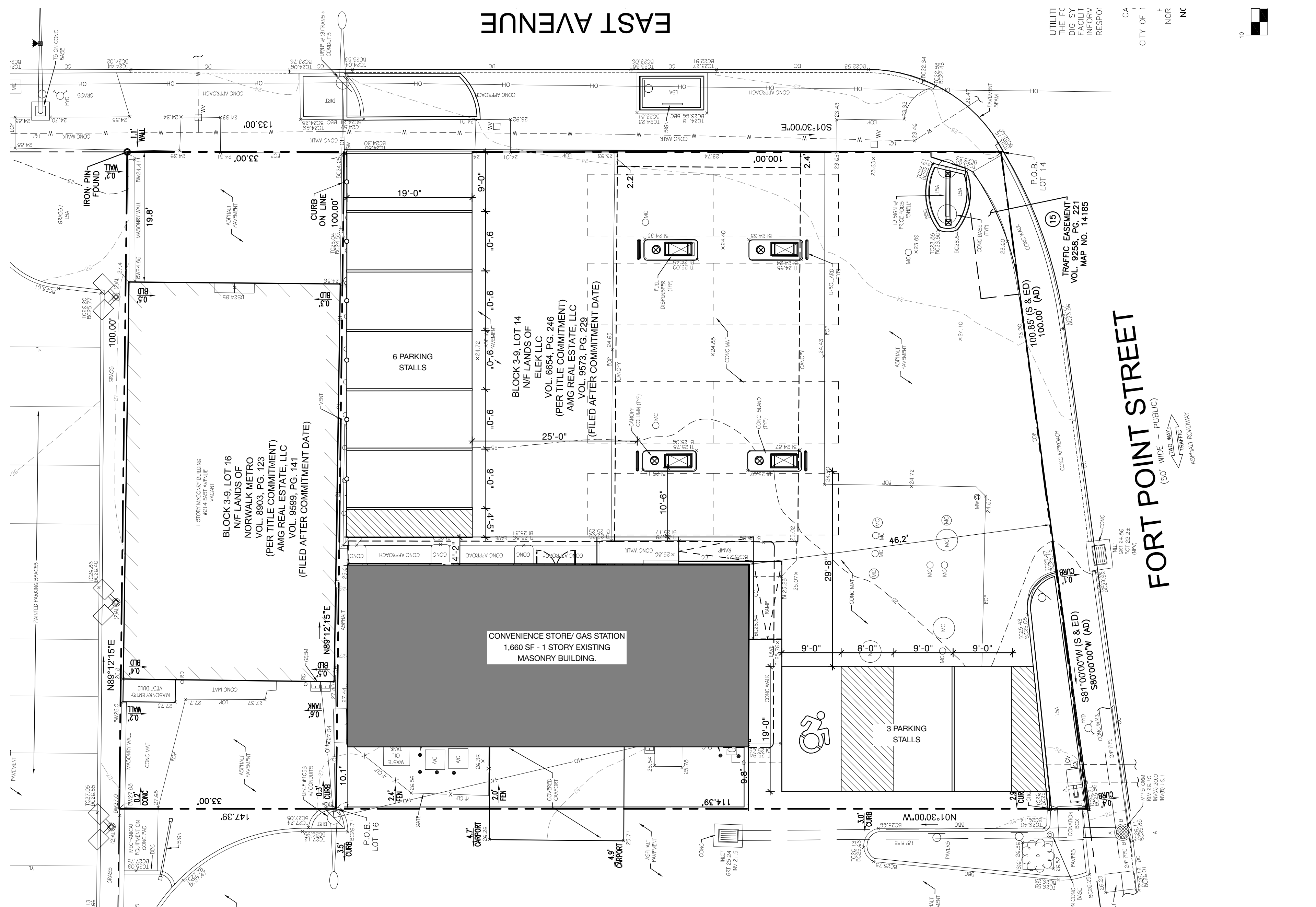
DATE: 8/21/25 PROJECT #: 2402

SHEET NAME:

DOOR, WINDOW, HARDWARE AND FINISH SCHEDULES

DRAWING No.:

A.001.00



02 NOTED SURVEY
SCALE: 1" = 10'

THIS PLAN IS USING AS REFERENCE THE PROPERTY SURVEY PRODUCED BY GALLAS SURVEYING GROUP AND SIGNED BY CHARLES J. OSBORNE III, DATED 11/28/2023

**ZONING INFORMATION TABLE - TOWN OF NORWALK
216-214 EAST AVE, NORWALK, CT**

Mblu : E13-182
ZONING DISTRICT : GENERAL URBAN COMMUNITY DISTRICT (CD-3 ZONE)
EXISTING USE: GAS STATION/CONVENIENCE STORE WITH VEHICLE REPAIR
PROPOSED USE: GAS STATION WITH A CONVENIENCE STORE

PARKING CALCULATIONS

ZR-CH 118-1210 AMOUNT OF MOTOR VEHICLE PARKING SPACE TO BE PROVIDED

12.(a). RETAIL STORES, INCLUDING PERSONAL AND BUSINESS SERVICE ESTABLISHMENTS, AND RETAIL ACCESSORY TO BOUTIQUE MANUFACTURING:

1 parking space per 200 square feet of active commercial floor area.

19.(b). MOTOR VEHICLE SERVICE AND GAS STATIONS - GAS STATION:

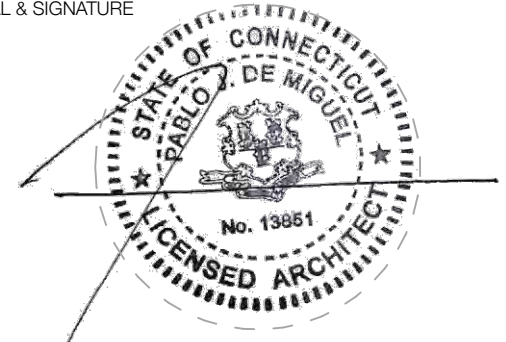
1 parking space per pump island.

	EXISTING	PROPOSED
12. CONVENIENCE STORE (RETAIL) = 1,480 SQ.FT / 200 = 7.4 (8 PARKING SPACES)		
19. GASOLINE FILLING STATION (4 PUMP ISLANDS) 4 X 1 = 4 PARKING SPACES		
TOTAL REQUIRED AS PER ZR: 12 PARKING SPACES (1 ADA + 11 REGULAR)	NOT DEFINED + 8 AT PUMPS	9 SPACES (1 VAN ADA) + 8 AT PUMPS

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SEAL & SIGNATURE



PROJECT:
ATLANTIS FRESH MARKET
Convenience Store
216 East Ave
Norwalk, CT 06855
MBLU: 3-9-14-0
DATE: 8/21/25 PROJECT #: 2402

SHEET NAME:
PROPOSED SITE PLAN

DRAWING No.:

A-003.00

MAP LEGEND

ABBREVIATIONS

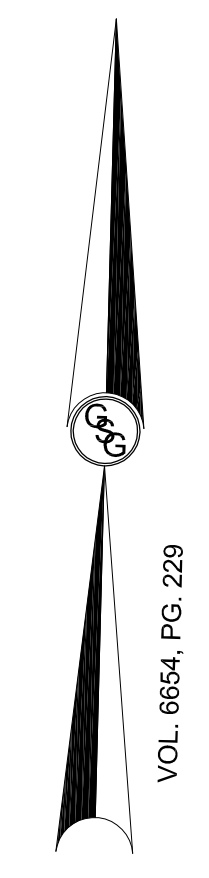
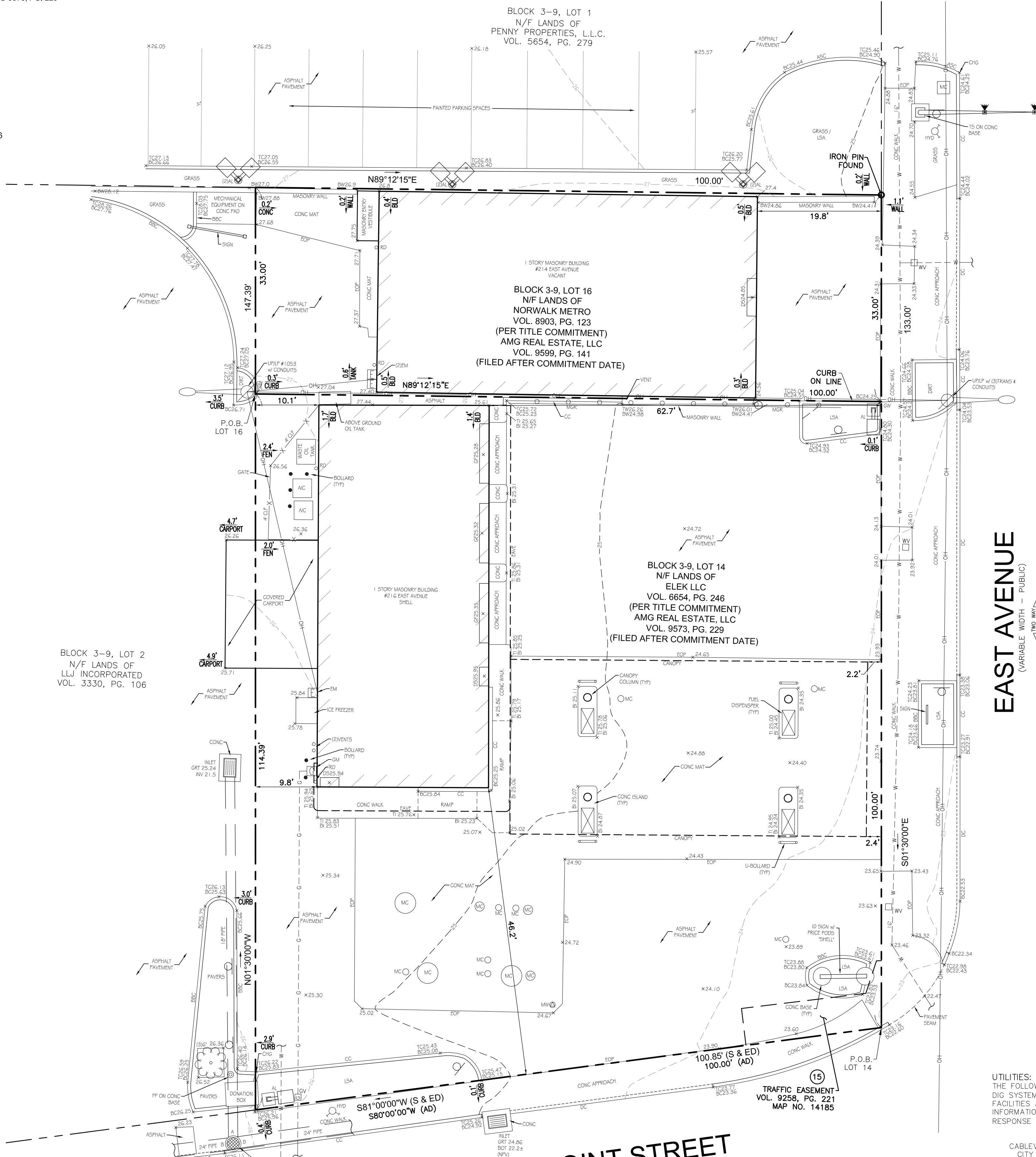
- PROPERTY LINE
EXIST. BUILDING FOOTPRINT AT GROUND LEVEL & DOORWAY
FENCE
GUIDE RAIL
EXISTING CONTOUR
EXISTING SPOT ELEVATION
EXIST. TOP OF CURB ELEVATION
EXIST. GUTTER ELEVATION
EXIST. TOP OF WALL ELEVATION
EXIST. BOTTOM OF WALL ELEVATION
DOOR SILL ELEVATION
GARAGE FLOOR ELEVATION
EXIST. TOP OF ISLAND ELEVATION
EXIST. BOTTOM OF ISLAND ELEVATION
APPROX. LOCATION U.G. WATER LINE & SIZE PER UTILITY MARKOUT
APPROX. LOCATION U.G. GAS LINE PER UTILITY MARKOUT
HYDRANT
WATER VALVE
GAS VALVE
GAS METER
ELECTRIC METER
AREA LIGHT ON CONCRETE BASE
MANHOLE
INLET
MONITORING WELL
TRAFFIC SIGNAL POLE
OVERHEAD WIRES
UTILITY POLE/LIGHT POLE
GUY WIRE
BOLLARD
SIGN
DENOTES OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
TREE & TRUNK SIZE
TITLE REPORT EXCEPTION NUMBER

- AIR CONDITIONER
AMG REAL ESTATE, LLC, DB 9573, PG. 229
AREA LIGHT
ASPHALT CURB
BELGIAN BLOCK CURB
BUILDING
BOTTOM OF STRUCTURE
CONCRETE CURB
CURB CHANGE
CHAIN LINK FENCE
CONCRETE
DEPRESSED CURB
ELEK LLC, DB 6654, PG. 246
ELECTRIC METER
EDGE OF PAVEMENT
FLAG POLE
FENCE
GAS METER
GUY WIRE
GRATE
HYDRANT
INVERT
LANDSCAPED AREA
METAL COVER
METAL GUIDE RAIL
MANHOLE
MONITORING WELL
NO PIPES VISIBLE
ROOF DRAIN
INLET
SURVEY
TRANSFORMER
TRAFFIC SIGNAL
TYPICAL
UTILITY POLE/LIGHT POLE
YELLOW LINE

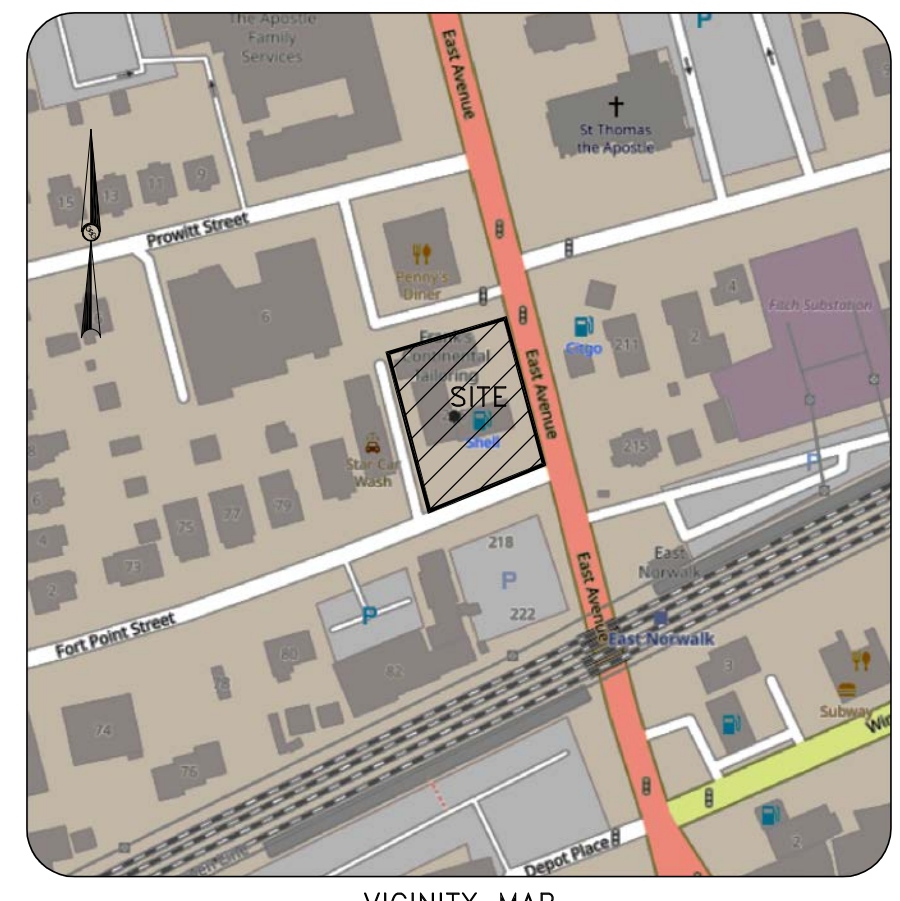
- REFERENCES:
1. MAP OF PROPERTY J.T. & C. PROWITT, NORWALK, CONNECTICUT, PREPARED BY CHARLES N. WOOD, DATED 05-01-1902, FILED ON 05-01-1902 AS MAP NO. 157.
2. SUPPLEMENTARY MAP OF PROPERTY BELONGING TO J.T. & C. PROWITT, NORWALK, CONNECTICUT, PREPARED BY CHARLES N. WOOD, DATED 1908, FILED ON 08-24-1908 AS MAP NO. 245.
3. MAP OF LOTS OWNED BY CLARENCE I. FINCH & CORA E. FINCH, NORWALK, CONNECTICUT, PREPARED BY ALLEN B. GREGORY, DATED 08-1925, FILED ON 08-15-1925 AS MAP NO. 624.
4. PLAN OF LAND IN EAST NORWALK, NORWALK, CONNECTICUT, PREPARED FOR THE TEXAS COMPANY, PREPARED BY SAMUEL W. HOYT, JR., CO. INC., DATED 08-1940, FILED ON 10-30-1940 AS MAP NO. 1809.
5. MAP OF PROPERTY PREPARED FOR FRANCES C. & HELEN M. BOTTONNE, NORWALK, CONNECTICUT, PREPARED BY RYAN & FAULDS, DATED 09-08-1970, FILED ON 09-09-1970 AS MAP NO. 7371.
6. PROPERTY SURVEY PREPARED FOR NORWALK METRO, 214 EAST AVENUE, NORWALK, CONNECTICUT, PREPARED BY WILLIAM W. SEYMOUR & ASSOCIATES, P.C., DATED 11-11-2019.
7. ALTANSPS LAND TITLE SURVEY FOR 216 EAST AVENUE, NORWALK, CONNECTICUT, PREPARED BY: FIRST ORDER, LLC FOR BOCK & CLARK CORPORATION AN NVS COMPANY, LAST REVISED 01-20-2023.
8. RIGHT OF WAY SURVEY, TOWN OF NORWALK, MAP SHOWING EASEMENT ACQUIRED FROM ELEK LLC BY THE STATE OF CONNECTICUT, DEPARTMENT OF TRANSPORTATION, WALK RAILROAD BRIDGE REPLACEMENT, DATED 09-2020, APPROVED 04-16-2021, FILED ON 06-08-2021 AS MAP NO. 14185.
9. STATE OF CONNECTICUT, DEPARTMENT OF TRANSPORTATION, EAST AVENUE RAILROAD UNDERPASS IN THE CITY OF NORWALK, PROJECT NO. 170-1375, APPROVED 01-05-2021.
10. DEED VOLUME 6654, PAGE 229 (PRIOR DEED FOR LOT 14 CALLING THE PROPER BEARING FOR COURSE NO. 1 ALONG FORT POINT STREET)

SCHEDULE A PROPERTY DESCRIPTION:
LOT 14 ONLY:
ALL THAT CERTAIN PIECE OR PARCEL OF LAND, TOGETHER WITH THE BUILDINGS AND IMPROVEMENTS THEREON, SITUATED IN EAST NORWALK, SO-CALLED, IN THE CITY OF NORWALK, COUNTY OF FAIRFIELD, AND STATE OF CONNECTICUT, ACCORDING TO A MAP PREPARED BY THE SAMUEL W. HOYT, JR., COMPANY, INC., ENGINEERS AND SURVEYORS, CERTIFIED SUBSTANTIALLY CORRECT BY FREDERICK P. STABLE, PRESIDENT, ENTITLED, "PLAN OF LAND IN EAST NORWALK, NORWALK, CONNECTICUT AS PREPARED FOR THE TEXAS COMPANY, AUGUST, 1940, FILED IN THE NORWALK TOWN CLERK'S OFFICE AS MAP NO. 1809, AND BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:
BEGINNING AT THE INTERSECTION OF THE WESTERLY LINE OF EAST AVENUE WITH THE NORTHERLY LINE OF FORT POINT STREET DEFINED BY A CROWFOOT CUT IN A CEMENT CONCRETE WALK.
THENCE BEARING S 81° 00' W ALONG THE SAID NORTHERLY SIDE OF FORT POINT STREET FOR A DISTANCE OF 100.85 FEET TO AN IRON PIN;
THENCE BEARING N 1° 30' W ALONG LAND NOW OR FORMERLY OF PHILIP H. FIELDING FOR A DISTANCE OF 114.39 FEET TO ANOTHER IRON PIN;
THENCE BEARING N 89° 12' 15" EAST, FURTHER ALONG SAID LAND NOW OR FORMERLY OF PHILIP H. FIELDING FOR A DISTANCE OF 100.00 FEET TO ANOTHER CROWFOOT CUT IN A CEMENT CONCRETE WALK UPON THE SAID WESTERLY SIDE OF EAST AVENUE;
AND THENCE BEARING S 1° 30' E ALONG THE SAID WESTERLY SIDE OF EAST AVENUE FOR A DISTANCE OF 100.00 FEET TO THE CROWFOOT CUT AT THE POINT OR PLACE OF BEGINNING.

SCHEDULE A PROPERTY DESCRIPTION (LOT 16):
ALL THAT CERTAIN PIECE OR PARCEL OF LAND, TOGETHER WITH THE BUILDINGS AND IMPROVEMENTS THEREON, SITUATED IN THE CITY OF NORWALK, COUNTY OF FAIRFIELD, AND STATE OF CONNECTICUT, BEING THE NORTHERLY PORTION OF LOT NO. 23A AS SHOWN AND DESIGNATED ON A CERTAIN MAP ENTITLED, "MAP OF LOTS OWNED BY CLARENCE I. FINCH AND CORA E. FINCH, NORWALK, CONN., SCALE 1"=40", AUGUST, 1925, CERTIFIED SUBSTANTIALLY CORRECT BY ALLEN B. GREGORY, NORWALK, CONN., WHICH MAP IS ON FILE IN THE NORWALK TOWN CLERK'S OFFICE AS MAP NO. 624, BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:
NORTHERLY: 100 FEET BY LOT NO. 24 ON SAID MAP;
EASTERLY: 33 FEET BY HIGHWAY CALLED EAST AVENUE;
SOUTHERLY: 100 FEET BY THE SOUTHERLY PORTION OF LOT NO. 23A ON SAID MAP; AND
WESTERLY: 33 FEET BY THE WESTERLY PORTION OF LOT NO. 23A AS SHOWN ON SAID MAP



VOL. 6654, PG. 229



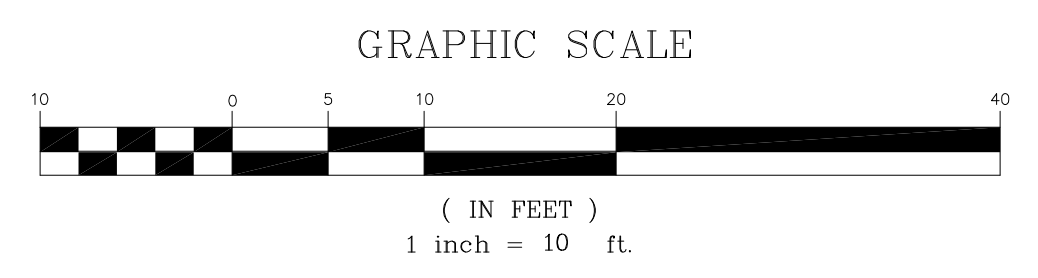
VICINITY MAP

- NOTES:
1. PROPERTY KNOWN AND DESIGNATED AS BLOCK 3-9, LOTS 14 & 16 ON THE GIS WEB SITE FOR THE CITY OF NORWALK, FAIRFIELD COUNTY, CONNECTICUT.
2. AREA LOT 14: 10,719 S.F. OR 0.2481 AC. AREA LOT 16: 3,303 S.F. OR 0.0758 AC.
3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON PRIOR UTILITY MARK-OUTS. ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY, AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
4. THIS SURVEY IS PREPARED WITH REFERENCE TO A COMMITMENT FOR TITLE INSURANCE, FOR LOT 14, ISSUED BY ABSTRACT INCORPORATED AS AGENTS FOR FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. CT-6306146, HAVING A COMMITMENT DATE OF DECEMBER 31, 2022, WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B, PART II:
(10) ABSOLUTE ASSIGNMENT OF LEASES AND RENTS FROM ELEK LLC AND LLJ INCORPORATED TO PATRIOT BANK, N.A. DATED DECEMBER 2, 2016 AND RECORDED IN VOLUME 8449 AT PAGE 40 OF THE NORWALK LAND RECORDS [BLANKET]
(11) CERTIFICATE OF VARIANCE GRANTED BY THE CITY OF NORWALK ZONING BOARD OF APPEALS DATED APRIL 10, 1989 AND RECORDED IN VOLUME 2323 AT PAGE 266 OF THE NORWALK LAND RECORDS [VARIANCE GRANTED TO TEXACO FOR CANOPY & SIGN SETBACKS, ANOTHER GRANTED FOR THE NUMBER OF GROUND SIGNS. STATUS UNKNOWN AS SITE CONDITIONS FROM 1989 MAY NOT BE THE SAME AS THE CURRENT CONDITIONS]
(12) CERTIFICATE OF VARIANCE GRANTED BY THE CITY OF NORWALK ZONING BOARD OF APPEALS DATED MARCH 19, 1997 AND RECORDED IN VOLUME 3327 AT PAGE 3 OF THE NORWALK LAND RECORDS [PARKING VARIANCE, NOTHING TO SHOW, IT SHOULD BE NOTED THAT NO VISIBLE PARKING STRIPING EXISTED AT THE TIME OF SURVEY]
(13) COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, AND AGREEMENTS SET FORTH IN A DEED DATED SEPTEMBER 17, 2007 AND RECORDED IN VOLUME 6654 AT PAGE 246 OF THE NORWALK LAND RECORDS [BLANKET, NOTHING TO SHOW]
(14) ACCESS AGREEMENT GRANTING RIGHT OF ENTRY BETWEEN MOTIVA ENTERPRISES LLC AND ELEK LLC DATED AS OF SEPTEMBER 28, 2007 AND RECORDED IN VOLUME 6654 AT PAGE 251 OF THE NORWALK LAND RECORDS [BLANKET]
(15) EASEMENT IN FAVOR OF THE STATE OF CONNECTICUT DATED MAY 25, 2021 AND RECORDED IN VOLUME 9258 AT PAGE 221 OF THE NORWALK LAND RECORDS, AND SHOWN ON MAP NO. 14185 ON FILE IN THE NORWALK TOWN CLERK'S OFFICE [SHOWN]
(16) NOTES, NOTATIONS, FACTS, CONDITIONS AND SERVICE LINES SHOWN ON MAP NO. 1809 ON FILE IN THE NORWALK TOWN CLERK'S OFFICE [THERE ARE NO SURVEY RELEVANT NOTES TO SHOW, THE SITE CONDITIONS FROM 1940 ARE NO LONGER RELEVANT, THE SERVICE LINES IN THE ROAD ARE NOT SHOWN AS THE CLIENT CONTRACT AGREEMENT ONLY EXTENDS TO THE NEAR CURBLINE]
THIS SURVEY IS ALSO PREPARED WITH REFERENCE TO A COMMITMENT FOR TITLE INSURANCE, FOR LOT 16, ISSUED BY ABSTRACT INCORPORATED AS AGENTS FOR FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. CT-6335854, HAVING A COMMITMENT DATE OF JANUARY 25, 2023, WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B, PART II:
(12) NOTES, NOTATIONS, FACTS AND CONDITIONS SHOWN ON MAP NO. 157 AND 624, BOTH ON FILE IN THE NORWALK TOWN CLERK'S OFFICE [THERE ARE NO SURVEY RELEVANT NOTES TO SHOW]
5. ELEVATIONS ARE BASED UPON NAVD 88 (BENCHMARK: DRILL HOLE N-5 PER MAP REFERENCE NO. 7, ELEV. 40.44)
6. BY GRAPHIC PLOTTING, PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NO. 09001C0332G, EFFECTIVE DATE: 07-08-2013, OBTAINED FROM FEMA NFHL WEB SERVICE ON 09-18-2023.
7. THE LOCATION AND EXTENTS OF UNDERGROUND TANKS AND VAULTS, IF ANY EXIST, HAVE NOT BEEN DETERMINED BY THE SURVEYOR.
8. THERE ARE NO VISIBLE, STRIPED, PARKING SPACES ON EITHER PROPERTY.
9. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 OF THE "STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 23, 2019. THIS SURVEY IS A TOPOGRAPHIC SURVEY AND IT CONFORMS TO A HORIZONTAL ACCURACY OF 1/2" AND A TOPOGRAPHIC ACCURACY OF 1/2".

EAST AVENUE (VARIABLE WIDTH - PUBLIC)



UTILITIES: THE FOLLOWING COMPANIES WERE NOTIFIED BY CONNECTICUT CALL BEFORE YOU DIG SYSTEM (1-800-922-4455) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 20233800694
UTILITY COMPANY PHONE NUMBER AFTER HOURS
CABLEVISION OF CONNECTICUT 800-778-9140 800-778-9140
CITY OF NORWALK - DPW 203-854-3244 203-854-3244
CITY OF NORWALK - FIRST DISTRICT WATER 203-847-7387 203-847-7387
EVERSOURCE GAS 203-206-5702 877-400-6511
FRONTIER COMMUNICATIONS 800-778-9140 800-778-9140
NORWALK THIRD TAXING DISTRICT 800-778-9140 800-778-9140
NOT ALL UTILITY COMPANIES RESPONDED TO THE MARKOUT REQUEST



ALTA/NSPS LAND TITLE SURVEY
BLOCK 3-9, LOTS 14 & 16
214 & 216 EAST AVENUE
CITY OF NORWALK
FAIRFIELD COUNTY
STATE OF CONNECTICUT

GALLAS SURVEYING GROUP
2865 U.S. ROUTE 1
NORTH BRUNSWICK, NJ 08902
TELE: 732-422-6700
FAX: 732-940-6786
www.gallasurvey.com

Table with columns: DATE, SCALE, DRAWN, CHECKED, FIELD DATE, FIELD BOOK, PAGE, R.M.C., FIELD CREW, FILE NO., DRAWING NAME/SHEET NO.

TO: - AMG REAL ESTATE, LLC.
- ABSTRACTS, INCORPORATED.
- FIRST AMERICAN TITLE INSURANCE COMPANY.
THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 8, 9 & 13 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 10-23-2022.

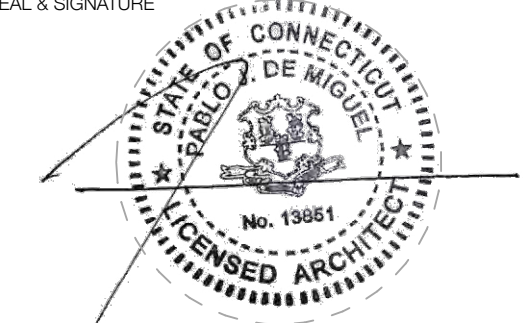
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON NOT VALID UNLESS EMBOSSED WITH RAISED IMPRESSION OR BLUE INK SEAL.
CHARLES J. OSBORNE III
CONNECTICUT PROFESSIONAL LAND SURVEYOR #70076

2	08/21/2025	issued for filing
1	06/30/2025	issued for review

ISSUE	DATE	DESCRIPTION
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SEAL & SIGNATURE

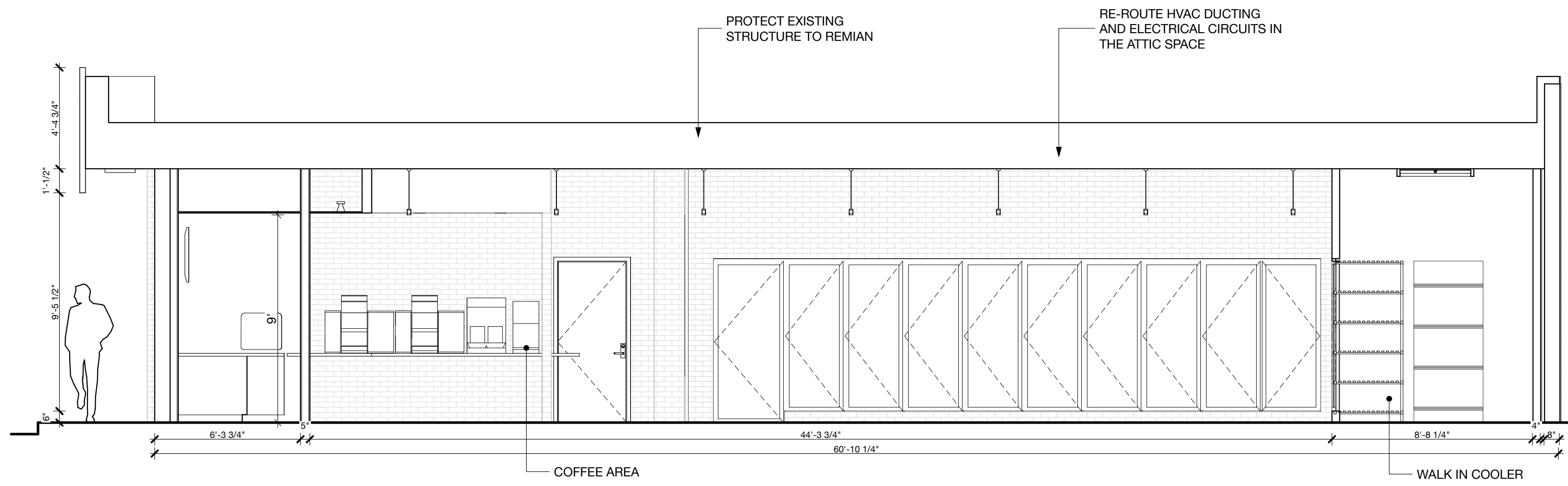


PROJECT:
ATLANTIS FRESH MARKET
 Convenience Store
 216 East Ave
 Norwalk, CT 06855
 MBLU: 3-9-14-0
 DATE: 8/21/25 PROJECT #: 2402

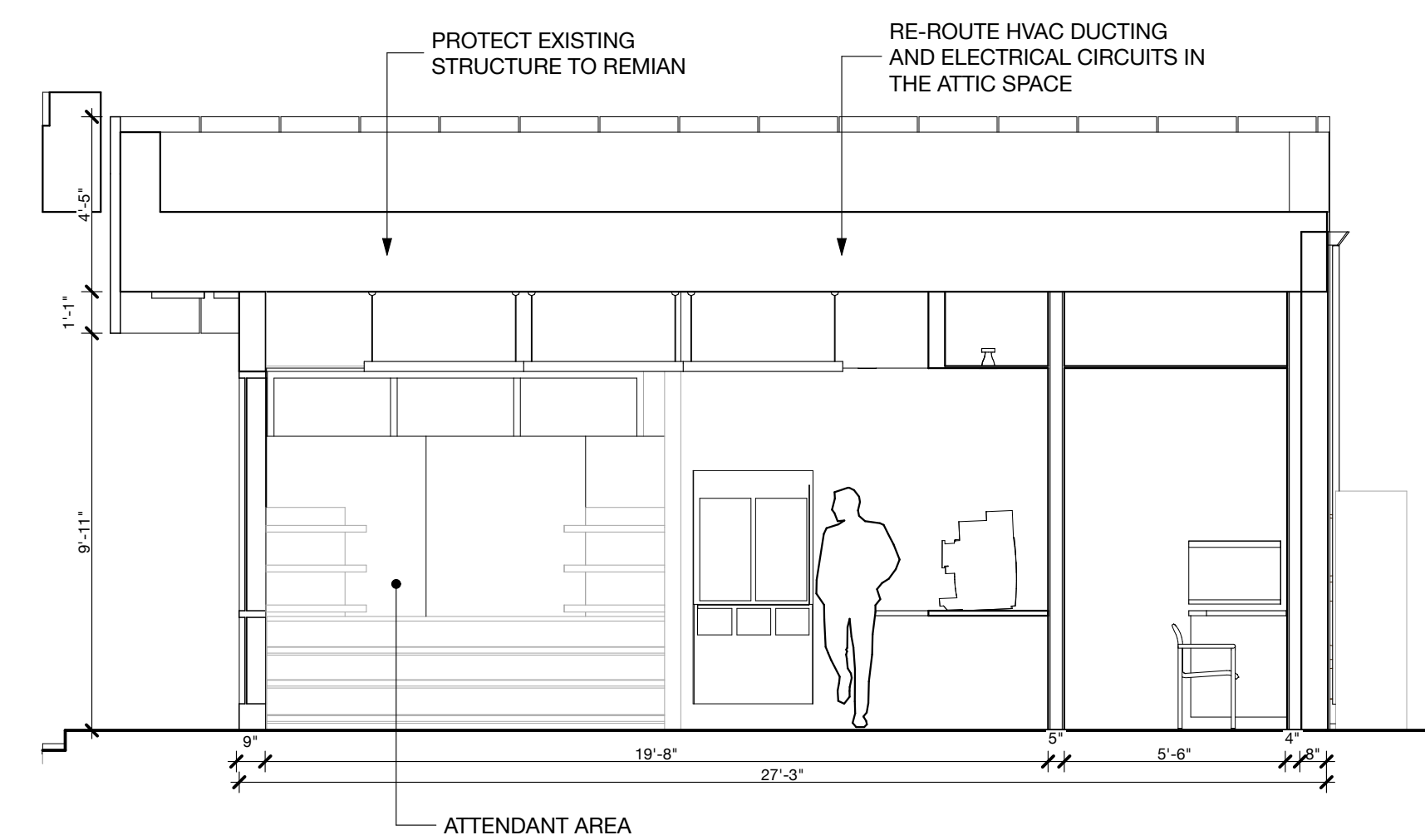
SHEET NAME:
TYP. BUILDING SECTIONS

DRAWING No.:

A.200.00



1 BUILDING SECTION
 SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
 SCALE: 1/4" = 1'-0"

OWNER:

Atlantis Management Group
555 S Columbus Ave #201 Mt. Vernon NY 10550
contact: Danny Porco
T. 347 249-6302 E. Dporco@atlantismgmt.com

MEP ENGINEER:

STRUCTURAL ENGINEER:

CIVIL ENGINEER:

EXPEDITING & CODE CONSULTANT:

CONTRACTOR:

KEY PLAN

SIGNS CALCULATIONS

CD-3 Zone

SIGN A (ON PINS) AREA: **25 S.F.** (Wall sign) < 32 SF
SIGN B (W/ INTERNAL ILLUMINATION) AREA: **35 S.F.** (Band Sign) < 90SF

TOTAL SIGN AREA : 60 SF.

Facade linear Ft = 60' x 1.5 = **90 SF. Max.**

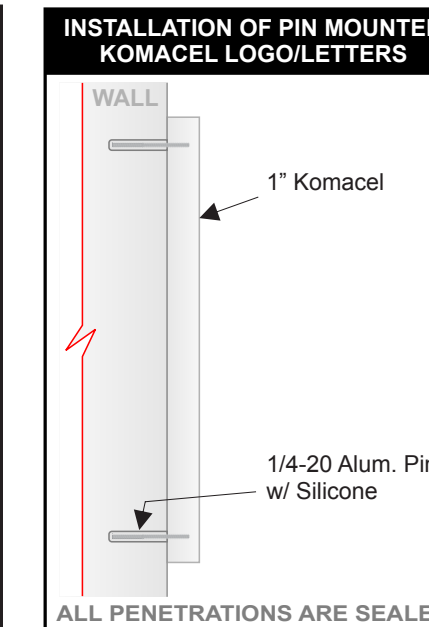
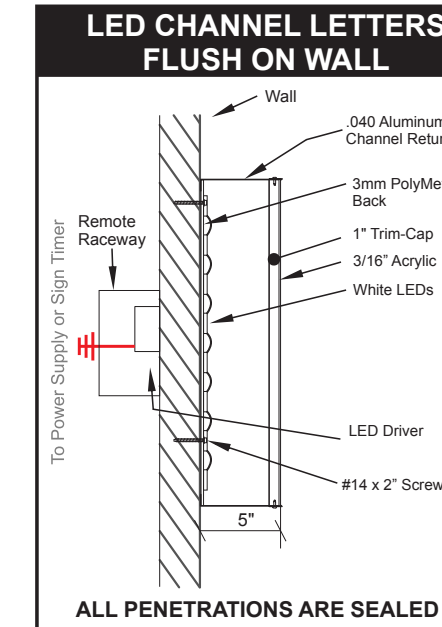
ARTICLE 7 :

Band Sign . 1 x business, 1.5 SF per linear ft of facade / max. 3ft high

Wall Sign . 1 x business , max. 32 sf

FINISH SCHEDULE

ITEM CODE	LOCATION	DESCRIPTION	MANUFACTURER	PRODUCT #/ FINISH
ST-05	FACADE	FIBER CEMENT PANEL - MODERN BRICK	NICHHA	MIDNIGHT
ST-06	PAINTED CMU OR CONCRETE	SIDE OF BUILDING EXTERIOR WALL	BENJAMIN MOORE OR APPROVED EQ.	TO MATCH CONCRETE COLOR
MTL-01	FACADE	ALUMINUM PANEL	ALUCOBOND	CLASSIC CHAMPAGNE METALLIC PVDF-3/GLOSS 30
MTL-03	CANTILEVER CANOPY & SIDE PANELS	ALUMINUM PANEL TRIMS	ALUCOBOND	CONTEMPORARY GRAPHITE MICA PVDF-3/ GLOSS 30
MTL-04	STOREFRONT	ALUMINUM FRAME		BLACK ANODIZED OR PAINTED



SIGN A: NON - ILLUMINATED KOMACEL STAR LOGO

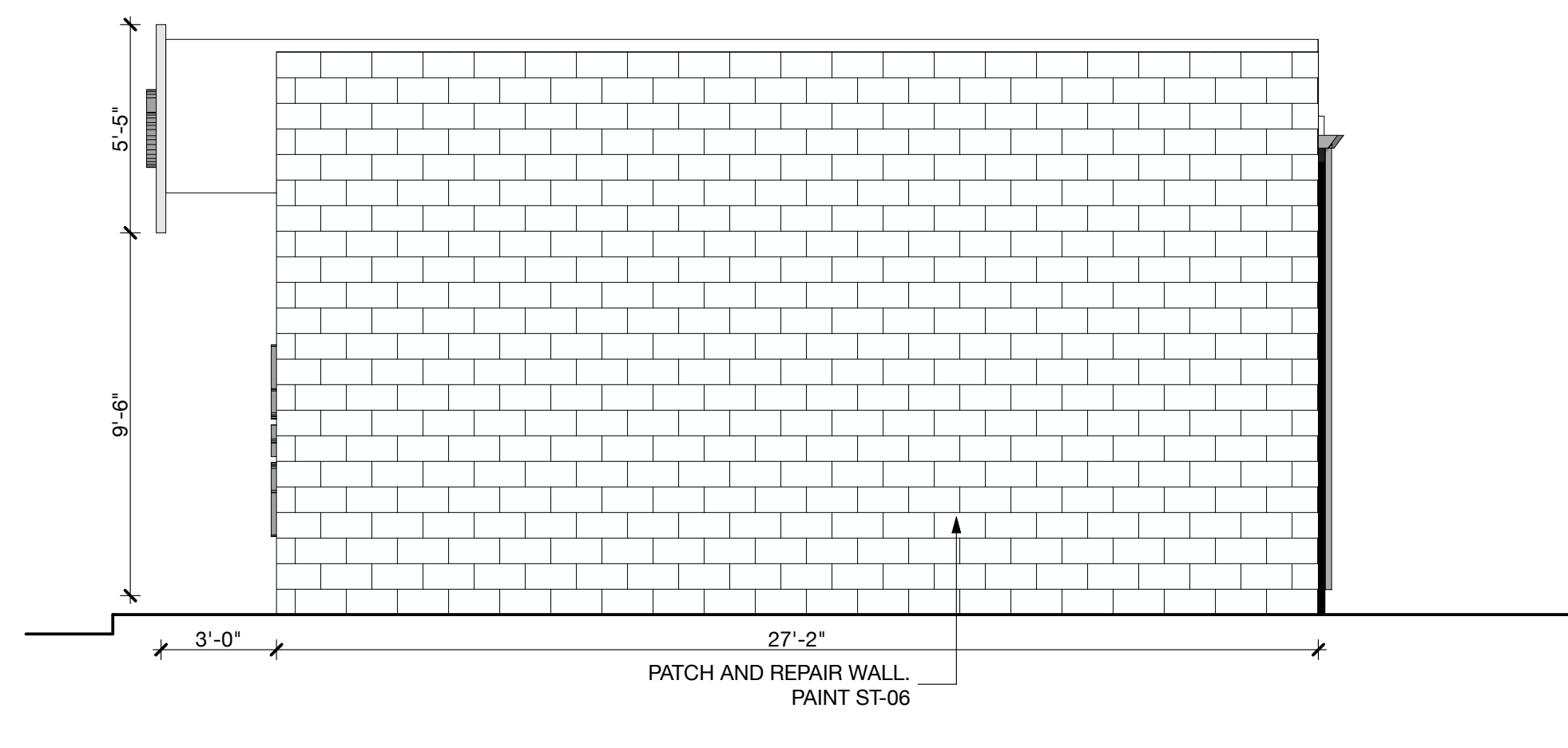
COLORS: ORACAL SILVER FACES - PRIMED AND PAINTED SILVER RETURNS
STAR SIZE : 5' X 5'
ILLUMINATION : NONE.

SIGN A AREA : 25 SQ.FT.

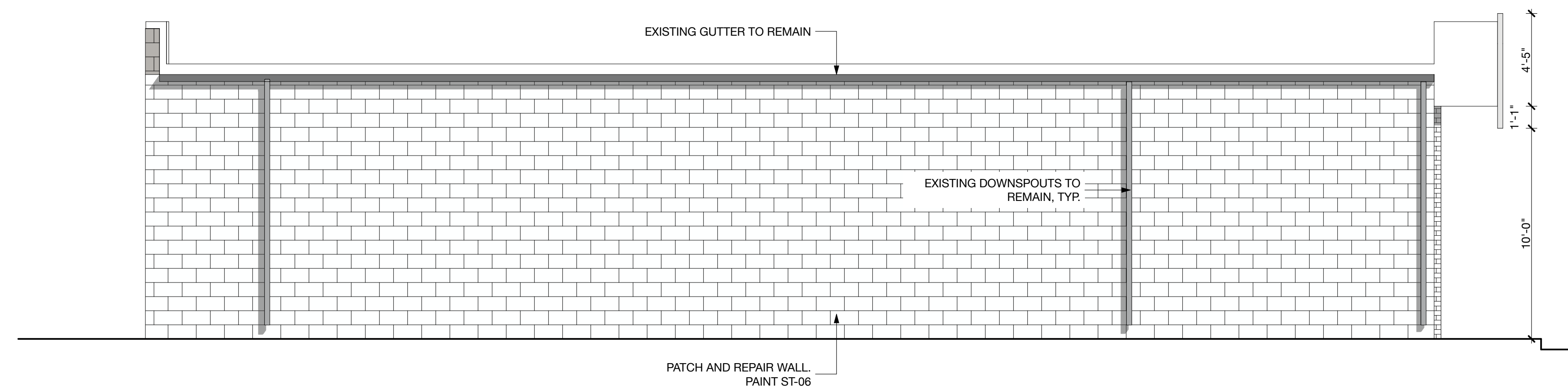
SIGN B: INDIVIDUALLY ILLUMINATED CHANNEL LETTERS

COLORS: LETTER RETURNS 4.5\"/>

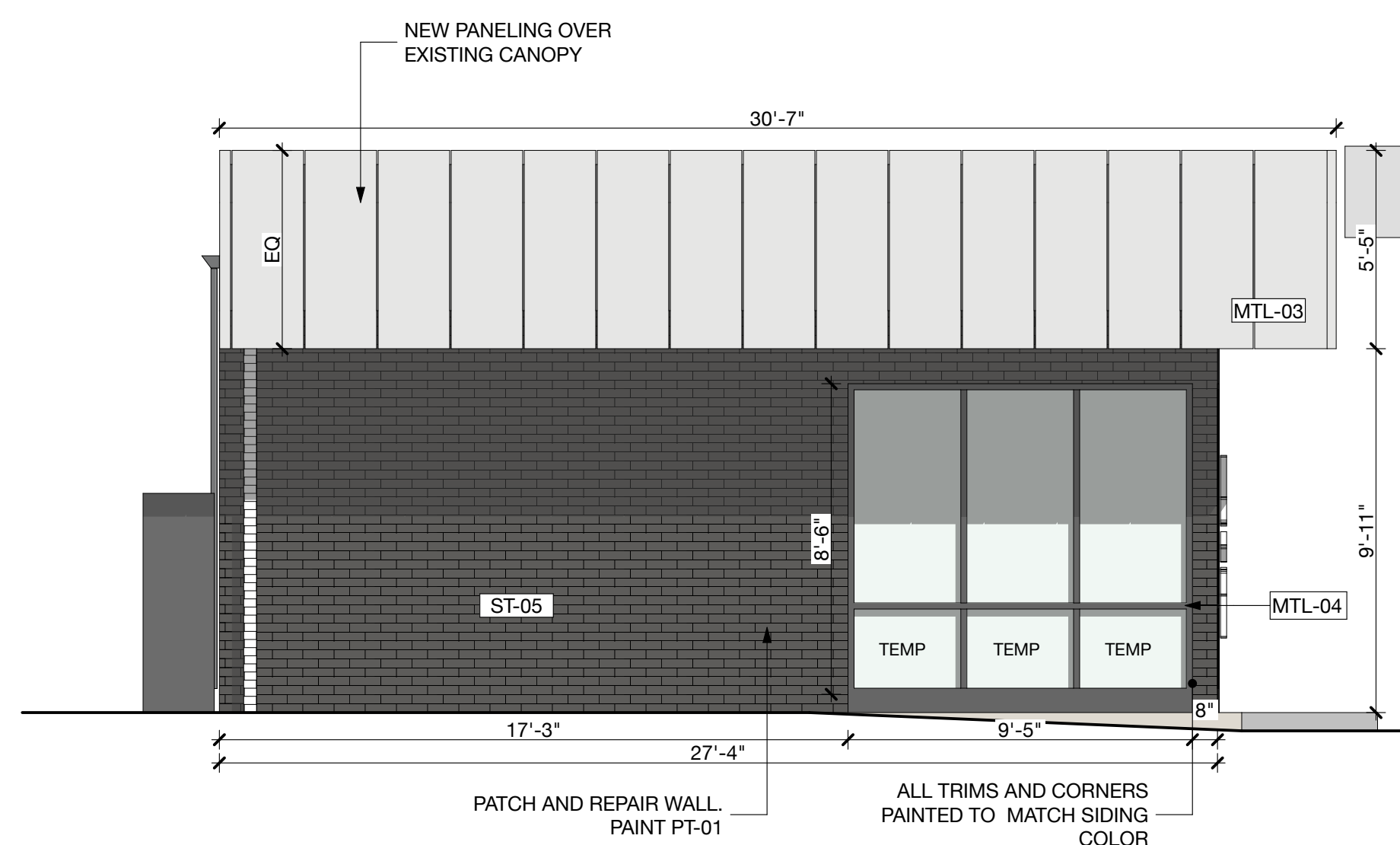
SIGN B AREA : 24.19 SQ.FT.



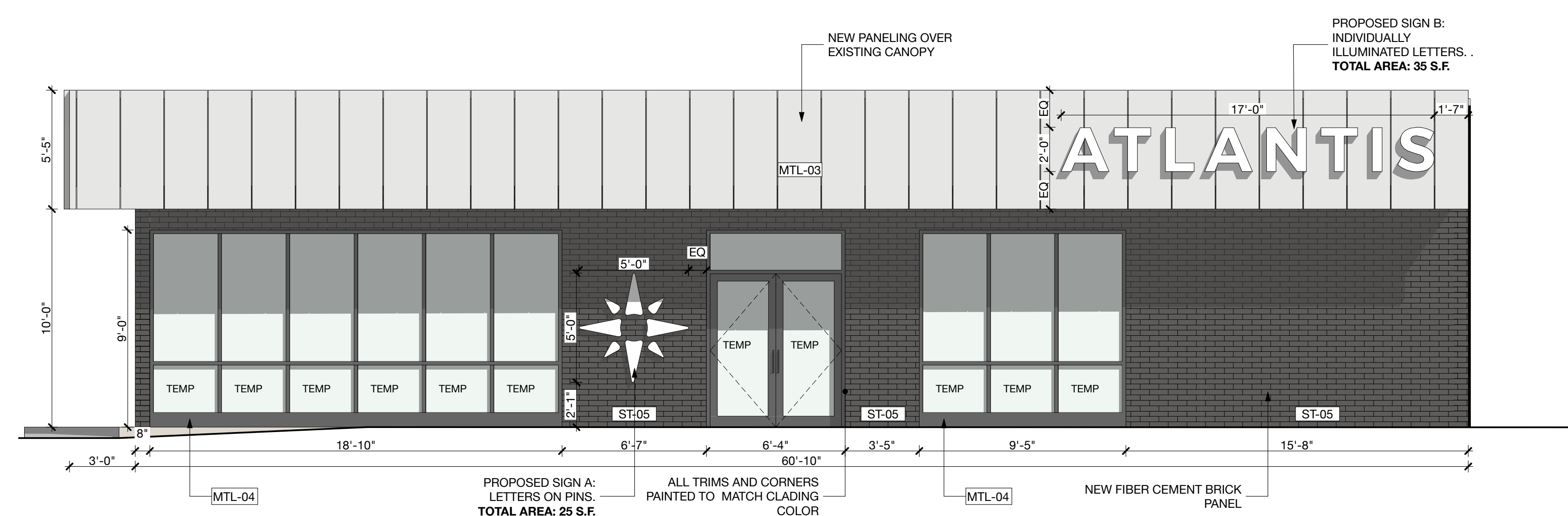
1 SOUTH ELEVATION
SCALE: 1/4\"/>



2 EAST ELEVATION
SCALE: 1/4\"/>



3 NORTH ELEVATION
SCALE: 1/4\"/>



4 WEST ELEVATION
SCALE: 1/4\"/>

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SEAL & SIGNATURE



PROJECT:
ATLANTIS FRESH MARKET
Convenience Store

216 East Ave
Norwalk, CT 06855
MBLU: 3-9-14-0

DATE: 8/21/25 PROJECT #: 2402

SHEET NAME:

PROPOSED BUILDING ELEVATIONS

DRAWING No.:

A.201.00

OWNER:

Atlantis Management Group
555 S Columbus Ave #201 Mt. Vernon NY 10550
contact: Danny Porco
T. 347 249-6302 E. Dporco@atlantismgmt.com

MEP ENGINEER:

STRUCTURAL ENGINEER:

CIVIL ENGINEER:

EXPEDITING & CODE CONSULTANT:

CONTRACTOR:

KEY PLAN

SIGNS CALCULATIONS
CD-3 Zone

SIGN A (ON PINS) AREA: 25 S.F. (Wall sign) < 32 SF
SIGN B (W/ INTERNAL ILLUMINATION) AREA: 35 S.F. (Band Sign) < 90SF

TOTAL SIGN AREA : 60 SF.

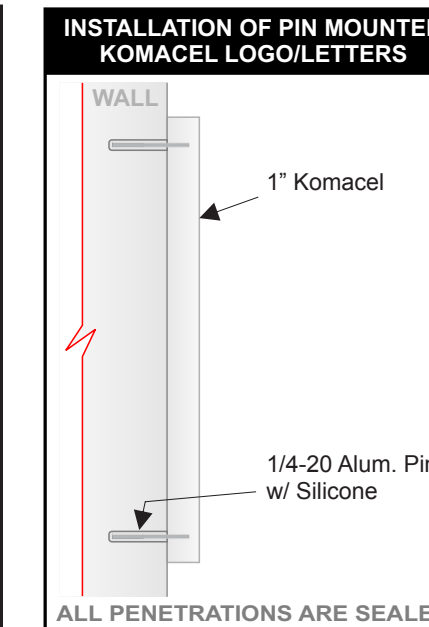
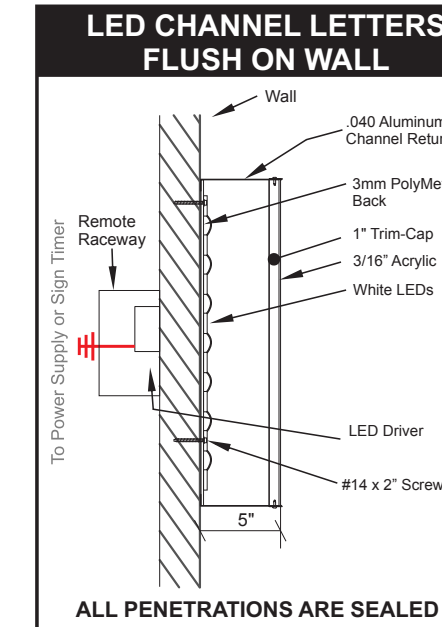
Facade linear Ft = 60' x 1.5 = **90 SF. Max.**

ARTICLE 7 :

Band Sign . 1 x business, 1.5 SF per linear ft of facade / max. 3ft high
Wall Sign . 1 x business , max. 32 sf

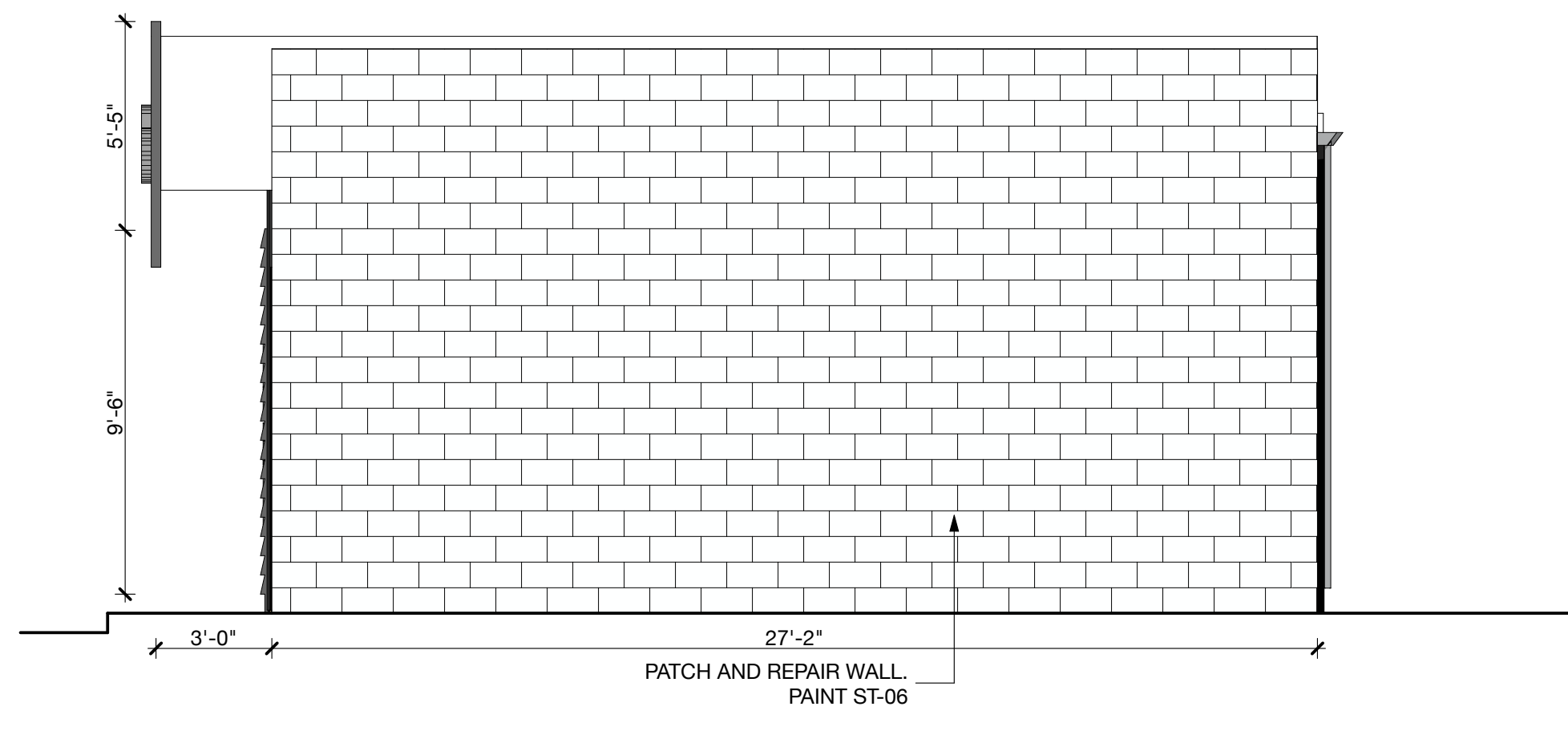
FINISH SCHEDULE

ITEM CODE	LOCATION	DESCRIPTION	MANUFACTURER	PRODUCT #/ FINISH
ST-05	FACADE	FIBER CEMENT PANEL - MODERNBRICK	NICHIHA	MIDNIGHT
ST-06	PAINTED CMU OR CONCRETE	SIDE OF BUILDING EXTERIOR WALL	BENJAMIN MOORE OR APPROVED EQ.	TO MATCH CONCRETE COLOR
MTL-01	FACADE	ALUMINUM PANEL	ALUCOBOND	CLASSIC CHAMPAGNE METALLIC PVDF-3/GLOSS 30
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MTL-04	STOREFRONT	ALUMINUM FRAME		BLACK ANODIZED OR PAINTED

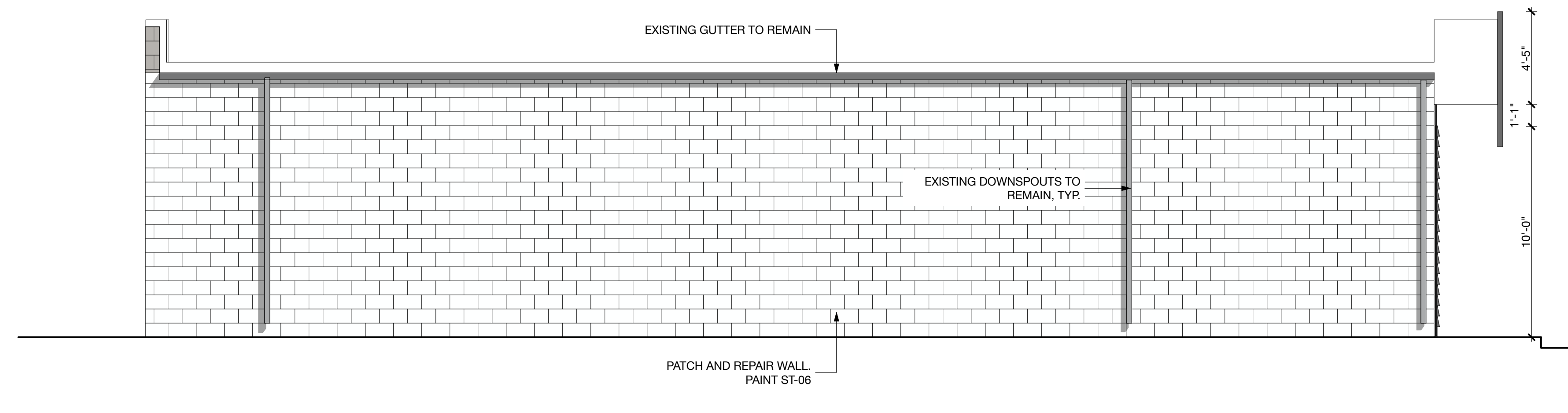


SIGN A: NON - ILLUMINATED KOMACEL STAR LOGO
COLORS: ORACAL SILVER FACES - PRIMED AND PAINTED SILVER RETURNS
STAR SIZE : 5' X 5'
ILLUMINATION : NONE.
SIGN A AREA : 25 SQ.FT.

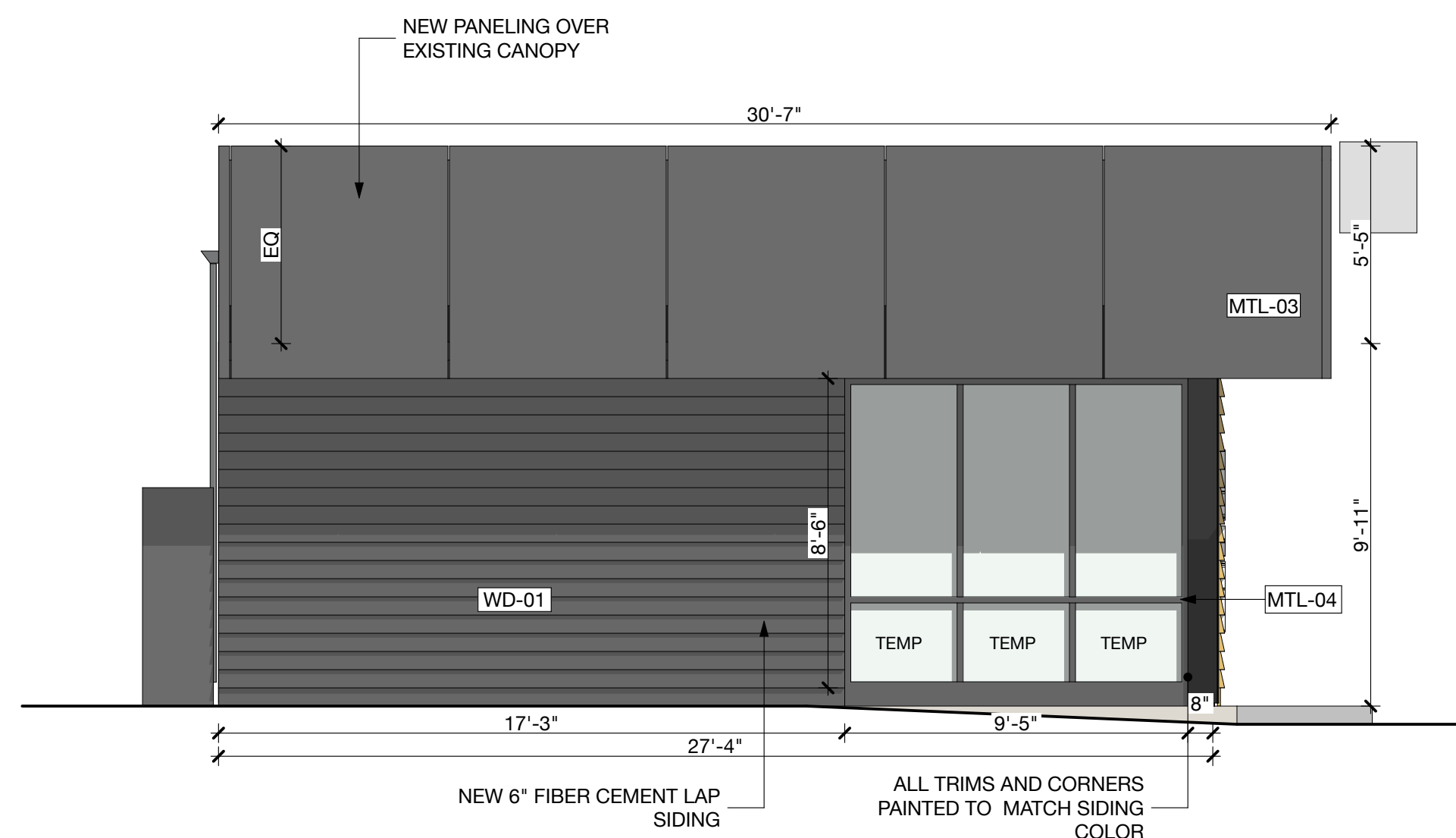
SIGN B: INDIVIDUALLY ILLUMINATED CHANNEL LETTERS
COLORS: LETTER RETURNS 4.5" DEEP BLACK ALUMINUM W/ 1" BLACK TRIM CAP; WHITE ACRYLIC FRONTS; GREEN ACRYLIC FRONT TO MATCH PANTONE 361C.
LETTER SIZES : 'ATLANTIS' 11'-2" W X 13" H X 4.5" D; 'FRESH MARKET' 10'9" W X 6" H X 4.5" D
ILLUMINATION : GE WHITE LEDS W/REMOTE DRIVER . 5.5 TOTAL AMP W/ 100W DRIVERS (2.2 AMP EACH)
SIGN B AREA : 24.19 SQ.FT.



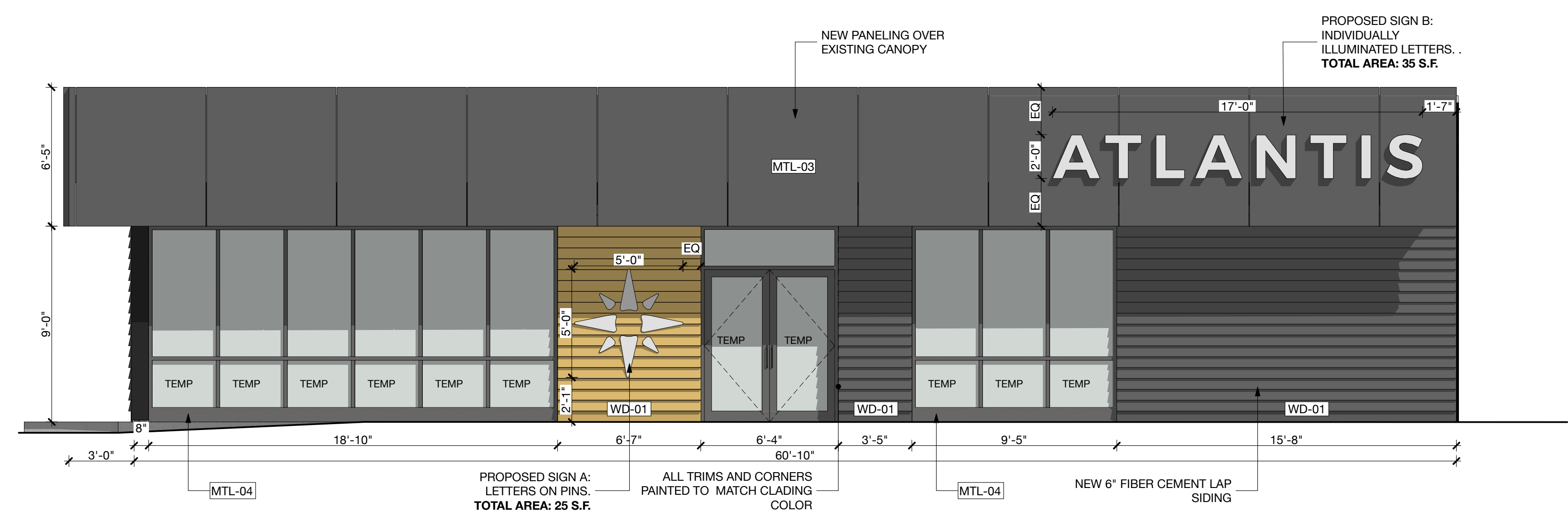
1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
SCALE: 1/4" = 1'-0"



4 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

2	08/21/2025	issued for filing
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ISSUE	DATE	DESCRIPTION
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SEAL & SIGNATURE



PROJECT:
ATLANTIS FRESH MARKET
Convenience Store

216 East Ave
Norwalk, CT 06855
MBLU: 3-9-14-0

DATE: 11/17/25 PROJECT #: 2402

SHEET NAME:

PROPOSED BUILDING ELEVATIONS

DRAWING No.:

A.201.00



162 14th Street
 Brooklyn NY 11215
 T. 646 265 0338 E. hola@pablodemiguel.com
 W. www.pablodemiguel.com

OWNER:
Atlantis Management Group
 555 S Columbus Ave #201 Mt. Vernon NY 10550
 contact: Danny Porco
 T. 347 249-6302 E. Dporco@atlantismgmt.com

MEP ENGINEER:

STRUCTURAL ENGINEER:

CIVIL ENGINEER:

EXPEDITING & CODE CONSULTANT:

CONTRACTOR:

KEY PLAN

ISSUE	DATE	DESCRIPTION
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SEAL & SIGNATURE



PROJECT:
ATLANTIS FRESH MARKET
 Convenience Store

216 East Ave
 Norwalk, CT 06855
 MBLU: 3-9-14-0

DATE: 11/17/25 PROJECT #: 2402

SHEET NAME:

PROPOSED BUILDING VIEWS

DRAWING No.:

A.800.00



125 East Avenue
Norwalk, Connecticut 06851

MEMORANDUM

April 17, 2026

TO: Norwalk Planning & Zoning Commission; Chapin Bryce, Chairman

FROM: Steve Kleppin, Planning & Zoning Director

SUBJECT: #2026-30 SPR – 216 East Avenue – Exterior Modifications

The applicant is proposing modifications to the interior and exterior of the building to accommodate a retail store as part of the service station.

The location is within the East Norwalk Village TOD Zone and therefore, the exterior modifications are subject to design review.

Even though the level of activity does not rise to the requirements of requiring a full Site Plan application, the Commission still must authorize the hiring of a peer review consultant.

END

To: Steve Kleppin, Director
Norwalk Planning and Zoning Department

From: Frank Fish FAICP, Principal
Suzanne Goldberg AICP, Senior Planner
BFJ Planning
Robert Rich, Design Advisor

Subject: Design Review of 216 East Avenue, Norwalk, CT

Date: June 23, 2026

Introduction:

BFJ Planning has been tasked with reviewing an application at 216 East Avenue in Norwalk, CT. The Applicant proposes converting the existing building's repair/service area into a retail area to be operated in conjunction with the existing gasoline service station use. The major proposed design change involves the building's front façade, in which the garage doors of the service station are being replaced with a new façade incorporating windows and signage for a convenience store. The fuel sales and fueling operations are not proposed to change, and no building expansion is proposed.

This project site is located within the East Norwalk Village TOD Zone. BFJ submitted a memorandum to the City on May 7, 2026, describing the application's compliance with the East Norwalk Village TOD Design Guidelines and providing recommendations to enhance the design.

The Applicant provided a revised submission on June 18, 2026, consisting of the following materials:

- Response memorandum.
- Revised plans that include updated renderings and elevations, a revised site plan identifying new proposed fencing, and photos of the existing building and site conditions for the subject site and adjacent properties.
- A lighting plan prepared by Stonefield Engineering & Design.
- Material and lighting cut sheets.

The Applicant has addressed all our comments and questions, and we recommend approval of the application.

The only outstanding item relates to Section 2.3 of the Design Guidelines, "Peer Review Requirements," which states that a Landscape Plan is required. The Applicant has acknowledged this requirement, and we defer to the Department and Commission on whether they will choose to require a separate Landscape Plan illustrating the proposed fencing modifications.



June 18, 2026

VIA EMAIL AND HAND DELIVERY

Norwalk Planning and Zoning Commission
Attn: Steven Kleppin
125 East Avenue
Norwalk, CT 06851

Re: Design Review Application – 216 East Avenue, Norwalk, CT

Dear Steven:

On behalf of AMG Real Estate LLC (the “**Applicant**”), please accept this letter and its enclosures as a formal written response to that certain memorandum from BFJ Planning regarding the Design Review of 216 East Avenue, Norwalk, CT, dated May 7, 2026. We have outlined each of the comments provided by BFJ Planning in its memorandum and our response thereto below:

1. Application Requirements: The Applicant should submit a Landscape and Lighting Plan, color swatches for building materials, such as the metal panels, and photos of the existing building and site conditions for the subject site and adjacent properties.

Applicant Response: The Applicant has submitted the following materials in connection with this response:

- Revised plans that include updated renderings and elevations pursuant to comment 2 and 3 below, a revised site plan, identifying new proposed fencing pursuant to comment 4 below, and photos of the existing building and site conditions for the subject site and adjacent properties.
- A lighting plan prepared by Stonefield Engineering & Design pursuant to comment number 5 below.
- Material and lighting cut sheets.

We note that because no new landscaping is being proposed, we have not provided a separate landscaping plan and respectfully request a waiver of this requirement to the extent such waiver is required.

2. Building and Facade Design:

a. The Applicant should consider aligning the parapet with the canopy over the pumps to create a more cohesive design.

Applicant Response: The Applicant has revised its plans to satisfy this request by aligning the parapet with the canopy over the pumps.

b. The Applicant should indicate if any signage is proposed to be located within the windows.

Applicant Response: The Applicant has added a note to the plans confirming that all storefront windows shall be unobstructed transparent glazing with no curtains, shades, blinds, mirrored or tinted glass, or any signage proposed that could block the view to the interior of the space.

3. **Signage:**

a. We would like clarification on the proposed signage to ensure that it complies with signage standards. Figure 2 shows the existing standing sign and logo signage on the building canopy.

Applicant Response: The Applicant has revised its plans to confirm that the signage on the freestanding sign and gas pump canopy will remain unchanged and no new signage is proposed.

b. We would like clarification on what elements of the signage are proposed to change and/or remain. The rendering should be updated to accurately reflect the proposed signage.

Applicant Response: As noted above, Applicant has revised its plans to confirm that the signage on the freestanding sign and gas pump canopy, including the yellow and red striping around the perimeter of the canopy, will remain unchanged and no new signage is proposed.

4. **Landscaping and Screening:**

a. We recommend adding screening, such as a fence, or landscaping in the area highlighted in red in Figure 4. This area is within view of a public roadway and should be screened to reduce its visibility. Adding screening or landscaping would also provide a buffer from the adjacent property's view of the parking spaces.

Applicant Response: The Applicant has revised its plans to show a new 4-foot-high wood fence in the area highlighted in red in Figure 4 for parking area screening.

b. Figure 5 shows another area recommended for screening or landscaping. There appears to be a gap between the end of the parking spaces and the adjacent property. The Applicant should demarcate the property line and provide a visual buffer between the parking area and the adjacent property.

Applicant Response: The Applicant has revised its plans to show a new 4' high wood fence running along the rear property line. Notably, this will provide a visual buffer between the parking area and the adjacent property, screen existing HVAC equipment, and provide a clear demarcation between the subject property and the adjacent car wash property.

5. Lighting: The Applicant should clarify whether there are changes proposed to the existing lighting integral to the building and site. If changes are proposed, the Applicant should provide a Light Plan and demonstrate compliance with lighting standards, including the requirement that “all lighting shall not cast glare or spill over onto streets, public ways, the sky, or onto adjacent properties” (Section a.2.5(1)(a)).

Applicant Response: As noted above, the Applicant is submitting a lighting plan prepared by Stonefield Engineering & Design to demonstrate compliance with lighting standards. As noted on the lighting plan, the Applicant is not proposing any changes to the existing gas pump canopy lighting or the existing light poles located on the subject property. The only new lighting proposed in connection with this upgrade is building façade lighting. The existing gas pump canopy and proposed new building façade lighting comply with the design guidelines requirement that lighting shall not cast glare or spill over onto streets, public ways, the sky or onto adjacent properties. The existing pole lighting is pre-existing and is not proposed to be modified as part of this application.

Thank you for your time and attention to this matter. Please do not hesitate to reach out if you have any comments or questions.

Very truly yours,

Daniel S. Glissman

Daniel S. Glissman
Direct: 860-278-1900
Email: daniel.glissman@mrglaw.com

EXTERIOR FINISH SCHEDULE

ITEM CODE	LOCATION	DESCRIPTION	MANUFACTURER	PRODUCT #/ FINISH
WD-01	FACADE	FIBER CEMENT LAP SIDING PLANKS 6" HORIZONTAL. SMOOTH FINISH	JAMES HARDY	PAINT GRAPHITE 1603 BENJAMIN MOORE
WD-02	FACADE / TRIMS	FIBER CEMENT PANELS -SMOOTH FINISH	JAMES HARDY	PAINT GRAPHITE 1603 BENJAMIN MOORE
WD-03	FACADE /FEATURE	FIBER CEMENT LAP SIDING PLANKS 6" HORIZONTAL. -CEDARMILL FINISH	JAMES HARDY	PAINT WEATHERED OAK 1050 BENJAMIN MOORE
		ASPHALT ROOFING SHINGLES	CAF ROYAL SOVEREIGN	
MTL-01	STOREFRONT	ALUMINUM FRAME W/ THERMAL BREAK AND LOW-E DOBLE GLASS	TBD	BLACK ANODIZED
MTL-03	CANTILEVER/ CANOPY & SIDE PANELS	ALUMINUM PANEL TRIMS	ALUCOBOND	CONTEMPORARY. GRAPHITE MICA PVDF-3 / GLOSS 30
ST-05	PAINTED CMU	SIDE OF BUILDING PAINTED EXISTING AND NEW CMU EXTERIOR WALL	BENJAMIN MOORE	GRAPHITE 1603

ST-05



ALUCOBOND®

Product Brochure

MTL-03



from domestic & imported materials

Project: 1081 Juniper - Atlanta, GA
ALUCOBOND PLUS: Hazelnut Mica, JLR Champagne Metallic, Graphite Mica, New-Age Dark Bronze Mica
Architect: Brock Hudgins
Fabricator: MillerClapperton

ALUCOBONDUSA.COM / 800.626.3365

Who We Are

The ALUCOBOND® brand has been the pioneer in metal facades with over 50 years of reputable performance in architectural cladding. Sought after for its outstanding product attributes such as flatness, formability, durability, and ease of fabrication, ALUCOBOND products allow architects and fabricators to bring distinctive and exciting visions to life. ALUCOBOND PLUS, with its fire retardant core, has been developed exclusively to allow architects and designers to meet today's fire performance requirements set by the International Building Code (IBC) while using ACM as the material of choice. AXCENT & ALUCOLUX provide opportunities to create innovative designs for metal wall cladding, trim, and many other applications.

Made in our plant in Kentucky, ALUCOBOND is manufactured by 3A Composites USA in a range of sizes and trend-forward colors and finishes, both standard and custom. Our array of options lead to creating inspiring



(left top) Aperture Del Mar, CA © 3A Composites USA
 (left bottom) Black Rock Middle School, PA © 3A Composites USA
 (right) 150 Lawrence, NY © 3A Composites USA



architectural concepts and influential brand assets. Our Brand Identity Program offers dedicated support for stakeholder communications, expertise in color selection, specification support, a trusted fabricator network worldwide, and longevity in product and life cycle.

3A Composites USA is committed to maximizing the life of our products through adherence to ISO standards. In the production of ALUCOBOND PLUS, strenuous efforts have been implemented to reduce energy and water consumption, increase productivity, reduce waste and therefore significantly reducing CO₂ emissions on a continual basis.

[Learn how ALUCOBOND](#) has been *giving shape to great ideas* by leading the world in design innovation, and continually adapting to the needs of the growing architectural community.

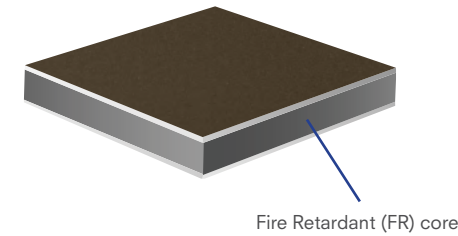
In 2025, ALUCOBOND PLUS successfully met the rigorous conditions of NFPA 285 acceptance with up to 7-inch air cavity as standard with mineral wool as the exterior insulation - the first of it's kind in the ACM industry, and a breakthrough after years of investment and development. Visit our alucobondusa.com for more details.

ALUCOBOND Products



ALUCOBOND® PLUS

ALUCOBOND PLUS 4mm ACM is comprised of two sheets of smooth 0.020" aluminum thermo-bonded to a solid, fire retardant core. Developed exclusively to meet fire performance requirements while providing the benefits & versatility of ACM.



Product Properties

Thickness of aluminum skin	0.020" (nominal)
Product thickness	0.157" (4mm nominal)
Weight	1.56 lb/ft ²
Standard sheet dimension*	62" x 196"
Maximum width	62"
Maximum length	400"

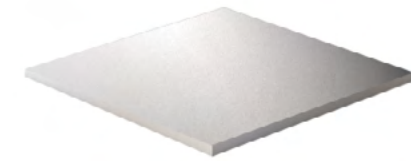
* Exceptions to standard dimensions include mirror, print, and anodized finishes. Refer to product range table on page 7. Sheets may be fabricated to meet custom panel sizes within maximum width and length above.

AXCENT™

AXCENT 0.040" thick flat aluminum sheet is excellent for any building project that requires metal trim details, including but not limited to drip edge and parapet coping for roof systems, sill, head, and jamb for curtain wall and window systems.

ALUCOLUX®

ALUCOLUX 0.063" and 0.080" thick flat aluminum sheets are an excellent option for metal wall panels and cladding installed over solid substrates or hat channels. It is also ideal for metal trim, soffits and columns that require larger spans and demand durability. ALUCOLUX 0.063" and 0.080" materials may be formed utilizing route and return or brake-bend methods for dynamic curves.



Product Properties

	AXCENT™		ALUCOLUX®	
	0.040" (1 mm)	0.063" (1.6 mm)	0.080" (2 mm)	
Standard Width*	48.0"	60.0"	60.0"	
Standard Length*	120.0"	120.0"	120.0"	
Custom Length (minimums apply)	64"- 192"	64"- 192"	64"- 192"	
Weight	0.56 lb/ft ²	0.90 lb/ft ²	1.14 lb/ft ²	

* width tolerance ± 0.00625"; length tolerance ± 0.125"

ALUCOBOND® EasyFix™ System

ALUCOBOND EasyFix is a cost-effective installation method. The simple installation method utilizes an innovative design for attachment of ALUCOBOND PLUS panels. The design provides an aesthetic solution similar to traditional ACM systems.

- ALUCOBOND EasyFix must be used with:
- ALUCOBOND PLUS
 - ALUCOBOND EasyFix: Clips or Rails

Product Properties

System Weight	1.9 lb/ft ²
Max Panel Width Surface*	36"
Maximum sheet width/length	62"/400"
Clip length	3"
Rail length	12'

ALUCOBOND® FaceFastened System

ALUCOBOND FaceFastened is a simple, but high performance architectural cladding system that combines a sleek, modern aesthetic with superior durability and ease of installation.

Component	Material	Color/finish	Width	Length	Weight
ALUCOBOND PLUS Panel	4mm ACM	90 Standard Finishes or Custom	Customized Widths Between 6" - 62"	Customized Lengths Between	1.56 lb/ft ²
ALUCOBOND FaceFastened Joint-Rail	Extruded Aluminum	Black	4.25"	8'	0.502 lbs/ft
ALUCOBOND FaceFastened Rail (Start/End/Mid)	Extruded Aluminum	Black	3.19"	8'	0.409 lbs/ft
ALUCOBOND FaceFastened Attachment Screw	304 Stainless	Color Match to Design	0.472" (head width)	0.825"	1.5 lbs. per 250ct.

Features & Benefits



86 STOCKED ACM COLORS
Complementary flat aluminum sheet colors available.



FLATNESS AND RIGIDITY
Meet design intent without the appearance of oil canning.



LIGHTWEIGHT
Lighter than traditional construction materials, allowing for fast and easy installation.



DURABLE
ALUCOBOND is certified for a service life of 50 years minimum.



FORMABILITY
ALUCOBOND may be cold formed in a pyramid roller or press brake.



EASE OF FABRICATION
Compatible with various fabrication machinery and techniques.



CUSTOM COLOR EXPERTISE
We will match hand samples, Pantone®, RAL, NCS or other paint code reference in desired gloss levels and textures.



PERFORATION CAPABILITIES
Solid, mica and metallic finishes may be perforated in geometric, slotted or customized patterns.



CONTRIBUTES LEED POINTS
ALUCOBOND PLUS, AXCENT, & ALUCOLUX contribute toward LEED credit for recycled content.



ZERO VOC'S EMITTED IN USE
Zero VOC's are emitted from installed ALUCOBOND PLUS, ALUCOLUX, & AXCENT panels. Additionally, panels are coil-coated in a factory that captures & destroys 99% of VOC's.



EPD MEETS ISO STANDARDS
ALUCOBOND has an industry Environmental Product Declaration (EPD) in accordance with International ISO Standards, certifying a service life of 50 years.



RECYCLABLE
All components of ALUCOBOND PLUS, ALUCOLUX, & AXCENT are 100% recyclable materials, meaning the core material and the aluminum skins can be returned to the material cycle.

Colors & Finishes

ALUCOBOND®
GIVING SHAPE TO GREAT IDEAS

ALUCOBOND is stocked in 86 trend-forward colors & finishes, availability varies by product type. **Scan or click the QR code to explore the colors in each Collection.**

The Classic Collection



Color plays an integral role in the architectural environment; the timeless palette in our Classic Collection reflects your passion for what's possible. From classic neutrals to biophilic hues, this line offers a wide range of options to help you *give shape to great ideas*.

The Natural Collection



Biophilic design conceptualizes space in a way that acknowledges the human need to connect with nature. The finishes in the Natural Collection amplify the organic beauty and character of different elements & materials found in the world around us.

The Spectra Collection



To add a dynamic element of fascination and movement to any architectural facade, these transitional finishes celebrate the natural color shifts that occur in the world around us – from raw natural elements to the glowing luster and sheen found in modern alloys and luxury finishes.

The Anodized Collection



In addition to the strength and high-quality appearance that come standard with our collections, this line uses the anodizing process to enhance the intrinsic clarity and beauty of aluminum while creating a harder, smoother, more durable surface.



Brookhaven City Hall, GA ©3A Composites USA (bottom right)
Disneyland Hotel, CA ©3A Composites USA (top right)
Hoboken Point, NJ ©3A Composites USA (left)

Standard Product Range

ALUCOBOND PLUS					
Thickness	4 mm (0.157")				
Width	40"	49.2"	50"	60"	62"
Length	196"	146"	196"	198"	196"
Solids	○		○		●
Micas / Metallics	○		○		●
Color-Changing	○		○		●
Textured	○		○		●
Reflect Mirror		●			
Anodized				●	
Brushed			○		●
Prints			●		

● Stocked ○ On Request

	AXCENT	ALUCOLUX	
Thickness	0.040" (1 mm)	0.063" (1.6 mm)	0.080" (2 mm)
Sheet Size	48" x 120"	60" x 120"	60" x 120"
Solids	●	●	●
Micas / Metallics	●	●	●
Color-Changing	●	●	●
Textured	NA	NA	NA
Reflect Mirror	NA	NA	NA
Anodized	NA	NA	NA
Brushed	NA	NA	NA
Prints	NA	NA	NA

● Stock or Made to Order (MTO)

Please reference the ALUCOBOND Color Library to learn more about Stock and MTO availability.

Paint Finishes

ALUCOBOND finishes are coated in accordance with AAMA standards which represent the highest performance standards for exterior finishes in the industry. All finishes are backed with a best-in-class warranty covering full replacement or repair costs. All finishes meet AAMA 2605 Standards except SMP which meets AAMA 2604 Standards.

PVDF (Polyvinylidene Fluoride) finishes can be produced in either a 2-coat (primer + color coat) or 3-coat (primer + color coat + top coat). Known for its durability and strong performance characteristics PVDF is used to develop a high-quality solid, mica or metallic finish.

PVDF/FEVE finish consists of 2 coats of PVDF & a clear coat of FEVE. On our Spectra finishes, the FEVE coat provides a higher gloss level & depending on the viewing angle, different wave-lengths of light are reflected, resulting in an ever-changing color gradient with iridescent highlights.

SMP (Silicone Modified Polyester) Paint systems are a blend of polyester & silicon intermediates. SMP coatings deliver an excellent balance of exterior gloss, and color retention with resistance to stains, chalking, ultraviolet radiation, weather and humidity.

FEVE (Fluoropolymer Based) A transparent top coat is applied to the coil, protecting the surface from the elements & preserves the aesthetic of the bare finish. Various tints can be applied to broaden the color palette & add to the aesthetics of a project.

SDP (Siliconeized Durable Polyester) A 2-coat (primer + color coat) or 3-coat (primer + color coat + top coat) highly durable architectural coating offered in a wide range of colors, gloss levels, **metallic and mica finishes**. A high-tech polymer based coating offering excellent color and gloss weatherability.

For warranty information please [contact](#) your local ALUCOBOND Sales Manager.



ALUCOBOND®
GIVING SHAPE TO GREAT IDEAS

Mt. SAC Campus Store © 3A Composites USA

Applications

Exterior Wall Cladding | Materials: 4mm, 0.063", 0.080"

- ALUCOBOND's flatness, rigidity, lightweight and formability support a plethora of design intents
- Our versatility of stocking colors & finishes gives designers the freedom to mix finishes without sacrificing budget
- ALUCOBOND can withstand weather conditions while maintaining its aesthetic long-term

Arizona State University (ASU), AZ (below) © 3A Composites USA



Soffit & Canopy | Materials: 0.040", 0.063", 0.080"

- The flatness, lightweight and rigidity of ALUCOBOND PLUS panels make it a great option for soffit and canopy applications
- AXCENT can be roll formed or pressed to add strength and create interlocking joints
- ALUCOBOND PLUS, ALUCOLUX, & AXCENT can also be easily ventilated to increase airflow, easily cut for lighting or signage elements, and can be curved along rounded faces
- AXCENT is available in a wide range of colors complementary to PLUS



Arizona State University, AZ © 3A Composites USA

Quick Glance
Application headings identify appropriate material selections.

4mm - ALUCOBOND PLUS
0.040" - AXCENT
0.063" & 0.080" - ALUCOLUX



National Center for Civil and Human Rights (right) © 3A Composites USA

Ceilings | Materials: 0.063", 0.080"

- Class A Fire Rating makes ALUCOBOND PLUS appropriate for interior and exterior uses
- Custom designs can allow for back panel illumination and creative ceiling concepts
- Color-shifting finishes from the Spectra Collection are popular for dynamic ceiling applications



Ysleta Del Sur Pueblo Health & Human Services © 3A Composites USA



2413 3rd Ave © 3A Composites USA

Interiors | Materials: 4mm, 0.040", 0.063", 0.080"

- Seamless transition from exterior facade to interior design
- Dynamic color palette of 89 stock colors & finishes
- Ability to create unique customizable shapes
- Biophilic hues effortlessly complement surroundings
- Large flat panels inspire clean design
- Custom color capabilities
- Create striking modern designs
- May be used for wall cladding, feature wall, beam wrap, baffles, stairway, architectural ceiling, column cover, entry way, mechanical covering, and more



CSU SPUR Hydro, CO © 3A Composites USA

ALUCOBOND® EasyFix System for Exteriors & Interiors | Materials: 4mm

- Cost-effective installation method for every wall type.
- Utilizing an innovative design for the attachment of ALUCOBOND PLUS panels, ALUCOBOND EasyFix offers simplicity and efficiency in meeting tight construction schedules
- Trend-forward color options along with customizable panel layouts, reveal options, and widths allow for freedom in design
- The design provides an aesthetic solution similar to traditional ACM systems, combining 2 types of folds
- ALUCOBOND EasyFix is quickly fabricated off-site by a trained and Licensed Fabricator.
- Ships flat to the job site for easy handling. Installation is made simple with a variety of fastening options.



Wendy's, Bahamas © 3A Composites USA

ALUCOBOND®
GIVING SHAPE TO GREAT IDEAS

Curtainwall and Sun Shades | Materials: ACM, 4mm, 0.063", 0.080"

With a Class A Fire Rating, ALUCOBOND PLUS fire-retardant (FR) ACM panels are ideal for curtainwall applications and offer a variety of benefits:

- Panels are available with one side or both sides finished
- Fins can be custom designed to complement the exterior cladding and reduce solar gain
- Provides continual color flow from curtainwall to vertical ALUCOBOND panels
- Replaces glass to enhance the design aesthetic and reduce project costs
- Used in curtainwall systems that utilize structural silicone, structural tapes or pressure plate
- May be used in spandrel applications to create a unique facade

Applications

Quick Glance
 Application headings identify appropriate material selections.
 4mm - ALUCOBOND PLUS
 0.040" - AXCENT
 0.063" & 0.080" - ALUCOLUX

Flashing / Parapet Cap

Materials: 0.040", 0.063", 0.080"

- ALUCOLUX & AXCENT are easily formed in a variety of machines to create the perfect cap
- ALUCOLUX & AXCENT are available in a wide range of colors complementary to ALUCOBOND PLUS

Genesis of Clear Lake © 3A Composites USA



Perforation

Materials: 4mm, 0.040", 0.063", 0.080"

- ALUCOBOND PLUS can be used to transform the exterior facade with perforated designs allowing for more light and creative intent
- Custom perforation designs enables new aesthetic possibilities
- Both faces of the panel can be finished with long lasting exterior coatings

Mears Middle School, Anchorage, AK (right)
 ©3A Composites USA



Testing & Certifications

ALUCOBOND® PLUS

WALL ASSEMBLY FIRE TESTING

- CAN / ULC S134*
- NFPA 285*

TENMAT FF102/50 RAINSCREEN FIREBLOCKING

3A Composites USA, manufacturer of ALUCOBOND®, has achieved significant breakthrough in collaboration with Tenmat USA Fire Protection Solutions. ALUCOBOND® PLUS, when used in rainscreen applications with TENMAT FF102/50 Rainscreen Fireblock, has successfully passed rigorous NFPA 285 testing.

*Results are based upon tests made with ALUCOBOND PLUS panels in specific wall assemblies. For more information about assemblies that have been tested, please contact technical support: Ryan.VanDyne@3acomposites.com

N. AMERICAN BUILDING CODE ACCEPTANCE

- IBC
- National Building Code of Canada
- State of Florida
- City of Los Angeles, California

SUSTAINABILITY DESIGN

- LEED 3
- LEED v4.0 and 4.1
 - LCA Industry Standard
 - EPD Industry Standard

ACCEPTED EVALUATION REPORTS

- ICC-ES: 1185*
 - ASTM D1781
 - ASTM E84, Class A
 - ASTM E331
- Florida Product Approval: FL29842
- Underwriters Laboratory: 19980

*The ASTM standards listed below ICC-ES are examples of applicable tests and do not represent a complete list of standards.

Attachment Systems

ALUCOBOND EasyFix

ALUCOBOND EasyFix is an innovative, cost-effective installation method for installing ALUCOBOND PLUS 4mm ACM on multi-story construction. ALUCOBOND EasyFix offers simplicity and efficiency in meeting tight construction schedules. Trend-forward color options along with customizable panel layouts, widths and lengths allow for freedom in design.

ALUCOBOND FaceFastened

The ALUCOBOND FaceFastened system eliminates the need for routing panels, and can provide a clean aesthetic when using fasteners that are painted to match ALUCOBOND panels.

Edge Capture

Edge Capture systems allow for the least amount of preparation of the ALUCOBOND panels, and can be a great option for feature walls or decoration.

Dry Reveal

- This system integrates a 4-sided attachment method with a reveal-joint spline to create a panel to panel connection with no exposed sealants & no exposed fasteners
- Pressure Equalized rainscreen tested to AAMA 508 standards or Drained and Back Ventilated rainscreen tested to AAMA 509 standards

Wet Seal

- This system integrates a 4-sided attachment method with continuous foam backer rod and silicone sealed joints to create a panel to panel connection with no exposed fasteners
- Tested to AAMA 501 standards



Deer Valley Residence, UT ©3A Composites USA

Column Covers | Materials: 4mm, 0.063", 0.080"

- ALUCOBOND PLUS and ALUCOLUX can be easily formed via route and return, rolling, and brake-bends, making for an ideal column cover
- Tight radii can be achieved and weather tightness can be maintained with sealed joints

SHI International Garza Office Building, courtesy of White Construction Company (left)
 Hoboken Point, NJ. ©3A Composites USA (right)



3A Composites USA's integrated management system provides us with an important framework for implementing sustainability initiatives in our business operations. The main constituents of our integrated management system are the areas of safety, health, environment, energy and quality.

“Significant efforts to reduce energy and water consumption, increase productivity, cut down waste and therefore significantly reduce CO₂ emissions are made on a continuous basis.”

Energy Reduction

Efficient handling of energy sources can have a major impact on reducing CO₂, a key consideration at 3A Composites USA. This is why we have set up an energy management system in accordance with ISO 14001, with the goal of improving efficiency and reducing waste.

Life Cycle

The high durability of ALUCOBOND has proven to last the test of time. With a proven life expectancy of 50 years and more, the high waste associated with replacement of materials is reduced when you choose ALUCOBOND. A wide range of aesthetics and code approved applications enable architects the freedom to explore new and innovative designs while meeting the standards of sustainable planning.

Recycling

ALUCOBOND can be homogeneously dismantled and returned to the reusable material cycle. All components of ALUCOBOND PLUS, ALUCOLUX, and AXCENT are 100 % recyclable, i.e. the core materials and aluminum skins can be returned to the material cycle and used to produce new material. The high material value of aluminum provides a key recycling driver for the economy from a wide range of consumer sources. Aluminum is recyclable to an unlimited extent without losing its characteristics.

VOC and SVOC Emissions

ALUCOBOND PLUS, ALUCOLUX, and AXCENT panels are coil-coated in a factory that captures and destroys volatile organic compounds (VOC's). This process is accomplished using a regenerative thermal oxidizer in our facility's paint line. By removing VOC's in the factory, there is no need for field coating and accompanying VOC's.

LEED Certification

Since LEED's introduction in 1998 it has become the most recognizable green building program in the world. LEED focuses on constructing buildings that have minimal impact on the environment during construction, occupation and reclamation, and recognizes that utilizing recycled materials is an important part of minimizing environmental impact.

Third party product certifications for environmental and health declarations in addition to the recycled content of ALUCOBOND PLUS contributes towards a project's LEED points and accreditation.



Contact

800.626.3365
info.usa@3acomposites.com
www.alucobondusa.com

3A Composites USA Headquarters
721 Jetton Street, Suite 325
Davidson, NC 28036

3A Composites USA Manufacturing Facility
208 West 5th Street Benton, KY 42025



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UCSD Theater © 3A Composites USA

ALUCOBONDUSA.COM / 800.626.3635

ALUCOBOND®

GIVING SHAPE TO GREAT IDEAS

THE
**Color
Library**



Who We Are

The ALUCOBOND® brand has been the pioneer in metal facades with over 50 years of reputable performance in architectural cladding. Sought after for its outstanding product attributes such as flatness, formability, durability, and ease of fabrication, ALUCOBOND products allow architects and fabricators to bring distinctive and exciting visions to life. Made in the USA, ALUCOBOND is manufactured by 3A Composites USA. Our trend-forward palette represents an ongoing development of colors and finishes curated to foster creativity and ingenuity. See how ALUCOBOND has been *giving shape to great ideas* by leading the world in design innovation, and continually adapting to the needs of the growing architectural community.

Colors & Finishes

The Classic Collection

Color plays an integral role in the architectural environment; the timeless palette in our Classic Collection reflects your passion for what's possible. From classic neutrals to vibrant hues, this line offers a wide range of options to help you give shape to great ideas.

The Spectra Collection

To add a dynamic element of fascination and movement to any architectural facade, these transitional finishes celebrate the natural color shifts that occur in the world around us – from raw natural elements to the glowing luster and sheen found in modern alloys and luxury finishes.

The Anodized Collection

In addition to the strength and high-quality appearance that comes standard with our collections, this line uses the anodizing process to enhance the intrinsic clarity and beauty of aluminum while creating a harder, smoother, more durable surface.

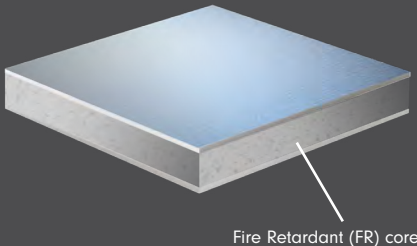
The Natural Collection

Biophilic design conceptualizes spaces in a way that acknowledges the human need to connect with nature. The finishes in the Natural Collection amplify the organic beauty and character of different elements & materials found in the world around us through three distinct series: the **Matte Series**, the **Element Series**, and the **Woodgrain Series**.

Products

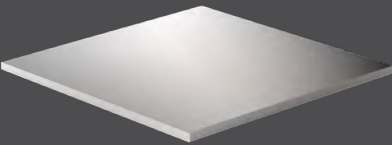
ALUCOBOND® PLUS

4mm aluminum composite material (ACM) comprised of two sheets of smooth .020" aluminum thermobonded to a solid, fire retardant core. Developed exclusively to meet fire performance requirements while providing the benefits & versatility of ACM.



AXCENT™

AXCENT is a flat aluminum sheet available in .040". AXCENT sheets offer the perfect complement to ALUCOBOND PLUS for parapet caps, canopies, soffits, and metal trim.


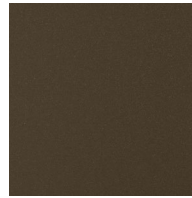



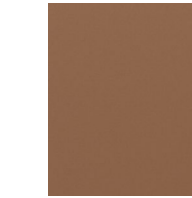
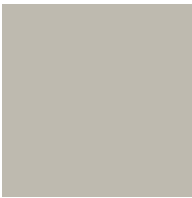

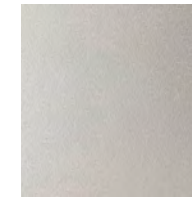
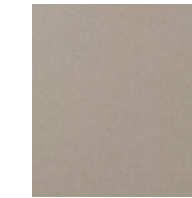

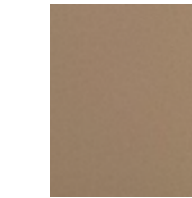
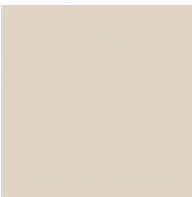
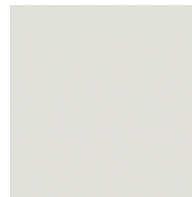
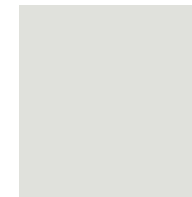
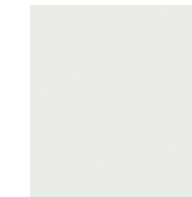
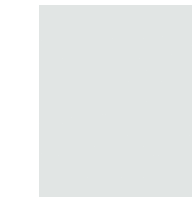
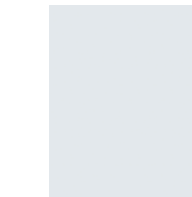
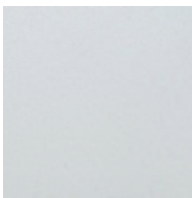

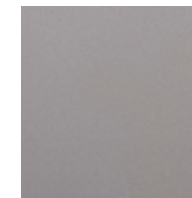
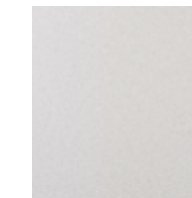

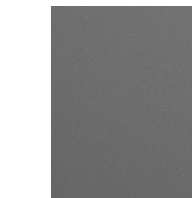
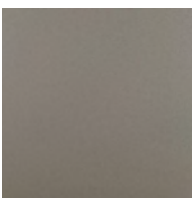
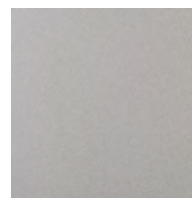
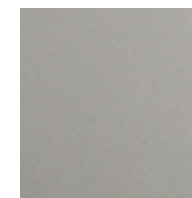
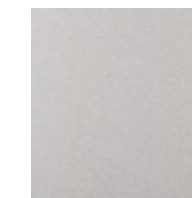
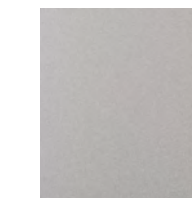
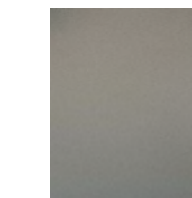
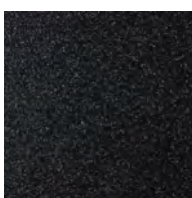
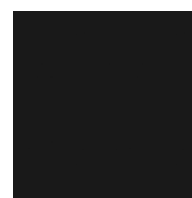


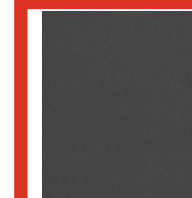






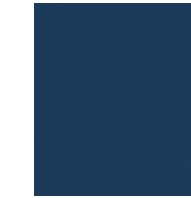
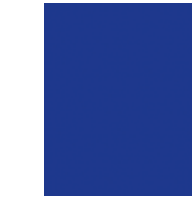

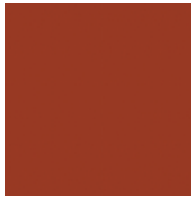


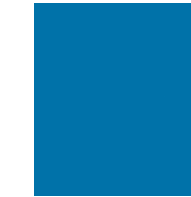


ALUCOLUX®

ALUCOLUX .063" and .080" thick flat aluminum sheets are an excellent noncombustible option for metal wall panels and cladding installed over solid substrates or hat channels. It is also ideal for metal trim, soffits and columns that require larger spans and demand durability.



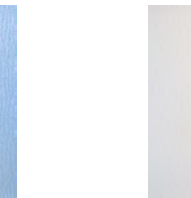
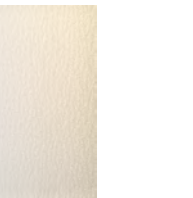
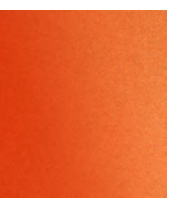
All finishes are available in 4mm ALUCOBOND PLUS Aluminum Composite Material
 Refer to finish for AXCENT .040" and ALUCOLUX .063"/.080" availability: S - Standard, NS - Non-Standard, NA - Not Available

The Classic Collection






 Statuary Bronze S .040"; NS .063"/.080"	 New-Age Dark Bronze Mica S .040"/.063"/.080"	 JLR Gray Metallic S .040"/.063"/.080"	 Driftwood Mica S .040"; NS .063"/.080"	 Atacama Bronze Metallic S .040"; NS .063"/.080"	 Hazelnut Mica S .040"; NS .063"/.080"
 Beige S .040"; NS .063"/.080"	 Castle Gray S .040"; NS .063"/.080"	 JLR Champagne Metallic S .040"/.063"/.080"	 Anodic Satin Mica S .040"; NS .063"/.080"	 Epernay Champagne Metallic S .040"; NS .063"/.080"	 Harvest Gold Mica S .040"; NS .063"/.080"
 Oyster S .040"; NS .063"/.080"	 Alabaster S .040"; NS .063"/.080"	 Bone White S .040"/.063"/.080"	 Pure White (RVW) S .040"; NS .063"/.080"	 HWH Bio White S .040"; NS .063"/.080"	 Magnolia S .040"; NS .063"/.080"
 Market Pearl White Mica NS .040"/.063"/.080"	 Cadet Gray S .040"; NS .063"/.080"	 Platinum Mica S .040"; NS .063"/.080"	 Silver Metallic S .040"; NS .063"/.080"	 Beachstone Gray Metallic S .040"; NS .063"/.080"	 Steel City Silver Mica S .040"; NS .063"/.080"
 West Pewter Mica II S .040"/.063"/.080"	 Champagne Metallic S .040"; NS .063"/.080"	 Anodic Clear Mica S .040"/.063"/.080"	 Brilliant Silver Metallic S .040"; NS .063"/.080"	 Sunrise Silver Metallic II S .040"; NS .063"/.080"	 MZG Gray Mica II S .040"; NS .063"/.080"
 Black Metallic S .040"; NS .063"/.080"	 Tri-Corn Black NS .040"/.063"/.080"	 TBL Black NA .040"/.063"/.080"	 Focus Black II S .040"/.063"/.080"	 Graphite Mica S .040"; NS .063"/.080"	 Dusty Charcoal II S .040"/.063"/.080"

 Nissan Gray NS .040"/.063"/.080"	 Greyhound S .040"; NS .063"/.080"	 Anthracite Silver Metallic S .040"; NS .063"/.080"	 Spire Blue II NS .040"/.063"/.080"	 Azure Blue S .040"; NS .063"/.080"	 Ultramarine Blue S .040"; NS .063"/.080"
 Russet Mica S .040"; NS .063"/.080"	 Red Fire S .040"; NS .063"/.080"	 Patriot Red S .040"; NS .063"/.080"	 Carb Red NS .040"/.063"/.080"	 Bowie Blue II NS .040"/.063"/.080"	 Image Blue NS .040"/.063"/.080"
 Tuscan Sun NS .040"/.063"/.080"	 Botanical NS .040"/.063"/.080"				

The Spectra Collection

 Ocean NS .040"/.063"/.080"	 Galaxy Blue NS .040"/.063"/.080"	 White Gold NS .040"/.063"/.080"	 Cupral NS .040"/.063"/.080"	 Sakura NS .040"/.063"/.080"
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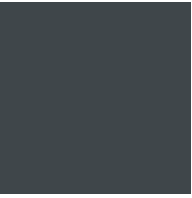

The Anodized Collection*

 Clear Anodized NA .040"/.063"/.080"	 Light Bronze Anodized NA .040"/.063"/.080"	 Medium Bronze Anodized NA .040"/.063"/.080"	 Dark Bronze Anodized NA .040"/.063"/.080"	 Black Anodized NA .040"/.063"/.080"
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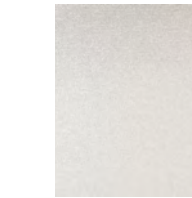
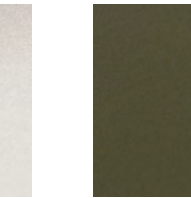

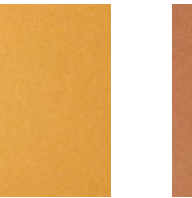
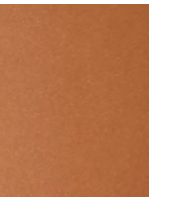

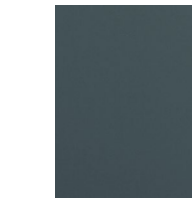

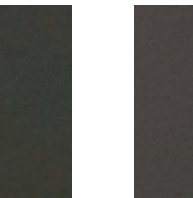
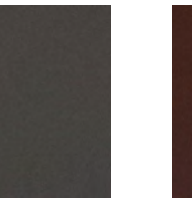
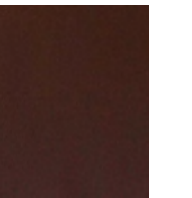
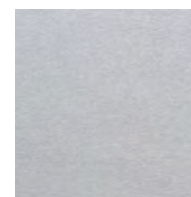


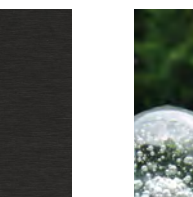
*Natural variations in shade and color will occur with anodized finished metals. This variation is part of the natural beauty brought out by the anodizing process and often sought after for this aesthetic quality. Visual look of variation may also be effected by tint as well as size of panel.

The Natural Collection

Matte Series NEW!

 Ecru NEW! NS .040" NA .063"/.080"	 Dune NEW! NS .040" NA .063"/.080"	 Earthen NEW! NS .040" NA .063"/.080"	 Pebble NEW! NS .040" NA .063"/.080"	 Flint NEW! NS .040" NA .063"/.080"	 Eclipse NEW! NS .040" NA .063"/.080"	 Aegean NEW! NS .040" NA .063"/.080"
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Element Series

 Aragonite Metallic NS .040"/.063"/.080"	 Moonstone Metallic S .040"; NS .063"/.080"	 Olivine Metallic S .040"; NS .063"/.080"	 Colorado Gold Metallic S .040"; NS .063"/.080"	 Native Copper Mica S .040"; NS .063"/.080"	 Rusted Metal NA .040"/.063"/.080"
 Zinc NA .040"/.063"/.080"	 Basalt Gray NS .040"/.063"/.080"	 Cubanite Metallic NS .040"/.063"/.080"	 Serpentine Metallic S .040"; NS .063"/.080"	 Almandine Garnet Metallic NS .040"/.063"/.080"	 Brushed Antique Copper NA .040"/.063"/.080"
 Brushed** NA .040"/.063"/.080"	 Brushed Stainless** NA .040"/.063"/.080"	 Brushed Carbon** NA .040"/.063"/.080"	 Reflect Mirror* NA .040"/.063"/.080"		

**The tinted finish highlights the natural variations and beauty of the metal.

Woodgrain Series

 Rustic Walnut NA .040"/.063"/.080"	 Chestnut NA .040"/.063"/.080"
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ALUCOBOND offers Cool coating formulas in standard and custom matched colors. Cool coatings offer higher solar reflectivity than many competing building materials, resulting in lower energy consumption within the building. Our color palette ranges from bright bold colors to more subtle earth tones, including mica and metallic finishes. ALUCOBOND coatings are applied in a continuous, automated coil coating line where the aluminum is painted in a closed loop process. This high temperature factory curing of the coating captures the VOCs, making it a more environmentally friendly process.

Click or Scan QR code with mobile camera to order samples.



PROPERTIES

ALUCOBOND® PLUS

Thickness of aluminum skin	0.020" (nominal)
Product thickness	0.157" (4mm nominal)
Weight	1.56 lb/ft ²
Standard sheet dimension*	62" x 196"
Maximum width/length**	62"/ 400"

* Exceptions to standard dimensions are referenced below

** Sheets will be fabricated to meet custom panel sizes within product range below.

ALUCOBOND PLUS					
Thickness	4mm				
Width	40"	49.2"	50"	60"	62"
Length	196"	146"	196"	198"	196"
Solids	●		●		●
Micas / Metallics	●		●		●
Color-Changing	●		●		●
Textured	●		●		●
Reflect Mirror		●			
Anodized				●	
Brushed			●		●
Prints			●		

● Standard; ● On Request

PAINT FINISHES

All finishes meet AAMA 2605 standards, except, SMP which meets AAMA 2604.

ALUCOBOND finishes are coated in accordance with AAMA standards which represent the highest performance standards for exterior finishes in the industry. All finishes are backed with a best-in-class warranty covering full replacement or repair costs.

PVDF (Polyvinylidene Fluoride) finishes can be produced in either a 2-coat (primer + color coat) or 3-coat (primer + color coat + top coat). Known for its durability and strong performance characteristics PVDF is used to develop a high-quality solid, mica or metallic finish.

PVDF/FEVE finish consists of 2 coats of PVDF & a clear coat of FEVE. On our Spectra finishes, the FEVE coat provides a higher gloss level & depending on the viewing angle, different wave-lengths of light are reflected, resulting in an ever-changing color gradient with iridescent highlights.

CUSTOM COLORS

If you require a custom color for your next project, our color technicians will strive to match your desired color. Exact matches are not always possible due to different inks & pigments used in various industries & application methods. Matching a color created by a spray method, particularly a metallic, may not match with a color created on a coil coated method.

To ensure that we identify your color correctly, we require either:

- A hand sample minimum 1" x 1", OR
- Pantone®, RAL, or paint code reference

Please contact your local sales manager for assistance.



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ALUCOBOND®

GIVING SHAPE TO GREAT IDEAS

Product	AXCENT™	ALUCOLUX®	
Thickness	0.040"	0.063"	0.080"
Standard Width*	48.0"	60.0"	60.0"
Standard Length*	120.0"	120.0"	120.0"
Custom Length (minimums apply)	64"- 192"	64"- 192"	64"- 192"
Weight	0.56 lb/ft ²	0.90 lb/ft ²	1.14 lb/ft ²

* Width tolerance: ± 0.00625"; length tolerance: -0/+0.375"

	AXCENT	ALUCOLUX	
Thickness	0.040"	0.063"	0.080"
Sheet Size*	48" x 120"	60 x 120"	60" x 120"
Solids	●	●	●
Micas / Metallics	●	●	●
Color-Changing	●	●	●
Textured	NA	NA	NA
Reflect Mirror	NA	NA	NA
Anodized	NA	NA	NA
Brushed	NA	NA	NA
Prints	NA	NA	NA

● Standard or Non-Standard (NS);

Please reference the Color Library to learn more about Standard and NS availability.

SMP (Silicone Modified Polyester) paint systems are a blend of polyester & silicon intermediates. SMP coatings deliver an excellent balance of exterior gloss, and color retention with resistance to stains, chalking, ultraviolet radiation, weather and humidity.

FEVE (Fluoropolymer Based) finishes are a transparent top coat applied to the coil. Various tints can be applied to broaden the color palette & add to the aesthetics of a project.

SDP (Siliconized Durable Polyester) finishes offered are a highly durable architectural coating offered in a wide range of colors, gloss levels, metallic and mica finishes. A high-tech polymer based coating offering excellent color and gloss weatherability.

For warranty information please contact your local ALUCOBOND Sales Manager.

3A Composites USA, Attn: Color Lab
208 West Fifth Street, Benton, KY 42025

ALUCOBONDUSA.COM / 800.626.3365

ALUCOBOND EasyFix is a cost-effective installation method for wood-frame construction in multifamily and mixed-use sectors.

Utilizing an innovative design for the attachment of ALUCOBOND® PLUS panels, ALUCOBOND® EasyFix offers simplicity and efficiency in meeting tight construction schedules. Trend-forward color options along with customizable panel layouts, reveal options, and lengths allow for freedom in design.

ALUCOBOND's 50-year history of proven performance provides the architectural community with:

- Long-term value
- Best-in-class durability
- Confidence in fire safety standards set by the International Building Code (IBC)
- 100% recyclable material
- LEED contribution
- Zero VOC's on-site

Innovative Designs. Elevated Productivity.

Features & Benefits



The Concept

ALUCOBOND EasyFix is a simple installation method utilizing an innovative design for attachment of ALUCOBOND PLUS panels. The design provides an aesthetic solution similar to traditional ACM systems, combining 2 types of folds.

ALUCOBOND EasyFix must be installed with the following items:

- ALUCOBOND PLUS 4mm ACM
- ALUCOBOND EasyFix clips or rails

Using the available attachment system, simply insert the panels with short clips or with a continuous rail. Clips are available in 3" lengths and rails are available in 8' lengths.



Double Fold 90°/90°



Single Fold 135°



Clip Fastening



Rail Fastening





Minimal Fabrication & Smooth Edge Finish

ALUCOBOND EasyFix is quickly fabricated off-site by a trained and qualified fabricator. V-groove allows for an easy fold.



Route and Return

Attachment system provides the aesthetic of traditional aluminum composite material (ACM) while applying panel widths at or close to 36", 27", 18", and 17" to maximize yield.



Customization

Trend-forward color options along with customizable panel layouts, reveal options and lengths allow for freedom in design.



Safety

ALUCOBOND PLUS ACM is manufactured with a fire retardant core meeting the IBC and NBC requirements for composite panels.



Ease & Speed of Install

Ships flat to the job site for easy handling. Installation is made simple with a variety of fastening options.



Supply Chain & Logistics

Readily available system, and 89 stock colors of ALUCOBOND PLUS.



Warranty

All colors and finishes come with a leading industry Warranty. Additionally, ALUCOBOND meets AAMA 2604 and 2605.



Sustainability

ALUCOBOND EasyFix utilizes less aluminum than typical ACM systems and reduces fabrication waste.



The Concept

Innovative Designs. Elevated Productivity.



Hardie® Plank Lap Siding

Submittal Form

01

Submitted to:

HZ5® Product Zone HZ10® Product Zone

Project Name:

Product Width: 5-1/4in 6-1/4in 7-1/4in 8in 8-1/4in 9-1/4in 12in

Submitted by:

Product Finish: Primed ColorPlus® Technology

Date:

Product Texture: Smooth Select Cedarmill® Colonial Roughsawn®
 Colonial Smooth® Rustic Cedar

Hardie® Plank Lap Siding

Specification Sheet

01

DIVISION: 07 00 00 THERMAL AND MOISTURE PROTECTION

SECTION: 07 46 46 FIBER CEMENT SIDING

HARDIE® PLANK LAP SIDING

Manufacturer

James Hardie Building Products, Inc.

The products are manufactured at the following locations, with quality control inspections by ICC-ES:

- Cleburne, Texas
- Plant City, Florida
- Reno, Nevada
- Waxahachie, Texas
- Prattville, Alabama
- Peru, Illinois
- Pulaski, Virginia
- Tacoma, Washington
- Fontana, California
- Summerville, South Carolina

Compliance with the following codes

- 2006 thru 2021 International Building Code (IBC)
- 2006 thru 2021 International Residential Code (IRC)

For more information about other compliances and applicable uses, refer to ICC-ES ESR-2290

Features

- Noncombustible
- Dimensionally Stable
- Resists damage from pests
- Weather Resistant-Engineered for Climate®
- Impact resistant
- Sustainable

Use

Hardie® fiber-cement lap siding is used as exterior wall covering. The product complies with IBC Section 1403.9 and IRC Section R703.10. The product may be used on exterior walls of buildings of Type I, II, III and IV construction (IBC)

Description

Hardie® Plank lap siding is a single-faced, cellulose fiber-reinforced cement (fiber-cement) product. Hardie® Plank lap siding complies with ASTM C1186, as Grade II, Type A; has a flame-spread index of 0 and a smoke-developed index of 5 when tested in accordance with ASTM E84; and is classified as noncombustible when tested in accordance with ASTM E136.

Available Sizes

Product	Width (in)	Length	Thickness (in)
Hardie® Plank lap siding*	5-1/4, 6-1/4, 7-1/4, 8, 8-1/4, 9-1/4, 12	12 feet	5/16

* HZ5: 9-1/4, 12 only available primed HZ10: 5-1/4, 9-1/4, 12 only available primed.

Weight 2.31 lbs. per square foot

Texture & Finish

Hardie® Plank lap siding comes in a variety of textures and finishes. The product is available in smooth or wood grain texture. Additional textures are available on a regional basis. Finish options are primed for field paint, or factory finished with ColorPlus® Technology. Color availability varies by region.

Engineered for Climate®

Hardie® Plank lap siding is engineered for performance to specific weather conditions by climate zones as identified by the following map.



Performance Properties

	General Property	Test Method	Unit or Characteristic	Requirement	Result	
PHYSICAL ATTRIBUTES	Dimensional Tolerances	ASTM C1185	Length	± 0.5% or ± 1/4 in	Pass	
			Width	± 0.5% or ± 1/4 in		
			Thickness	± 0.04 in		
			Squareness	Δ in diagonals ≤ 1/32 in/ft of sheet length. Opposite sheet sides shall not vary in length by more than 1/32 in/ft		
			Edge Straightness	≤ 1/32 in/ft of length		
	Density, lb/ft ³	ASTM C1185		As reported	83	
	Water Absorption, % by mass	ASTM C1185		As reported	36	
	Water Tightness	ASTM C1185	Physical Observations	No drop formation	Pass	
	Flexural Strength	ASTM C1185	Wet conditioned, psi	>1015 psi	Pass	
Equilibrium conditioned, psi			>1450 psi			
THERMAL	Thermal Conductivity	ASTM C177	(BTU/(hr·ft ² ·°F))/inch	As reported	2.07	
	Actual Thermal Conductivity		(K _{eff})		6.62	
	Thermal Resistance		R=1/ K _{eff}		0.48	
	Actual Thermal Resistance		(R)		0.15	
DURABILITY	Warm Water Resistance	ASTM C1185	Physical Observations	No visible cracks or structural alteration	Pass	
	Heat/Rain Resistance	ASTM C1185	Physical Observations	No visible cracks or structural alteration	Pass	
	Freeze/Thaw Resistance	ASTM C1185	Physical Observations	No visible cracks or structural alteration	Pass	
			Mass Loss, %	≤ 3.0%		
			Freeze/Thaw, % strength retention	≥ 80%		
	UV Accelerated Weathering Test	ASTM G23	Physical Observations	No cracking, checking, or crazing	Pass	
FIRE CHARACTERISTICS	Surface Burning Characteristics	ASTM E84	Flame Spread Index (FSI)		0	
			Smoke Developed Index (SDI)		≤ 5	
			Fuel Contributed		0	
			NFPA Class		A	
				Uniform Building Code Class	As reported	1
				International Building Code® class		A
	Noncombustibility	ASTM E136	Noncombustible	Pass/fail	Pass	
Fire Resistance Rated Construction	ASTM E119	Fire Resistance Rating	1-hour	Note 1		

Note 1: listed on Warnock Hersey and ESR 2290

Installation

Install Hardie® Plank lap siding in accordance with:

- Hardie® Plank lap siding installation instructions
- ICC-ES ESR 2290
- Requirements of authorities having jurisdiction

Warranty

Hardie® Plank lap siding: 30-year, Non-Prorated, Limited Warranty
 ColorPlus® Technology: 15-year Limited Finish Warranty

Sustainable Design Contribution

- Regionally sourced content- varies by project location
- Avoidance of certain chemicals or Red List Compliance

Detailed product information for LEED projects, or other state or regional sustainability programs is available through James Hardie Technical Services.

Storage and Handling

Store flat and keep dry and covered prior to installation.

Technical Services

Contact James Hardie Technical Services online at JamesHardie.com, or by phone at (800)426-4051

IMPORTANT: Failure to install and finish this product in accordance with applicable building codes and James Hardie written application instructions may affect system performance, violate local building codes, void the product-only warranty and lead to personal injury. **DESIGN ADVICE:** Any information or assistance provided by James Hardie in relation to specific projects must be approved by the relevant specialists engaged for the project eg. builder, architect or engineer. James Hardie will not be responsible in connection with any such information or assistance.

Scottsdale® (CRUSX)

LED Canopy Luminaire



CRUSX FT above canopy
junction box



CRUSX SC with REDiMount

OVERVIEW	
Lumen Package (lm)	5,000 - 22,000
Wattage Range (W)	39 - 157
Efficacy Range (LPW)	127 - 159
Weight lbs (kg)	23 (10.4)

QUICK LINKS

FEATURES & SPECIFICATIONS

Construction

- Features a ultra-slim 15/16" profile die-cast housing, with flat clear or diffused tempered glass lens. Unit is water-resistant, sealed and IP66 rated. Integral designed heat sink does not trap dirt and grime, ensuring cool running performance over the life of the fixture.
- Standard color is white and is finished with LSI's DuraGrip® polyester powder coat process. DuraGrip withstands extreme weather changes without cracking or peeling.
- Luminaire assembly incorporates a pressure stabilizing vent breather to prevent seal fatigue and failure.

Optical System

- Features an array of select, mid-power, high brightness, high efficiency LED; 3000K, 4000K, 5000K color temperature, 80 CRI (nominal).
- Choice of Symmetric or Forward Throw distributions.
- Symmetric distribution provides for general, even illumination under the fixture.
- Forward Throw distribution provides an industry leading unique distribution pattern that illuminates the area under the gas canopy and beyond. The forward through optic directs the light to the forecourt from the gas canopy eliminating the need for supplemental floodlights and extensive perimeter lighting.
- Standard diffuse lens for symmetric distribution to soften the brightness of the luminaire.
- Six Lumen Packages: 5,000, 9,000, 11,000, 13,000, and 19,000 and 22,000 Lumens.

Electrical

- Industry leading thin profile optical assembly features first of its kind integrated driver design. The optical assembly unit houses both the LED array and the LED driver eliminating the need for an external driver and driver enclosure.
- High performance factory programmable driver features over-voltage, under voltage, short-circuit and over temperature protection with integral 10kV surge protection that meets IEEE C62.41.2 and ANSI C82.77-5 Location Category C Low standards. Additional field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2). Custom lumen and wattage packages available.
- Universal voltage power supply, 120-277 VAC, 50/60 HZ.
- -40C to +55C (-40F to +131F) ambient operating temperature. (Varies based on lumen package and mounting style see performance data for specifics.)

Controls

- Fixture dimming is easily accomplished with our Airlink Blue wireless controls.

Installation (Standard)

- One-person installation.
- Installs in a 12" or 16" deck pan. Deck penetration consists of a 4" hole, simplifying installation and water sealing. Unit is designed to quickly retrofit into existing Scottsdale (4") hole as well as openings for Encore and Encore Top Access and to reconnect wiring for the SC/ECTA without having to relocate the conduit.
- Locking collar, stem kit, gasket and junction

box are included and required for complete seal and support of canopy deck.

- Retro panels are available for existing Encores as well as kits for recessed and 2x2 installations (see separate spec sheets). Support brackets are provided standard, to prevent sagging of deck.

Installation (REDiMount)

- REDiMount available. Patent pending 3 piece quick mounting system; components include collar, capsule and connector.
- Installs in 12" or 16" deck pan. Designed to reduce canopy penetrations and increase installation efficiency.

Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsicorp.com/resources/terms-conditions-warranty/> for more information.

Listings

- UL and ETL listed to UL 1598, UL 8750 and other U.S. and International safety standards. Suitable for wet locations.
- DesignLights Consortium® (DLC) Premium qualified product. Not all versions of this product may be DLC Premium qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.
- Meets Buy American Act requirements.
- DarkSky approved with 3000K or lower color temperature and symmetric distribution.

ORDERING GUIDE

TYPICAL ORDER EXAMPLE: CRUSX SCFT LED 22L 50 UE WHT ALBMR1									
Prefix	Distribution	Light Source	Driver	Color Temperature	Input Voltage	Finish	Options	Controls	Mounting
CRUSX - LED Canopy Luminaire	SC - Symmetric <i>DarkSky Approved</i>	LED	5L - 5,000 Lumens 9L - 9,000 Lumens 11L - 11,000 Lumens 13L - 13,000 Lumens 19L - 19,000 Lumens 22L - 22,000 Lumens Custom Lumen Packages ³	30 - 3000K <i>DarkSky Approved</i> 40 - 4000K 50 - 5000K	UE - Universal Voltage (120 - 277V)	WHT - White BRZ - Bronze BLK - Black	Standard - Clear Lens (CLR) DFL - Diffuse Lens ⁴	ALBMR1 - AirlinkBlue Multi Range Motion and Photo Sensor (8-15' mounting height, unobstructed max range 200') ⁵	Blank - None REDI - REDIMount Integrated Junction Box System
	SCFT ¹ - Combination Standard Symmetric and Forward Throw		22L - 22,000 Lumens ²						



Need more information?

[Click here for our glossary](#)

Have additional questions?

Call us at (800) 436-7800



ACCESSORY ORDERING INFORMATION (Accessories are field installed)

Order Number	Description
525946	Retrofit Panels - EC / ECTA / SCF to CRUS, for 16" Deck Panel
530281	Retrofit Panels - ECTA / SCF to CRUS, for 12" Deck Panel
357282	Retrofit 2x2 Cover Panel Blank (no holes)

Order Number	Description
354702	Retrofit RIC Cover Panel Blank (no holes)
1320540	Kit - Hole Plugs and Silicone (enough for 25 retrofits)*

*Consists of (25) 7/8" hole plugs, (100) 5/16" hole plugs and (1) tube of RTV

1 Not available on 5L.

2 FT distribution option only available with VHO 22,000 lumen package.

3 This footnote is not used.

4 Not available with SCFT.

5 ALBMR1 is required for dimming functionality via the Airlink Blue App or a wireless Companion Switch.



PERFORMANCE

Delivered Lumens									
Lumen Package	Distribution	CRI	3000K CCT		4000K CCT		5000K CCT		Wattage
			Delivered Lumens	Efficacy	Delivered Lumens	Efficacy	Delivered Lumens	Efficacy	
5L	SC	80	5834	150	6175	159	6171	159	39
9L	SC	80	9001	149	9527	158	9521	158	60
11L	SC	80	10461	147	11072	156	11065	156	71
13L	SC	80	12969	144	13727	152	13718	152	90
19L	SC	80	18224	141	19290	150	19277	150	129
22L	SC	80	21633	138	22883	145	22868	145	157
22L	DFL	80	19957	127	21124	134	21110	134	157
22L	SCFT	80	22224	142	23523	150	23508	150	157

*LED Chips are frequently updated therefore values are nominal.

Electrical Data (AMPS)					
Lumen Package	Wattage	120V	208V	240V	277V
5L	39	0.32	0.19	0.16	0.14
9L	60	0.50	0.29	0.25	0.22
11L	71	0.59	0.34	0.30	0.26
13L	90	0.75	0.43	0.38	0.33
19L	129	1.07	0.62	0.54	0.47
22L	157	1.31	0.76	0.66	0.57

*Electrical data at 25C (77F). Actual wattage may differ by +/-10%.

OPERATING TEMPERATURE		
Lumen Package	Mounting	Max
13L	Metal/Wood Canopy	55 C
19L	Metal/Wood Canopy	45 C
22L	Metal/Wood Canopy	45 C

Recommended Lumen Maintenance ¹ CRUSX 13L					
Ambient Temperature °C	Initial ²	25k hr ²	50k hr ²	75k hr ³	100k hr ³
0 C	100%	96%	91%	87%	82%
10 C	100%	96%	91%	87%	82%
20 C	100%	96%	91%	86%	82%
25 C	100%	96%	91%	86%	82%
30 C	100%	96%	91%	86%	82%
40 C	100%	96%	91%	86%	82%
45 C	100%	95%	90%	86%	82%
50 C	100%	95%	90%	86%	82%

Recommended Lumen Maintenance ¹ CRUSX 22L					
Ambient Temperature °C	Initial ²	25k hr ²	50k hr ²	75k hr ³	100k hr ³
0 C	100%	96%	91%	86%	82%
10 C	100%	96%	91%	86%	82%
20 C	100%	96%	91%	86%	82%
25 C	100%	96%	91%	86%	82%
30 C	100%	95%	90%	86%	82%
35 C	100%	95%	90%	86%	81%

¹ Lumen maintenance values at 25 °C are calculated per TM-21 based on LM-80 data and in-situ luminaire testing.

² In accordance with IESNA TM-21-II, Projected Values represent interpolated value based on time durations that are within six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing (DUT) i.e. the packaged LED).

³ In accordance with IESNA TM-21-II, Calculated Values represent time durations that exceed six times NA LM-80-08 total test duration (in hours) for the device under testing (DUT) i.e. the packaged LED).

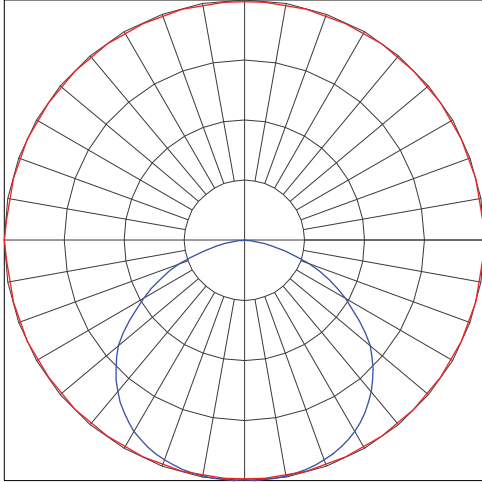


PHOTOMETRICS

Luminaire photometry has been conducted by a NVLAP accredited testing laboratory in accordance with IESNA LM-79-08. As specified by IESNA LM-79-08 the entire luminaire is tested as the source resulting in a luminaire efficiency of 100%.

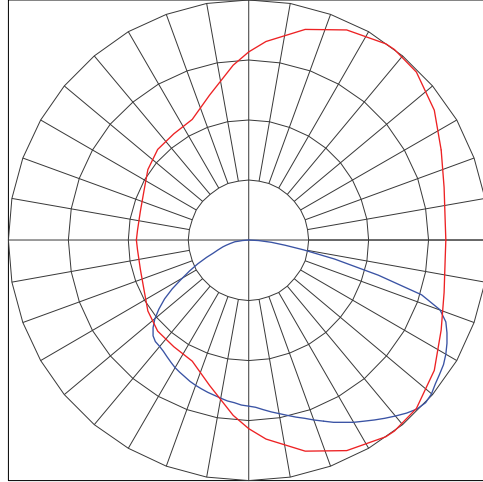
See the individual product page on <https://www.lsicorp.com/> for detailed photometric data.

Polar Curve



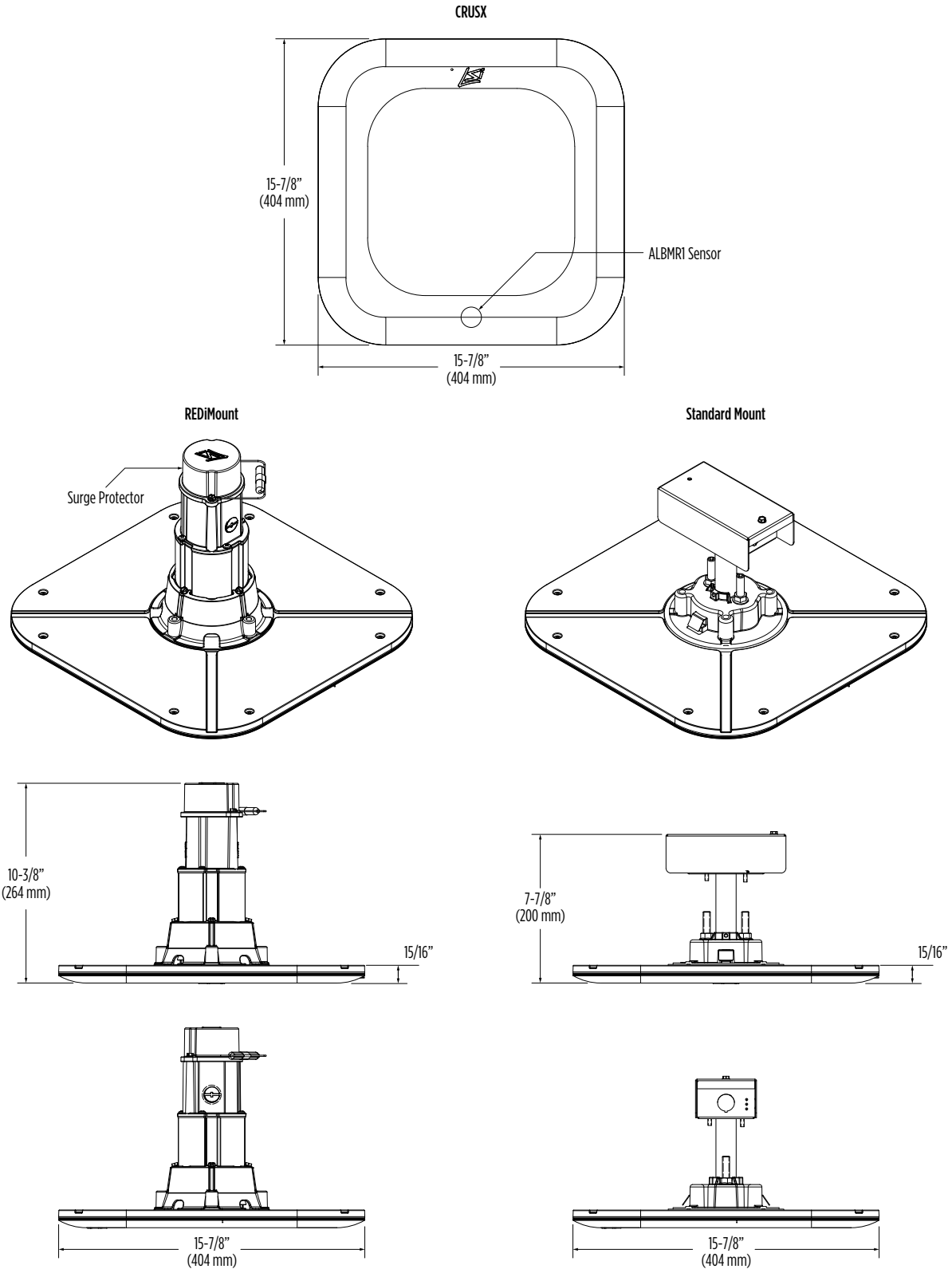
 Vertical Plane  Horizontal Cone

Polar Curve



 Vertical Plane  Horizontal Cone

PRODUCT DIMENSIONS



CONTROLS

AirLink Blue (ALBMR1)

Wireless Bluetooth Mesh Lighting Control System that incorporates Luminaire Level Lighting Controls (LLLC) and high-end trim to provide energy savings code compliance and enhanced safety/security for parking lots and parking garages. Three key components; Bluetooth wireless radio/sensor controller, Time Keeper and an iOS App with technology partner Silvair. Capable of grouping multiple fixtures and sensors as well as scheduling time-based events by zone. Radio/Sensor Controller is factory integrated into Area/Site, Wall Mounted, Parking Garage and Canopy luminaires.

[Click here to learn more details about AirLink Blue](#)



AirLink Blue App



Apple

PROPOSED LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
●	A	6	BULLET OUTDOOR RECESSED FIXED DOWNLIGHT	WIDE THROW	0.9	LF ILLUMINATION	S811-ISAT20L8040W
■	B	2	COMMERCIAL SMALL AREA LIGHT	FORWARD THROW	0.9	LSI LIGHTING	SSA-LED-12L-ACR-FT-UNV-40
■	C	15	SCOTSDALE LED CANOPY FIXTURE	SYMMETRIC	0.9	LSI LIGHTING	CRUSX-SC-LED-05L-30

CITY OF NORWALK LIGHTING REQUIREMENTS	
REQUIRED	PROPOSED
ALL LIGHTING SHALL NOT CAST GLARE OR SPILL OVER ONTO STREETS, PUBLIC WAYS, THE SKY, OR ONTO ADJACENT PROPERTIES. ALL LIGHTING SHOULD BE DARK SKY COMPLIANT	EXISTING NON-COMFORMITY(*)
SITE LIGHTING SHALL BE SET AT A LOW LUMINAIRE HEIGHT (BOTTOM OF FIXTURE NOT HIGHER THAN 12-14 FEET FOR PEDESTRIAN AREAS, AND 18-20 FEET FOR PARKING LOTS).	COMPLIES
LIGHT FIXTURES SHALL BE THE "CUT-OFF" VARIETY, PROJECTING ALL LIGHT DOWN TOWARDS THE PAVEMENT (LESS THAN 90 DEGREES FROM THE VERTICAL LINE).	COMPLIES
LED FIXTURES AND SOLAR-POWERED LIGHTS SHALL BE USED WHEREVER POSSIBLE.	COMPLIES
FLOOD AND AREA LIGHTING ARE NOT PERMITTED UNLESS SPECIFICALLY REQUIRED THROUGH CITY OR STATE CODE.	COMPLIES

(*) EXISTING LIGHT LEVELS TO REMAIN ALONG PROPERTY LINE FRONTING PUBLIC RIGHT OF WAY

EXISTING LIGHTING FIXTURES ARE TO REMAIN AND BE CLEANED AS PART OF THIS REDEVELOPMENT

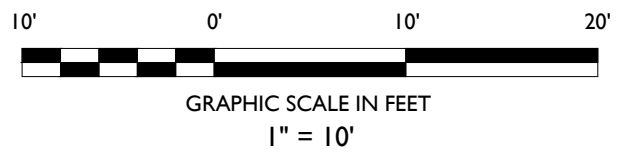
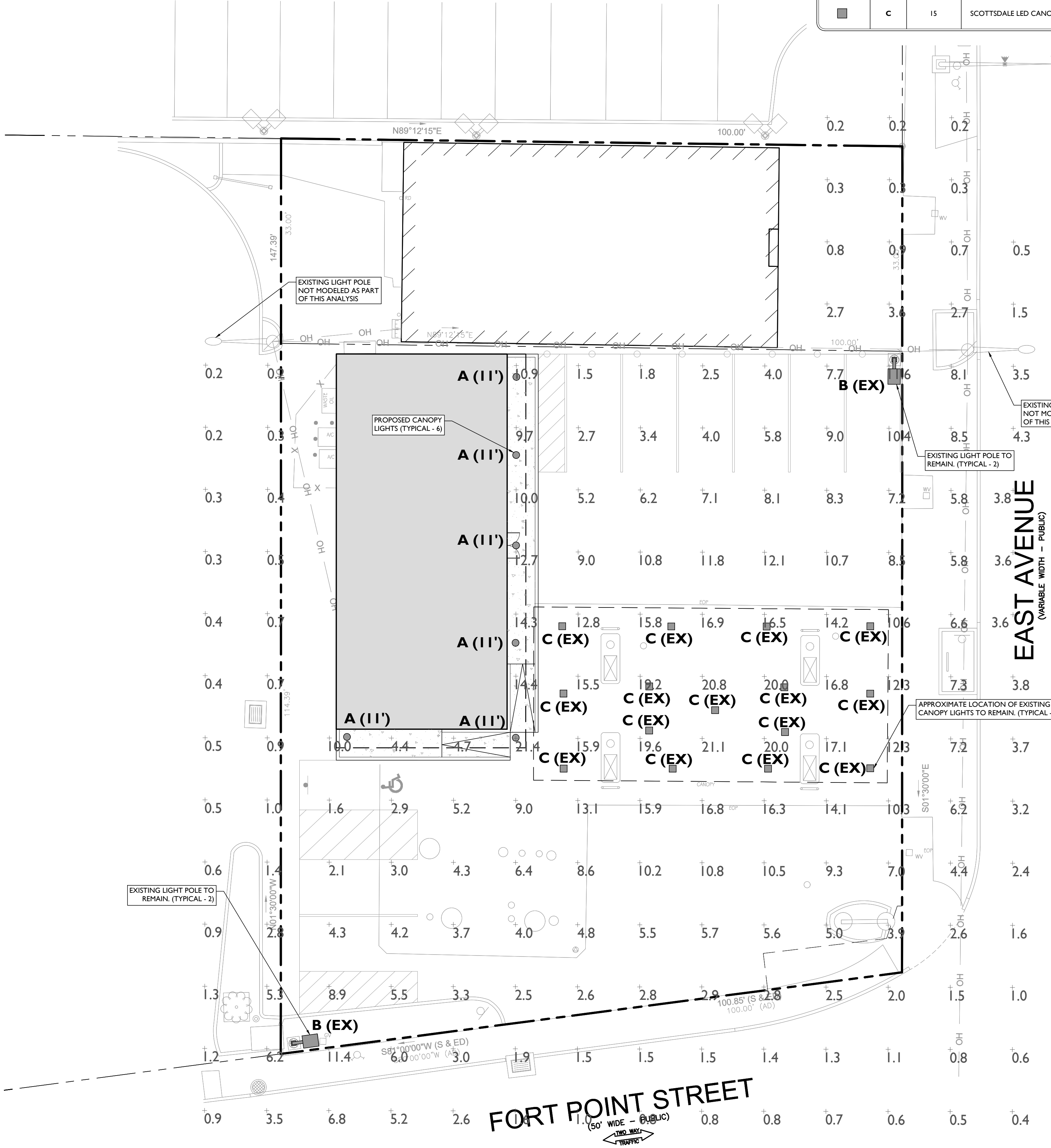
SYMBOL	DESCRIPTION
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
XX	PROPOSED LIGHTING INTENSITY (FOOT-CANDLES)
■	EXISTING AREA LIGHT
■	EXISTING CANOPY LIGHT
●	PROPOSED CANOPY LIGHT

GENERAL LIGHTING NOTES

- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
- WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
- UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
- THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

ATM LIGHTING NOTES:

- THE CONTRACTOR SHALL REPLACE LAMP COVERS, RE-LAMP AND RE-BALLAST EXISTING LIGHT FIXTURES AS INDICATED WITHIN THE PLAN SET. THE EXISTING FIXTURE HEIGHT SHALL BE MAINTAINED UNLESS INDICATED OTHERWISE. THE LIGHTING DESIGN IS SUBJECT TO CHANGE IF THE EXISTING LIGHT FIXTURES ARE NOT GREATER THAN OR EQUAL TO THE FOLLOWING WATTAGE:
 - FIXTURE 'x' = MINIMUM X WATTS
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING IF THE EXISTING LIGHT FIXTURES ARE NOT THE MINIMUM WATTAGE SPECIFIED WITHIN THE PLAN SET.
- THE CONTRACTOR IS RESPONSIBLE TO CONFIRM THAT ANY EXISTING LIGHT POLES IDENTIFIED FOR REUSE WITH A PROPOSED LIGHT FIXTURE(S) SHALL BE IN ACCEPTABLE WORKING CONDITION AND HAVE THE CAPACITY TO SUPPORT THE PROPOSED LIGHT FIXTURE(S). ANY MOUNTING EQUIPMENT REQUIRED TO ATTACH THE PROPOSED LIGHTING FIXTURE TO THE EXISTING LIGHT POLE SHALL BE PROVIDED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL CONFIRM THAT THE LOCATION OF ANY PROPOSED BUILDING MOUNTED LIGHTING FIXTURE WILL NOT CONFLICT WITH ANY EXISTING OR PROPOSED STRUCTURAL ELEMENT (E.G. CANOPY SUPPORT BEAMS). THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING OF ANY FIXTURE CONFLICT PRIOR TO THE START OF CONSTRUCTION.
- ALL EXISTING TREE LIMBS WITHIN THE 60 FOOT ATM RADIUS SHOWN IN THE PLAN SET SHALL BE TRIMMED TO A MINIMUM OF 6 FEET ABOVE GRADE. ALL SHRUBS WITHIN THE 60 FOOT ATM RADIUS SHALL BE TRIMMED TO A MINIMUM OF 36 INCHES ABOVE GRADE. ALL BRUSH SHALL BE REMOVED. THE CONTRACTOR SHALL CONSIDER ALL FUTURE GROWTH AND FULL BLOOM WHEN TRIMMING LANDSCAPING. EXISTING TREE LIMBS ADJACENT TO LIGHTING FIXTURES SHALL BE TRIMMED AS REQUIRED TO PREVENT LIGHT INTERFERENCE.
- PRIOR TO BID, CONTRACTOR SHALL VERIFY EXISTING EXTERIOR LIGHTING CONDITIONS AFTER DUSK AND NOTIFY THE DEVELOPER/OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC OF DAMAGED OR INOPERABLE LIGHTS. THE CONTRACTOR SHALL REPAIR ALL INOPERABLE LIGHTS UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET.
- THE ILLUMINATION LEVELS DEPICTED WITHIN THE PLAN SET ARE BASED ON REGULATORY STATE STANDARDS FOR SAFETY LIGHTING AND ON CLIENT STANDARDS.
- ALL LIGHTING FIXTURES, UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET, HAVE THE PHOTOCELL OPTION ENABLED.
- EXISTING LIGHTING FIXTURES CONTROLLED BY OUTSIDE ENTITIES (E.G. LANDLORD) HAVE BEEN EXCLUDED FROM THE LIGHTING ANALYSIS REFLECTED WITHIN THE PLAN SET. THE PROPOSED LIGHT LEVELS HAVE BEEN DESIGNED TO COMPLY WITH ALL APPLICABLE ATM AND SAFETY LIGHTING REQUIREMENTS INDEPENDENT OF ANY UNCONTROLLED LIGHT FIXTURES.



ISSUED FOR REVIEW	EDW	BY	DESCRIPTION
05/27/2025			
ISSUE			

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Rutherford, NJ · New York, NY · Salem, MA
Princeton, NJ · Tampa, FL · Birmingham, MI
www.stonefielddesign.com

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ATLANTIS
MANAGEMENT GROUP

BLOCK 3-9, LOT 14
214 & 216 EAST AVE
CITY OF NORWALK
FAIRFIELD COUNTY, CONNECTICUT

ZACHARY E. CHAPLIN, P.E.
CONNECTICUT LICENSE No. 33026
LICENSED PROFESSIONAL ENGINEER

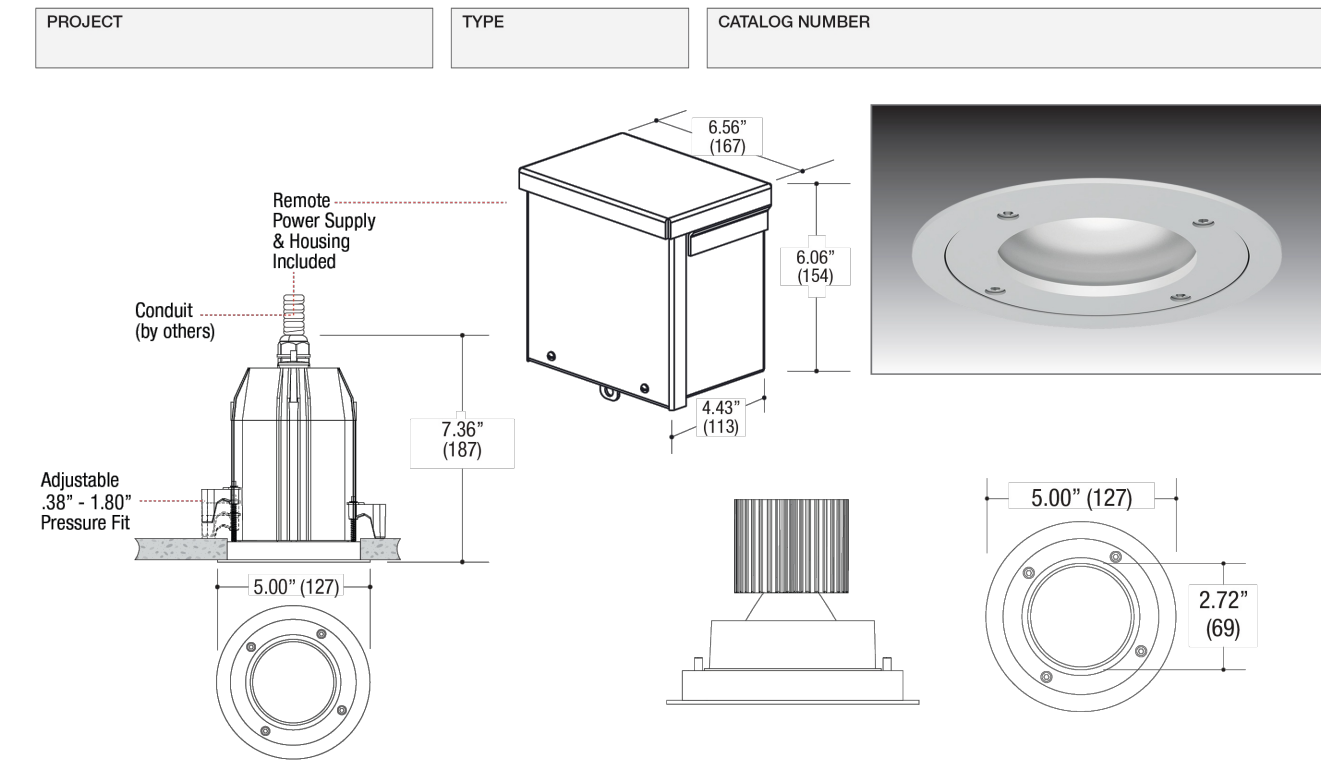
STONEFIELD
engineering & design

SCALE: 1" = 10' PROJECT ID: BOS-240112

TITLE:
LIGHTING PLAN

DRAWING:
C-1

BULLET
OUTDOOR RECESSED FIXED DOWNLIGHT
WET LOCATION - IP66 LED



PROJECT _____ **TYPE** _____ **CATALOG NUMBER** _____

DOWNLIGHT

- Recessed fixed downlight
- Die-cast aluminum trim
- Powder coat finish

HOUSING

- Extruded aluminum central housing
- Powder coat finish
- Dust and water seal tight sealed
- Ceiling Cut-Out - Ø4.65"

LED SOURCE

- Field-replaceable optic
- 20W / 1670lm, 80CRI / 3000K

ELECTRICAL

- Primarily installed LED driver included
- Separated primary wiring compartment with power supply
- Double cable entry for through wiring
- Superior aluminum reflector
- Dimmable

MOUNTING

- Spring set pressure fit mounting clips
- Adjustable up to 1.80" max. ceiling thickness

LABELS

- Subtable for wet location
- IP66 rated

ORDERING INFO

SERIES	WATTAGE	CRI / COLOR	BEAM	DRIVER	FINISH
5811-1SA-T	20L 20W LED 1670lm nom.	8027 80CRI / 2700K 8030 80CRI / 3000K 8035 80CRI / 4000K	N Narrow 25° M Medium 45° W Wide 50°	DMU Dimming Multiple Forward/Reverse (120V only) D-10V Wireless Present (120-277V) D01 Forward Phase 2 with 1% (120V only) DEU Lutron-H-kuma, EcoSystem, 1% w/Soft-On, Pulse to Black, 1% (120-277V)	BS Silver

Ordering Example: **5811-1SA-T-20L-8030-M-DMU-SS**

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We reserve the right to change or withdraw specifications without prior notice.

HEADQUARTERS
9200 Deering Avenue
Chattanooga GA 31311

Telephone: 818-885-1335
Toll Free: 855-885-1335
Fax: 818-576-1335

www.lfillumination.com

CANOPY LIGHT DETAIL 'A'
NOT TO SCALE

Category: _____ Project: _____ Title: _____
Prepared By: _____ Date: _____

Commercial Area Small (SSA)
Outdoor Area, Wall & Flood Light



OVERVIEW

Lumen Package	12,000 - 24,000
Wattage Range	85 - 175
Efficacy Range (LPW)	134 - 151
Weight (lbs)	17 (7.6)
Control Options	IMSBT, ALB, ALS, 7-Pin

QUICK LINKS

Ordering Guide Performance Photometrics Dimensions

FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing for maximum durability and reliability.
- IP65 rated luminaire protects integral components from harsh environments.
- Shipping weight: 17.24 lbs in carton.

Optical System

- Premium engineered IP65 rated optic assemblies deliver Type 3, 4 (FT), 5 (FW), 4x4 (M) or 6x6 (W) distributions.
- Zero uplight with pole mount arm or wall mount bracket.
- Available in 5000K and 4000K color temperatures per ANSI C78.377.
- Minimum CRI of 70.

Electrical

- High-performance driver features short-circuit and over-temperature protection with integral surge protection (6kV).
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 VAC) Input 50/60 Hz.
- Total harmonic distortion (THD): <20%
- Operating temperature: -40°C to +40°C (-40°F to +104°F).
- Power factor (PF): > 90
- Input power stays constant over life.
- Optional 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C82.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation.

Controls

- Integral passive infrared Bluetooth™ motion and photozell sensor options. Fixtures operate independently and can be commissioned via an iOS or Android configuration app.
- LSI's AirLink™ Blue lighting control system is a simple feature-rich wireless Bluetooth mesh network. The integrated fixture sensor module provides wireless control of grouped fixtures based on motion sensors, daylight or a fully customizable schedule. Updates and modifications to the control strategy are easily implemented via an intuitive iOS app.

Warranty

- Listed to UL 1598 and UL 8750.
- Table 24 Compliant: see local ordinance for qualification information.
- Suitable for wet Locations.
- IP65 rated Luminaire per IEC 60598.
- 135g rated for ANSI C156.31 high vibration applications are qualified.
- DesignLights Consortium™ (DLC) Premium qualified product. Not all versions of this product may be DLC Premium qualified. Please check the DLC Qualified Products List at www.designlights.org/DQL to confirm which versions are qualified.

Installation

- Mounting method ships separately and can be quickly connected to the luminaire.
- Wiring leads extended out of the main housing eliminating the need of opening the luminaire electrical chamber.
- Utilizes B2 pole drill pattern for arm mounting.
- Utilizes adjustable slip fit for mast arm or tenon mounting.
- Die-cast slip fitter allows for mounting onto a 2" (51mm) IP, 2.375" (60mm) O.D. tenon allowing for tilt not to exceed 45 degrees up from horizontal.
- Wall mount bracket with universal plate easily mounts to a 4" octagonal or square junction box.
- Optional 10kV surge protection device meets a minimum Category C Low operation (provided by others) for tilt not to exceed 45 degrees up from horizontal.

LSI Industries Inc., 10000 Alliance Rd, Cincinnati, OH 45242 • (513) 373-3200 • www.lsicorp.com
©2021 LSI Industries Inc. All Rights Reserved. Specifications and dimensions subject to industry standard tolerances. Specifications subject to change without notice.

Category: _____ Project: _____ Title: _____
Prepared By: _____ Date: _____

Commercial Area Small (SSA) Outdoor Area, Wall & Flood Light

ORDERING GUIDE

Typical Order Example: SSA LED Z2L ACR SW UNV DIM 50 CR7P BRZ PM

Prefix	Light Source	Lumen Package	Lens	Distribution	Voltage	Driver	Color Temperature
SSA - Small Commercial Area	LED	Z2L - 12,000 lum, 85W ZM - 12,000 lum, 121W Z4 - 24,000 lum, 175W	ACR	3 - Type 3 SW - Type 3 Wide FT - Type 4 Forward Throw W - 6x6 Wide Flood	UNV - Universal Voltage (120-277VAC)	DM - 0-10V Dimming	50 - 5000K CCT 40 - 4000K CCT

Controls (Choose One)

Blank - None
Wireless Controls System
ALB25 - AirLink Blue Wireless Motion & Photo Sensor Controller (8-24" MP)
ALB25L - AirLink Blue Wireless Motion & Photo Sensor Controller (25-48" MP)
ALBMLR - AirLink Blue Long Range Wireless Motion & Photo Sensor Controller (8-24" mounting height)
ALBMLR2 - AirLink Blue Long Range Wireless Motion & Photo Sensor Controller (25-48" mounting height)
Stand-Alone Controls
CR7P - 7-Pin Control Resealable ANSI C136.42

Finish

BRZ - Bronze

Mounting Options

PM - Square Pole Mount Arm
SF - Adjustable Slip Fitter
WM - Wall Mount Bracket
TR - Trussion Mount

Options

Blank - None
SP1 - 10kV Surge Protection Device
MS - Morgan House Side Shield

CONTROLS ACCESSORY ORDERING INFORMATION**

Part Number	Order Number	Description
122534	KT PC20	PC20 Protocol for use with CR7P option (220V)
122515	KT PC20/24/277	PC20-277 Protocol for use with CR7P option (200V, 240V, 277V)
149520	PHOTU SHOOTING CAP	Shooting Cap for use with CR7P
661489	ALS-CMV-TLS	AirLink 5 Pin Tact Lock Controller
661410	ALS-C-UM-RLT	AirLink 7 Pin Tact Lock Controller
714957	ALTK	AirLink Blue Time Keeper

MOUNTING ACCESSORY ORDERING INFORMATION**

Part Number	Description
580945 BRZ	Round Pole Adapter for SSA/OMA for 4" or 5" OD Poles
580945 BRZ	Round Pole Adapter for SSA/OMA for 3" or 3.5" OD Poles
731554 CLR	Quick Pole Mount Bracket (Square Pole)
730202 CLR	15° Quick Pole Mount Bracket (Square Pole)
750440	Wood Pole Bracket (6" Minimum OD Pole, Bronze Finish, Requires Pole Mount Arm)
750441	Wall Mount Bracket for PM Arm (Bronze Finish, Requires Pole Mount Arm)
661489 BRZ	30" Linear Blue Tact Kit (2" Recommended per Luminaire)
661487	30" Linear Blue Tact Kit (2" Recommended per Luminaire)
661489	SSA Tape 3/32W Integral House Side Shield Kit
731016	Wet Location Surface Conduit/Wiring Box (Bronze)

FUSING ACCESSORY ORDERING INFORMATION**

Part Number	Order Number	Description
See Fusing Guide		Single Fusing (120V)
		Single Fusing (277V)

Need more information?
Click here for our glossary.

Have additional questions?
Call us at (800) 436-7800

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1. R and ZL lumen packages available, consult factory.
2. Lenses have an ordering code and are ordered separately. See Accessories Ordering Information.
3. MP65 is not compatible with the CR7P that can be downloaded for use with our products unless you opt.
4. Mounting and accessories are subject to availability and may not be included.
5. Long lead times may be required for some items.
6. *10" double hole. See photo option.
7. Not available with R or W distributions.

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AREA LIGHT DETAIL 'B'
NOT TO SCALE

Scottsdale® (CRUSX) LED Canopy Luminaire

Category: _____ Project: _____ Title: _____
Prepared By: _____ Date: _____

ORDERING GUIDE

Typical Order Example: CRUSX SCFT LED Z2L 50 UE WH ALBHW1

Prefix	Distribution	Light Source	Driver	Color Temperature	Input Voltage	Finish	Options	Controls	Mounting
CRUSX - LED Canopy Luminaire	SC - Symmetric	LED	Z2L - 5,000 Lumens Z4 - 10,000 Lumens Z8 - 12,000 Lumens Z16 - 18,000 Lumens Z24 - 22,000 Lumens Z48 - 22,000 Lumens	35 - 5000K 40 - 4000K 50 - 5000K	UR - Universal Voltage (120-277V)	WH - White BRZ - Bronze BLK - Black	Standard - Clear Shade - 1/2" Diff. (only)	ALBMLR - AirLink Blue Multi-Sensor (8-15" mounting height, unobstructed max range 200')	Blank - None RBM - RB Mount Integrated Junction Box System

Need more information?
Click here for our glossary.

Have additional questions?
Call us at (800) 436-7800

ACCESSORY ORDERING INFORMATION (Accessories are sold separately)

Order Number	Description	Order Number	Description
125946	Retrict Panel - EC / ECTA / ST to CRUS, for 12" Deck Panel	134702	Retrict BC Cover Panel Blank (no holes)
135021	Retrict Panel - ECTA / ST to CRUS, for 12" Deck Panel	135040	Kit - Hole Plug and Silicone (enough for 25 retrofits)
137282	Retrict 2x2 Cover Panel Blank (no holes)		*Holes Ø1/8" 1/8" hole plug, Ø1/8" hole plug and Ø1/8" of 8/9

Construction

- Features an ultra-slim 1/16" profile die-cast housing, with flat clear or diffused tempered glass lens. Unit is water-resistant, sealed and IP65 rated integral designed heat sink does not trap dirt and grime, ensuring cool running performance over the life of the fixture.
- Standard color is white and is finished with LSI's Duragrip® polyester powder coat process. Duragrip withstands extreme weather changes without cracking or peeling.
- Luminaire assembly incorporates a pressure stabilizing vent breather to prevent seal fatigue and failure.

Optical System

- Features an array of select, mid-power, high brightness, high efficiency LED, 3000K, 4000K, 5000K color temperature, 90 CRI (nominal).
- Choice of Symmetric or Forward Throw distributions.
- Symmetric distribution provides for general, even illumination under the fixture.
- Forward Throw distribution provides an industry leading unique distribution pattern that illuminates the area under the gas canopy and beyond. The forward through optic directs the light to the foreground from the gas canopy eliminating the need for supplemental floodlights and extensive perimeter lighting.
- Standard diffuse lens for symmetric distribution to soften the brightness of the luminaire.
- Six Lumen Packages: 5,000, 9,000, 11,000, 13,000, and 19,000 and 22,000 Lumens.

Electrical

- High performance factory programmable driver features over-voltage, under voltage, short-circuit and over temperature protection with integral 10kV surge protection that meets IEEE C62.41.2 and ANSI C82.75 Location Category C Low standards. Additional field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI IEEE C62.41.2). Custom lumen and wattage packages available.
- Universal voltage power supply, 120-277 VAC, 50/60 Hz.
- 40°C to +55°C (-40°F to +133°F) ambient operating temperature. (Varies based on lumen package and mounting style see performance data for specifics).

Controls

- Feature dimming is easily accomplished with our Airlink Blue wireless controls.
- Installation (Standard)
 - One-person installation.
 - Installs in 12" or 16" deck pan. Designed to reduce canopy penetrations and increase installation efficiency.

Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsicorp.com/resources/terms-conditions-warranty/> for more information.
- UL and ETL listed to UL 1598, UL 8750 and other U.S. and International safety standards. Suitable for wet locations.
- DesignLights Consortium™ (DLC) Premium qualified product. Not all versions of this product may be DLC Premium qualified. Please check the DLC Qualified Products List at www.designlights.org/DQL to confirm which versions are qualified.
- Meets Buy American Act requirements.
- Duragrip approved with 3000K or lower color temperature and symmetric distribution.

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CANOPY LIGHT DETAIL 'C'
NOT TO SCALE

ISSUED FOR REVIEW	DATE	BY	DESCRIPTION
1	05/27/2025	EDW	

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
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MANAGEMENT GROUP

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CITY OF NORWALK
FAIRFIELD COUNTY, CONNECTICUT

ZACHARY E. CHAPLIN, P.E.
CONNECTICUT LICENSE No. 33026
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: AS SHOWN PROJECT ID: BOS-240112

TITLE:
CONSTRUCTION
DETAILS

DRAWING:
C-2

LIST OF ABBREVIATIONS

@	- At	INCL.	- Include/Including
A.C.T.	- Acoustical Ceiling Tile	INFO.	- Information
A.F.C.	- Above Finished Ceiling	INSUL.	- Insulate, Insulating, Insulation
A.F.F.	- Above Finished Floor	INT.	- Interior
AIA	- American Institute of Architects	JAN.	- Janitor
AIEE	- American Institute of Electrical Engineers	K.D.	- Knock Down
AISC	- American Institute of Steel Contractors	K.O.	- Knock Out
ALUM.	- Aluminum	KW.	- Kilowatt
ALT.	- Alternate	L.	- Length
AMP.	- Ampere	LAV.	- Lavatory
APT.	- Apartment	LB.	- Pound
ARCH.	- Architect or Architectural	L.H.	- Left Hand
ASHRAE	- American Society of Heating, Refrigerating, & Air Conditioning Engineers	L.H.R.	- Left Hand Reverse
		LIN.	- Linear
ASME	- American Society of Mechanical Engineers	LT.	- Light
ASTM	- American Society of Testing Engineers	MANUF.	- Manufacturer
ASSOC.	- Associated, Association	MAT.	- Material
AWG	- American Wire Gauge	MAX.	- Maximum
BD.	- Board	MECH.	- Mechanical
B.L.	- Building Line	MED.	- Medium
BLDG.	- Building	MEZZ.	- Mezzanine
BLK.	- Block	MIN.	- Minimum
BM.	- Beam	MISC.	- Miscellaneous
B.O.	- By Others	MTL.	- Metal
BOT.	- Bottom	N.	- North
B.O.S.	- Bottom of Steel	NEC	- National Electrical Code
BTU	- British Thermal Unit	NEMA	- National Electrical M Assoc
CAB.	- Cabinet	N.I.C.	- Not in Contract
CLG.	- Ceiling	NO.	- Number
C.T.	- Ceramic Tile	N.T.S.	- Not to Scale
CFM	- Cubic Feet Per Minute	OA.	- Overall
C.H.	- Ceiling Height	O.A.D.	- Overall Dimension
CL.	- Centerline	O.C.	- On Center
CLKG.	- Caulking	O.D.	- Outside Diameter
CLO.	- Closet	OFF.	- Office
CLR.	- Clear	P.A.	- Public Assembly
COL.	- Column	PCF	- Pounds Per Cubic Foot
CONC.	- Concrete	PERF.	- Perforated
CONST.	- Construction	PERM.	- Permanent
CONT.	- Continuous	PERP.	- Perpendicular
CONTR.	- Contractor	PH.	- Phase
CORR.	- Corridor	P.LAM.	- Plastic Laminate
COV.G.	- Covering	PLMB.	- Plumbing
CPT.	- Carpet	PLYWD.	- Plywood
CS.	- Countersink	PNL.	- Panel
CTR.	- Center	POL.	- Polished
CU. FT.	- Cubic Feet	POS.	- Positive
CU. IN.	- Cubic Inch	PSF	- Pound Per Square Foot
CU. YD.	- Cubic Yard	PSI	- Pound Per Square Inch
D.	- Depth or Deep	PTN.	- Partition
DB.	- Decibel	PT.	- Paint
DBL.	- Double	PTD.	- Painted
DEPT.	- Department	PR.	- Pair
DET.	- Detail	QUAL.	- Quality
D.F.	- Drinking Fountain	RAD.	- Radius
DIA.	- Diameter	RE.	- Refer
DIAG.	- Diagonal	REC'D.	- Received
DIM.	- Dimension	RECP.	- Receptacle
DIV.	- Division	REF.	- Refrigerator
DN.	- Down	R.H.	- Right Hand
DR.(S)	- Door(s)	R.H.R.	- Right Hand Reverse
DWG.	- Drawing	REQ.	- Required
ELEV.	- Elevation or Elevator (context determines)	RM.(S)	- Room(s)
ELEC.	- Electrical	S.S.	- Stainless Steel
ENAM.	- Enamel	S.C.	- Solid Core
ENGR.	- Engineer	SECT.	- Section
EQ.	- Equal	SEP.	- Separate
EQUIP.	- Equipment	SIM.	- Similar
E.W.C.	- Electric Water Cooler	SPEC.(S)	- Specification(s)
EXH.	- Exhaust	SPKR.	- Speaker
EXIST.	- Existing	SPKLR.	- Sprinkler
EXP.	- Exposed	SQ.	- Square
EXTR.	- Extruded	SQ. FT.	- Square Foot
EXT.	- Exterior	SR.	- Senior
F.D.	- Fire Damper	STD.	- Standard
F.H.	- Full Height	STL.	- Steel
FIN.	- Finish	STRUC.	- Structural
FL.	- Floor	SUPT.	- Superintendent
FT.	- Foot	SUSP.	- Suspended
FIG.	- Figure	TEL.	- Telephone
FIN.	- Finish	THK.	- Thick/Thickness
FFRF.	- Fireproof	TYP.	- Typical
FIX.	- Fixture	U.L.	- Underwriter's Laboratories
F.P.S.C.	- Fireproof Self Closing	U.O.N.	- Unless Otherwise Noted
FT. LB.	- Foot Pound	UR.	- Urinal
FTG.	- Footing	V.C.T.	- Vinyl Composition Tile
GA.	- Gauge	VERT.	- Vertical
GAL.	- Gallon	V.I.F.	- Verify In Field
GALV.	- Galvanized	VS.	- Versus
G.C.	- General Contractor	VOL.	- Volume
GL.	- Glass	W.	- Width
G.P.M.	- Gallons per Minute	W/	- With
GYP.	- Gypsum	W.C.	- Water Closet
HC.	- Handicapped	WO.	- Wood
HGT.	- Height	W/O	- Without
HDW.	- Hardware	WP.	- Waterproof
H.M.	- Hollow Metal	WT.	- Weight
HOR.	- Horizontal	YD.	- Yard
HR.	- Hour		
H.R.	- Handrail		
H.W.	- Hot Water		
HVAC	- Heating, Ventilation & Air Conditioning	∅	- Centerline
I.D.	- Inside Diameter	#	- Pound or Number
IN.	- Inch		

SYMBOLS USED AS ABBREVIATIONS

∅	- Centerline
#	- Pound or Number

GENERAL CONSTRUCTION NOTES

- INFORMATION SHOWN ON THESE DRAWINGS IS FOR DESIGN INTENT ONLY. VERIFY EXISTING CONDITIONS AND DIMENSIONS IN FIELD. COORDINATE DISCREPANCIES WITH THE ENGINEER. DO NOT SCALE DRAWINGS TO DETERMINE DIMENSIONS.
- ESTABLISH LINES, GRADES, AND BENCHMARKS NECESSARY FOR PROPER WORK. FURNISH GIVEN SURVEY DATA.
- BE RESPONSIBLE FOR QUANTITIES OF WORK. FURNISH LABOR, MATERIALS, AND EQUIPMENT REQUIRED TO COMPLETE WORK.
- PROVIDE PROOF OF WORKMAN'S COMPENSATION INSURANCE AND DISABILITY INSURANCE COVERAGE REQUIRED BY GOVERNING STATE LAW PRIOR TO START OF WORK.
- COORDINATE DRYWALL WORK WITH THAT OF OTHER TRADES IF DRYWALL IS IN CONFLICT WITH DUCTWORK, PLUMBING LINES, ETC.
- PROVIDE NECESSARY BRIDGING AND BRACING REQUIRED TO SECURE DRYWALL AND MAINTAIN FIRE AND SOUND RATING WHERE INDICATED ON THE DRAWINGS.
- PROVIDE METAL CORNER BEADS AT VERTICAL AND HORIZONTAL OUTSIDE CORNERS AND METAL J MOLDS AT EXPOSED EDGES, SPACKLE AND FINISH TO FORM STRAIGHT AND SMOOTH WALLS.
- PROVIDE WATER RESISTANT GYPSUM BOARD FOR PARTITIONS ADJACENT TO PLUMBING LINES OR FIXTURES.
- BUILT-IN CABINET WORK SHALL BE ENCASED IN LAMINATE CLASS B FINISH COMPLETELY. ANY EXPOSED FACE CABINET SHALL UTILIZE FIRE RETARDANT WOOD MATERIAL. WOOD BLOCKING SHALL BE PRESSURE TREATED WITH A FIRE RETARDANT AND PROVIDED WITHIN LIGHT GAUGE STEEL FRAMING TO RECEIVE MILLWORK. PROPERLY SEAL AND PRIME NEW WOOD SURFACES TO RECEIVE FINISH COAT.
- PROVIDE FIRE RETARDANT PLYWOOD PANELS SECURED AND ANCHORED ACROSS 3-STUDS WITHIN LIGHT GAUGE STEEL FRAMING WHEN NECESSARY TO ACCEPT PLASMA TV STEEL MOUNTING BRACKET ASSEMBLY.
- SET CEILING HEIGHTS AS INDICATED ON THE DRAWINGS MEASURED FROM FINISH FLOOR UNLESS OTHERWISE NOTED. SEE FINISH SCHEDULE.
- NOTIFY THE ARCHITECT IMMEDIATELY AND PRIOR TO PROGRESS OF WORK IF UNUSUAL FIELD CONDITIONS ARISE WHICH WOULD PREVENT THE CEILING AND/OR LIGHT FIXTURES FROM BEING INSTALLED AT THE INDICATED HEIGHT.
- IN GENERAL, EXECUTE THE CEILING WORK TO PROVIDE A SMOOTH, CONTINUOUS, MATCHING, TIGHT, AND ALIGNING CEILING. THE FINAL CEILING INSTALLATION SHALL BE FREE OF VISUAL DEFECTS. REPAIR/REPLACE WHERE DAMAGED BY OTHER TRADES.
- DO NECESSARY CUTTING FOR AND/OR BRIDGING REQUIRED FOR LIGHT FIXTURES, AIR DIFFUSERS, ETC.
- INSTALL RESILIENT BASES STRAIGHT AND TRUE, TERMINATING THEM AGAINST OUTER EDGES OF DOOR FRAMES. FURNISH AND INSTALL RESILIENT BASE CORNER SECTIONS SHALL BE PROVIDED IN LENGTHS NOT LESS THAN 1'-0" MEASURED FROM THE CORNER.
- COMPLETELY SEAL ABOVE CEILING PENETRATION CORES THROUGH FLOOR AND ROOF DECKS TO MAINTAIN EXISTING FIRE RATINGS, TYPICAL. UTILIZE 3M FIRE STOPPING PRODUCTS AND ASSEMBLIES.
- WHERE DUCTS OR PART OF DUCTS ARE RUNNING PARALLEL OVER FIRE RATED PARTITIONS, EXTEND PARTITIONS AROUND DUCTS TO EFFECT COMPLETE FIRE RATED ASSEMBLIES.
- WHERE DUCTS PENETRATE A FIRE RATED PARTITION AT AN ANGLE, SO THAT A FIRE DAMPER CANNOT BE INSTALLED AT CENTERLINE OF RATED PARTITION, EXTEND A HOUSING FRO THE RATED PARTITION TO THE FIRE DAMPER, COMPLETELY ENCLOSE THE DUCTS WITH MATERIAL EQUAL TO THAT OF THE PARTITION FIRE RATING. COMPLETE PARTITION FIRE RATING SHALL BE MAINTAINED.
- WHERE PIPES, CONDUITS, OR LOW TENSION WIRING PENETRATE FIRE RATED OR SOUND RATED ENCLOSURES SUCH AS WALL OR SLAB, THE SPACES AROUND SUCH PENETRATIONS SHALL NOT EXCEED 1/2". PACK SPACES SOLID WITH MINERAL WOOL OR APPROVED EQUAL ON BOTH SIDES OF THE RATED ENCLOSURE TO ENSURE FULL FIRE/SOUND RATING IN COMPLIANCE WITH THE LOCAL BUILDING CODE.
- FURNISH AND INSTALL 24 HOUR TEMPORARY LIGHTING INCLUDING TEMPORARY LIGHTING FRO INSTALLATION OR DELIVERY OF GOODS OR MATERIAL ON WEEKENDS.
- PARTITION THICKNESS SHOWN ON CONSTRUCTION PLANS OR ENLARGED PLANS ARE NOMINAL DIMENSIONS FROM FINISH FACE OF GYPSUM BOARD TO FINISH FACE OF GYPSUM BOARD UNLESS OTHERWISE NOTED. SEE PARTITION TYPE DETAIL FOR ACTUAL DIMENSIONS.
- ALIGN AND SAND SMOOTH GYPSUM BOARD SURFACES.
- WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, AND TRUE AND IN PROPER ALIGNMENT.
- FULLY PACK AND SEAL EXISTING AND NEW FLOOR PENETRATIONS FOR PIPING IN ACCORDANCE WITH THE GOVERNING BUILDING LAWS.

- FIELD CONDITIONS MAY REQUIRE MODIFICATIONS IN THE DETAILS OF THE DRAWINGS AND QUANTITIES OF WORK INVOLVED. THE WORK SHALL BE CARRIED OUT TO MEET THESE FIELD CONDITIONS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- NEW WALLS AND PARTITIONS, WITHIN AREA OF WORK SHALL RECEIVE A PRIMER AND (2) FINISH COATS OF SCHEDULED FINISH PAINT. INTERIOR TRIM (DOORS, FRAMES, ETC.) SHALL RECEIVE A PRIMER AND (2) FINISH COATS OF SEMI-GLOSS PAINT. COLORS ARE TO CONFORM TO THE FINISH SCHEDULE OR WILL BE SELECTED BY THE ARCHITECT.
- ELEVATION 0'-0" IS A REFERENCE OF THE EXISTING FINISHED FLOOR HEIGHT. NOTATION TO HEIGHTS WILL BE FROM THIS ELEVATION, UNLESS OTHERWISE NOTED. SURFACES ABOVE RAISED FLOOR ARE TAKEN FROM FINISHED RAISED FLOOR HEIGHT AND NOTED (A.R.F.)
- SEAL PENETRATIONS THROUGH NEW FIRE RATED WALLS, CEILINGS, ETC. WITH ARCHITECT APPROVED 3M FIRE STOPPING PRODUCTS. FIRE STOPPING PERIMETER OF DUCT/CONDUIT PENETRATIONS. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. DETAIL DRAWINGS TAKE PRECEDENCE OVER LARGE AND SMALL SCALE DRAWINGS.
- IN THE EVENT OF DISCREPANCY BETWEEN DRAWINGS AND SPECIFICATIONS OR BETWEEN DRAWINGS BRING THE DISCREPANCY TO THE ARCHITECT'S ATTENTION IMMEDIATELY. IN WRITING, FOR CLARIFICATION, THE GREATER MONETARY VALUE SHALL TAKE PRECEDENCE IN THE EVENT THE CONTRACTOR NEGLECTS TO OBTAIN CLARIFICATION.
- THE CONTRACTOR SHALL TAKE NO ADVANTAGE OF ANY APPARENT ERROR OR OMISSION IN THE CONTRACT DOCUMENTS. IN THE EVENT THE CONTRACTOR DISCOVERS SUCH AN ERROR, OR OMISSION IN THE CONTRACT DOCUMENTS, HE SHALL IMMEDIATELY NOTIFY THE ARCHITECT. THE ARCHITECT WILL THEN MAKE SUCH CORRECTIONS AND INTERPRETATIONS AS MAY BE DEEMED NECESSARY FOR FULFILLING THE INTENT OF THE CONTRACT DOCUMENTS.
- VERIFY FIELD CONDITIONS AND NECESSARY DIMENSIONS PRIOR TO BEGINNING WORK AT THIS SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION AND AMENDMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL TRADES UNLESS A CONSTRUCTION MANAGER IS PRESENT.
- THE CONTRACTOR SHALL COORDINATE WITH THE MECHANICAL AND ELECTRICAL DRAWINGS FOR ROUGH/FINISH CARPENTRY REQUIRED FOR INSTALLATION OF THEIR WORK. THIS INCLUDES, BUT IS NOT LIMITED TO, THE FRAMED OPENINGS OF DUCTWORK, TRANSFER GRILLES, PIPING, ACCESS DOORS, CHOPPING FOR DRAINS, FIRE/SMOKE DAMPERS, ETC.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ANY MECHANICAL, ELECTRICAL, PLUMBING, OR UTILITY SERVICE EQUIPMENT FROM DAMAGE DURING CONSTRUCTION.
- WORK DESCRIBED BY THESE DOCUMENTS SHALL BE PERFORMED IN FULL ACCORDANCE WITH THE CURRENT VERSION OF ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO THE FOLLOWING CODES: UNIFORM BUILDING CODE, UNIFORM MECHANICAL CODE, UNIFORM FIRE CODE, NFPA STANDARDS, NATIONAL ELECTRICAL CODE, UNIFORM PLUMBING CODE, ALL AS ADOPTED BY MT. VERNON, STATE OF NEW YORK.
- CONTRACTOR SHALL REVIEW THESE PLANS THOROUGHLY, MAKE A DETAILED SITE VISIT, AND SHALL IMMEDIATELY BRING ANY INCONSISTENCY, SITE LAYOUT PROBLEM, OR ANY OTHER REQUEST FOR CLARIFICATION TO THE ARCHITECT FOR RESOLUTION PRIOR TO THE DELIVERY OF ANY BID OR WORK. FAILURE TO DO SO SHALL CAUSE THE CONTRACTOR TO BE INELIGIBLE FOR EXTRAS RELATING TO SUCH MATTERS.
- CONTRACTOR SHALL SUBMIT REPRODUCIBLE SHOP DRAWINGS TO ARCHITECT FOR OWNER'S, ARCHITECT'S, AND ENGINEER'S APPROVAL.
- CONTRACTOR SHALL COORDINATE WITH ALL TRADES TO PROVIDE COMPLETE WORKING SYSTEMS. CONTRACTOR SHALL LAY OUT HIS WORK AND SHALL PROVIDE DIMENSIONS AND LAYOUT IN ADVANCE FOR ALL OTHER TRADES (PLUMBING, ELECTRICAL, STRUCTURAL, MECHANICAL, ETC.) AND IMMEDIATELY NOTIFY ARCHITECT OF CONFLICT BEFORE PROCEEDING.
- DRAWINGS OF EXISTING FACILITIES ARE, IN GENERAL, DIAGRAMMATIC. EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR FROM FIELD MEASUREMENTS TAKEN BY CONTRACTOR'S PERSONNEL. ACTUAL ARRANGEMENT OF THE WORK SHALL FOLLOW LOCATIONS SHOWN ON THE DRAWINGS WITHIN THE CONSTRAINTS OF EXISTING EQUIPMENT AND CONSTRUCTION. DIMENSIONS SHALL GOVERN THESE DRAWINGS AND THEY ARE NOT TO BE SCALED. DRAWING AND NOTES TO DRAWINGS ARE CORRELATIVE AND HAVE EQUAL AUTHORITY AND PRIORITY. SHOULD THERE BE DISCREPANCIES IN THEMSELVES OR BETWEEN THEM, CONTRACTOR SHALL BASE BID PRICING ON THE MOST EXPENSIVE COMBINATION OF QUALITY AND/OR QUANTITY OF THE WORK INDICATED. IN THE EVENT OF DISCREPANCIES, THE APPROPRIATE METHOD OF PERFORMING THE WORK AND/OR ITEMS TO BE INCORPORATED INTO THE SCOPE OF THE WORK SHALL BE DETERMINED BY THE ARCHITECT OR ENGINEER.
- CONTRACTOR IS RESPONSIBLE FOR THE SAFETY, ACTIONS, AND CONDUCT OF HIS EMPLOYEES AND HIS SUBCONTRACTORS' EMPLOYEES WHILE IN THE PROJECT AREA, ADJACENT AREAS, AND IN THE BUILDING AND ITS VICINITY.
- ALL MATERIALS, FINISHES, MANUFACTURED ITEMS, AND EQUIPMENT SHALL BE INSTALLED IN FULL ACCORDANCE WITH THE SUPPLIER'S OR MANUFACTURER'S WRITTEN RECOMMENDATIONS OR THESE DOCUMENTS, WHICHEVER IS MORE STRINGENT.
- REQUESTS TO SUBSTITUTE ANY PRODUCT, TECHNIQUE, OR MATERIAL SHALL BE SUBMITTED IN WRITING TO ARCHITECT FOR APPROVAL. SAMPLES, PRODUCT INFORMATION, AND DRAWINGS SHALL BE REQUIRED PRIOR TO SUBSTITUTION APPROVAL. PROPOSED SUBSTITUTION SHALL BE OF EQUAL QUALITY AND PERFORMANCE SPECIFICATION TO THAT ORIGINALLY SPECIFIED.
- ALL WORKMANSHIP, MATERIAL, AND EQUIPMENT SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF OWNER ACCEPTANCE. ANY FAILURE OR DETERIORATION WITHIN THIS PERIOD SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL ARRANGE ACCESS TO BUILDING AND PROJECT SITE VIA PROJECT MANAGER, AND SHALL FOLLOW ALL BUILDING SPECIFIC RULES OF CONDUCT AS ENFORCED BY THE PROJECT MANAGER. CONTRACTOR SHALL ONLY USE BUILDING ENTRANCE AS SPECIFIED BY PROJECT MANAGER AND ARCHITECT. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING MATERIAL REMOVAL AND DELIVERY WITH PROJECT MANAGER SO AS TO AVOID DISTURBANCE TO EXISTING TENANTS AND/OR NEIGHBORS. CONTRACTOR SHALL ARRANGE WITH PROJECT MANAGER AND ARCHITECT FOR AFTER-HOURS ACCESS TO PROJECT SITE.
- CONTRACTOR SHALL PROVIDE MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INCLUDED IN THE DRAWINGS.
- CONTRACTORS SHALL BREAK OUT IN THEIR PRICING COST ITEMS OUTLINED BY ARCHITECT FOR REVIEW AS ADD ALTERNATES. ALL ADD ALTERNATES SHALL INCLUDE ALL CONTRACTOR'S O&P SO THAT THEY MAY BE ADDED STRICTLY AS ELECTIVE LINE ITEMS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SEEING THAT EACH SUBCONTRACTOR CLEANS UP AND REMOVES, DAILY, ANY AND ALL DEBRIS GENERATED BY CONSTRUCTION OPERATIONS, MAKING READY FOR ALL SUBSEQUENT SUBCONTRACTORS.
- GENERAL CONTRACTOR SHALL: EXERCISE REASONABLE PRECAUTION IN THE PROTECTION OF ALL EXISTING FINISHES TO REMAIN AND/OR ALL EXISTING SUBSTRATES TO RECEIVE NEW FINISH; SCHEDULE AND COORDINATE ALL TRADES TO ELIMINATE DAMAGE TO ALL FLOOR MATERIALS ONCE INSTALLED; PROVIDE PROTECTIVE COVERINGS FOR ALL FLOOR, PARTITION AND CEILING FINISHES TO REMAIN IN THE PROJECT AREA AND FOR ALL FINISHES WHICH MAY BE SUBJECT TO TRAFFIC OR CONSTRUCTION ACTIVITY IN ADJACENT AREAS; PROVIDE PROTECTIVE COVERING FOR ALL WINDOWS AND OTHER GLASS TO REMAIN; PROVIDE IMPACT PROTECTION FOR ALL INTERIOR FINISHES; PROVIDE MINIMUM 1/8 INCH THICK TEMPERED HARDBOARD OR PLYWOOD GANG WAY TO PROTECT ALL FLOORING MATERIALS FROM BREAKAGE, CRACKING, SCRATCHING OR OTHER DAMAGE FROM DOLLIES, HAND TRUCKS OR ROLLING BINS OR TOOL CARTS USED TO TRANSPORT MATERIALS TO AND FROM PROJECT AREA; EXTEND PROTECTION FROM BUILDING ENTRY(IES) TO PROJECT AREA.
- THE CONTRACTOR SHALL PROTECT INTERIOR SURFACE OF GLAZING AT ALL TIMES FROM BREAKAGE AND SCRATCHING OF WINDOW COATINGS. ANY HOLLOW OR DAMAGED AREAS OF CONCRETE FLOOR SHALL BE REPAIRED MAKE LEVEL PRIOR TO COMMENCEMENT OF NEW CONSTRUCTION. THE CONTRACTOR SHALL REMOVE FROM DEMOLISHED WALLS OR PORTIONS OF WALLS ALL POWER CIRCUITS AND SWITCH LEGS BACK TO FIRST JUNCTION BOX. REMOVE ANY MILLWORK OR WALL- MOUNTED PLUMBING FIXTURES FROM WALLS INDICATED TO BE DEMOLISHED AND NOT OTHERWISE SHOWN. THE CONTRACTOR SHALL MAINTAIN A TRUCK OR OTHER VEHICLE FOR REMOVAL OF WASTE MATERIALS DAILY FROM SITE. WASTE MATERIALS SHALL BE TRANSPORTED TO SUCH VEHICLE BY COVERED RUBBER- TIRED CARTS. ANY LIGHTING FIXTURES REMOVED FROM THE SPACE AND NOT DISPOSED OF SHALL BE SALVAGED AS DIRECTED BY THE ARCHITECT. THE CONTRACTOR SHALL TAKE CARE NOT TO UNREASONABLY CAUSE DAMAGE ANY SALVAGED MATERIALS OR FIXTURES.
- DO NOT SCALE DRAWINGS FOR DIMENSIONS. CONTACT ARCHITECT FOR CLARIFICATION AND/OR ADDITIONAL INFORMATION IF REQUIRED.
- REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING DRAWINGS PROVIDED BY ENGINEER AND CONSULTANTS FOR DETAILED SIZES, SPECIFICATIONS, DETAILS AND INSTRUCTION.
- THE CONTRACTOR SHALL FILE WITH THE DEPARTMENT OF BUILDINGS AND OBTAIN ALL NECESSARY CERTIFICATES OF INSURANCE, PAY ALL FEES, OBTAIN ALL PERMITS, AND PROVIDE ANY WORK HEREIN DESCRIBED.
- GC WILL PROVIDE WORKING (1) 5LB ABC FIRE EXTINGUISHER PER FLOOR AT SITE DURING CONSTRUCTION.

DELIVERY, STORAGE, & HANDLING

- DELIVER, STORE, AND HANDLE PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, USING MEANS AND METHODS THAT WILL PREVENT DAMAGE, DETERIORATION, AND LOSS, INCLUDING THEFT.
- CONTROL DELIVERY SCHEDULES TO MINIMIZE LONG-TERM STORAGE AT THE SITE AND PREVENT OVERCROWDING OF CONSTRUCTION SPACES. IN PARTICULAR, COORDINATE DELIVERY AND INSTALLATION TO INSURE MINIMUM HOLDING OF STORAGE TIMES FOR ITEMS KNOWN OR RECOGNIZED TO BE FLAMMABLE, HAZARDOUS, EASILY DAMAGED, OR SENSITIVE TO DETERIORATION, THEFT AND THEIR SOURCES OF LOSS.
- DELIVER PRODUCTS TO THE SITE IN THE MANUFACTURER'S SEALED CONTAINER OR OTHER PACKAGING SYSTEM, COMPLETE WITH LABELS AND INSTRUCTIONS OR HANDLING, STORING, UNPACKING, PROTECTING, AND INSTALLING.
- STORE PRODUCTS AT THE SITE IN A MANNER THAT WILL FACILITATE INSPECTION AND MEASUREMENT OF QUANTITY OR COUNTING OF UNITS.
- STORE HEAVY MATERIALS AWAY FROM THE PROJECT STRUCTURE IN A MANNER THAT WILL NOT ENDANGER THE SUPPORTING CONSTRUCTION.

REMOVAL PERFORMANCE DISCLAIMER

THE ARCHITECT AND ARCHITECT'S CONSULTANTS DO NOT ASSUME RESPONSIBILITY FOR THE MEANS BY WHICH THE REMOVAL IS PERFORMED. THE CONTRACTOR SHALL REMOVE AND/OR PERFORM THE ITEMS NOTED AS SUCH IN THESE DOCUMENTS IN A PROFESSIONAL MANNER IN ACCORDANCE WITH "GOOD GENERAL PRACTICES".

BUILDING/SITE DATA:

MBLU: 3-9-14-0	ZONING DISTRICT: CD-3	SITE AREA: 14,082 S.F.
USE GROUP: MERCANTILE	TYPE OF CONSTRUCTION:	TYPE IIIB
STORIES: 1	EXISTING FLOOR AREA:	1,660 SF
	PROPOSED FLOOR AREA:	1,660 SF

PROPOSED SCOPE OF WORK:

GUT RENOVATION OF AN EXISTING CONVENIENCE STORE / REPAIR SHOP . THE SCOPE OF WORK INCLUDES:

- COMBINE CONVENIENCE STORE AND CAR REPAIR SHOP
- NEW CONVENIENCE STORE LAYOUT
- NEW FINISHES THROUGHOUT
- NEW ADA BATHROOM
- NEW SHOPFRONT AND NEW ENTRANCE
- FACADE UPGRADE (BRICK SIDING OVER EXISTING CMU)
- NEW SIGNAGE.

GAS STATION PUMPS, CANOPY AND LANDSCAPE NOT IN THE SCOPE OF WORK FOR THIS APPLICATION.

BUILDING DEPARTMENT NOTES:

THE RENOVATION WORK DESCRIBED HEREIN SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL BUILDING CODES AND REPRESENTS:

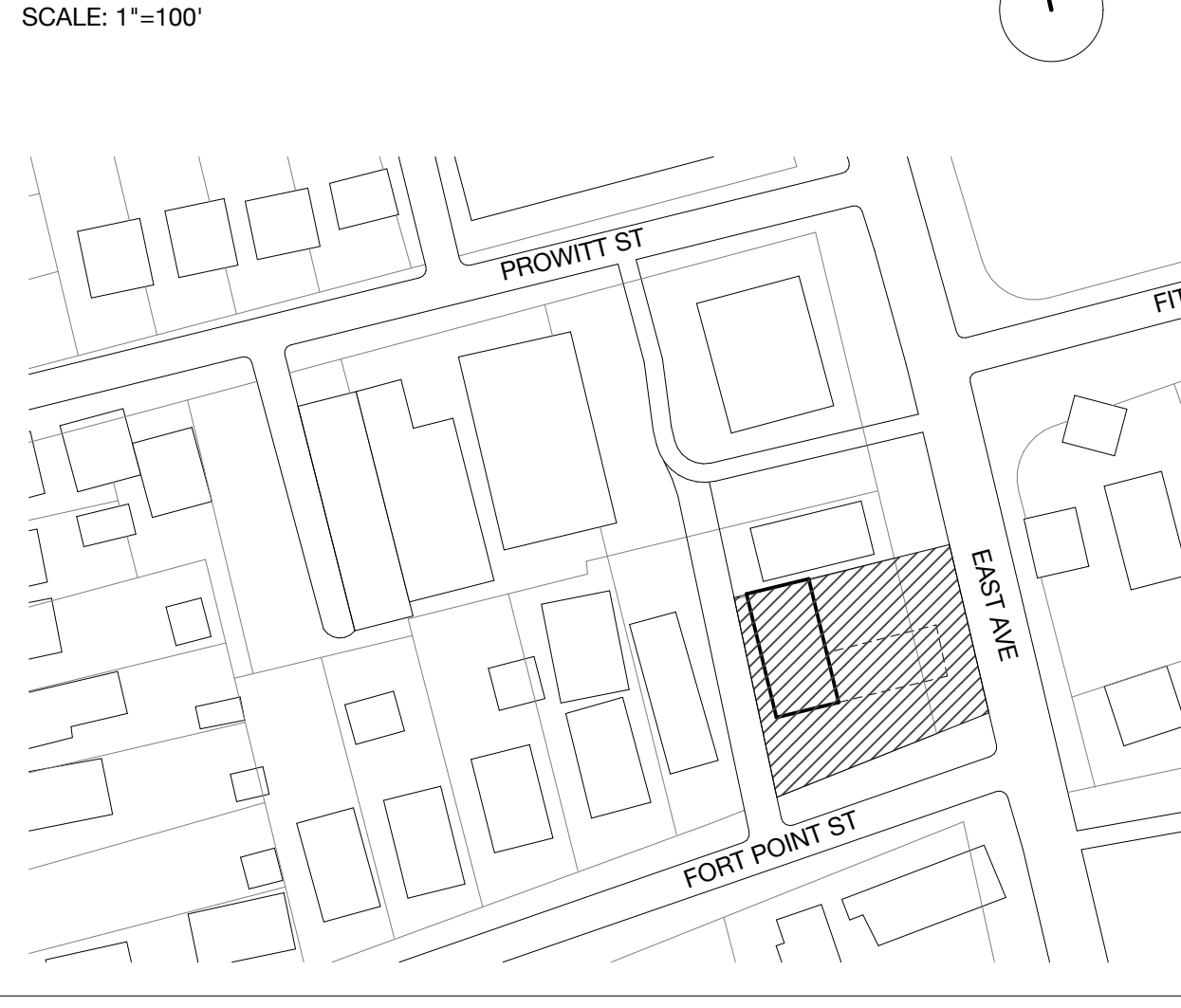
- CHANGE IN USE
- NO CHANGE OCCUPANCY
- NO CHANGE IN EGRESS
- NO CHANGE IN ZONING

BUILDING CODE:

BASED ON THE 2022 CONNECTICUT STATE BUILDING CODE, WHICH IS BASED ON THE FOLLOWING NATIONAL MODEL CODES:

- 2021 International Building Code
- 2017 ICC/ANSI A117.1 Accessible and Usable Buildings and Facilities
- 2021 International Existing Building Code
- 2021 International Plumbing Code
- 2021 International Mechanical Code
- 2021 International Energy Conservation Code
- 2020 NFPA 70, National Electrical Code, of the National Fire Protection Association Inc.
- 2021 International Residential Code

SITE PLAN:

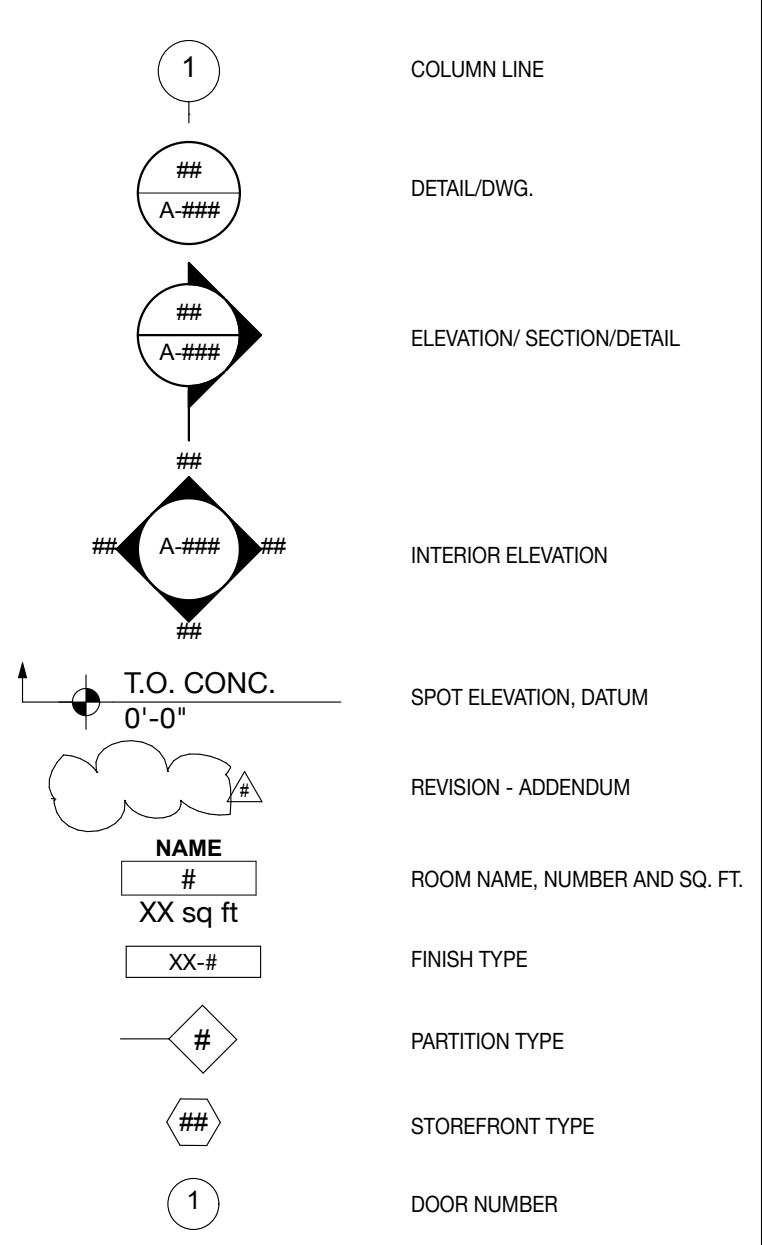


NOTE:

THE DUTIES OF THE ARCHITECT AND HIS EMPLOYEES OR AGENTS SHALL TERMINATE WITH THE COMPLETION AND DELIVERY OF WORKING DRAWINGS. THE ARCHITECT IS NOT RESPONSIBLE OF SUPERVISION OF CONSTRUCTION OF THE PROJECT, NOR DOES THE ARCHITECT HAVE AUTHORITY TO ACT ON BEHALF OF THE OWNER OR THE CONTRACTOR UNLESS NOTED OTHERWISE IN WRITING.

THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR OR ANY SUB-CONTRACTOR OR ANY OF THE CONTRACTOR'S OR SUB-CONTRACTOR'S EMPLOYEES OR AGENTS, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.

SYMBOL LEGEND



ADA STATEMENT:

I HEREBY CERTIFY THAT THE PLANS AND DRAWINGS FOR THIS PROJECT WERE DRAWN IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS, INCLUDING, BUT NOT LIMITED TO THE AMERICANS WITH DISABILITIES ACT (THE "ADA"), THE ADA ACCESSIBILITY GUIDELINES AND ANY STATE OR LOCAL ACCESSIBILITY CODES, REGULATIONS, OR STANDARDS.

DRAWING LIST

NUMBER	NAME	SCALE
A.000	COVER SHEET AND GENERAL NOTES	N.T.S
A.001	DOOR, WINDOW, HARDWARE AND FINISH SCHEDULES	N.T.S
A.002	TYP. WALL TYPES AND DETAILS	N.T.S
A.003	PROPOSED SITE PLAN	1" = 20'-0"
A.004	CODE COMPLIANCE ANALYSIS PLAN	1/4" = 1'-0"
A.100	AS BUILT / GROUND FLOOR DEMOLITION PLAN	1/4" = 1'-0"
A.101	PROPOSED GROUND FLOOR CONSTRUCTION PLAN	1/4" = 1'-0"
A.102	PROPOSED GROUND FLOOR REFLECTED CEILING PLAN	1/4" = 1'-0"
A.103	PROPOSED EQUIPMENT PLAN	1/4" = 1'-0"
A.104	RESTROOM DETAILS AND PLUMBING SCHEDULES	1/2" = 1'-0"
A.200	TYP. BUILDING SECTIONS	1/4" = 1'-0"
A.201	PROPOSED BUILDING ELEVATIONS	1/4" = 1'-0"

Pablo De Miguel Architect, PLLC

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555 S Columbus Ave #201 Mt. Vernon NY 10550
contact: Danny Porco
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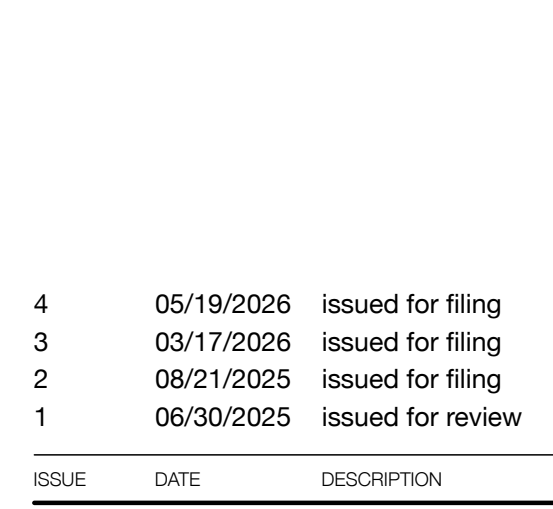
KEY PLAN

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SEAL & SIGNATURE



PROJECT:
ATLANTIS FRESH MARKET
Convenience Store

216 East Ave
Norwalk, CT 06855
MBLU: 3-9-14-0

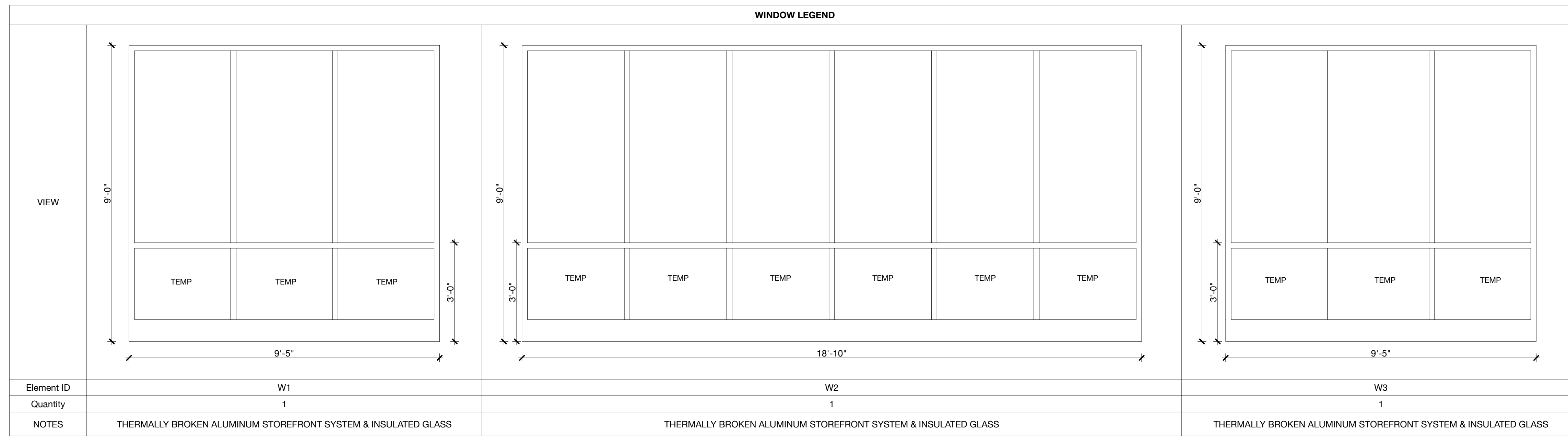
DATE: 5/19/26 PROJECT #: 2402

SHEET NAME:
COVER SHEET AND GENERAL NOTES

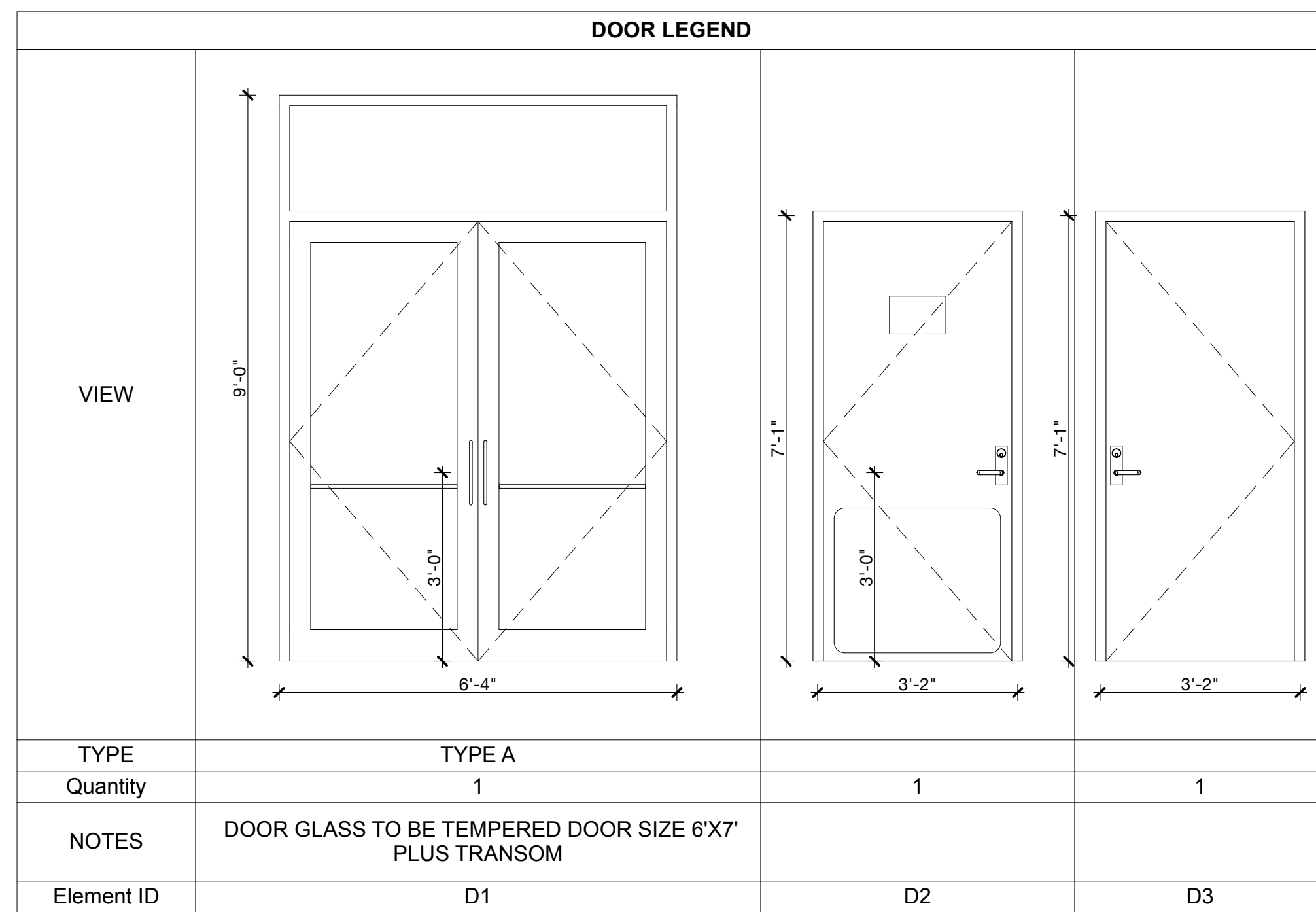
DRAWING No.:

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WINDOW #	LOCATION	MANUFACTURER	ASSEMBLY U-FACTOR	SHGC	VT	AIR LEAKAGE RATE (CFM/SF)	TYPE	WINDOW SIZE		QUANTITY	FINISH	REMARKS
								NOMINAL WIDTH	NOMINAL HEIGHT			
W1	NORTH FACADE	KAWNEER COMPANY INC. 1000 DENNY OR APPROVED EQUAL	0.368	0.338	0.616	0.05	TYPE 1	9'-5"	9'-0"	1	BLACK ANODIZED ALUMINUM	THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM & INSULATED GLASS
W2	WEST FACADE	KAWNEER COMPANY INC. 1000 DENNY OR APPROVED EQUAL	0.368	0.338	0.616	0.05	TYPE 1	18'-10"	9'-0"	1	BLACK ANODIZED ALUMINUM	THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM & INSULATED GLASS
W3	WEST FACADE	KAWNEER COMPANY INC. 1000 DENNY OR APPROVED EQUAL	0.368	0.338	0.616	0.05	TYPE 1	9'-5"	9'-0"	1	BLACK ANODIZED ALUMINUM	THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM & INSULATED GLASS



#	MANUFACTURER	ASSEMBLY U-FACTOR	SHGC	VT	AIR LEAKAGE RATE (CFM/SF)	TYPE	FIRE	NOMINAL WIDTH	NOMINAL HEIGHT	SWING	LEAF	MATERIAL	FRAME MATERIAL	HARDWARE SET	THRESHOLD	FINISH	REMARKS
D1	KAWNEER COMPANY INC. 350 THERMAL OR APPROVED EQUAL	0.593	0.240	0.395	0.2	TYPE A	1	6'	7'	L	1 3/4"	ALUM / GLASS	NA	HW-01	Axxx/01	ANODIZED ALUMINUM & TEMPERED GLASS. FRAME COLOR TO MATCH DARK GREY METAL FACADE PANEL	DOOR GLASS TO BE TEMPERED DOOR SIZE 6'X7' PLUS TRANSOM
D2								3'	7'	R	1 3/4"	HM	NA		N/A	PAINTED PT-02	
D3								3'	7'	L	1 3/4"	HM	NA	HW-03			

FINISH SCHEDULE

ITEM CODE	LOCATION	DESCRIPTION	MANUFACTURER	PRODUCT #/ FINISH
FL-01	SALE FLOOR, ATTENDANT AREA, OFFICE, UTILITY ROOM, RESTROOM	24" X 48" FIELD TILE 3/8" THICK	DAL TILE HAUT MOORE - EMPIRE BLACK HM06	UNPOLISHED GROUT: LATICRETE 45 RAVEN
PT-01	ALL WALLS AND GYP. SUSPENDED CEILING	PAINT	BERH ULTRA SATIN	FLAT PAINT, COLOR WHITE OBS: 7765 CUSTOM COLOR MATCH
PT-02	ACCENT AREAS, CORRIDOR, DOORS	PAINT	BENJAMIN MOORE	GRAPHITE 1603
PT-03	INTERIOR WALLS AS INDICATED ON PLANS	PAINT	BERH ULTRA SATIN	FLAT PAINT, COLOR 4208-S SWEET MIDORI GREEN, 0983-BASE 7753
ST-01	SALE FLOOR	STONE COUNTERTOP	SILESTONE	SILVER NUBE
ST-02	RESTROOM	PORCELAIN MOSAIC TILE	SUBWAY TILE WHITE GLOSSY 3X6	UNPOLISHED GROUT: LATICRETE 45 RAVEN
ST-03	SALE FLOOR / WALK-IN COOLER EXTERIOR	PORCELAIN MOSAIC TILE	MEROLA TILE METRO SUBWAY GLOSSY WHITE 11-3/4 IN. X 11-3/4 IN. X 5 MM. MODEL NUMBER: FXLMSSW	UNPOLISHED GROUT: LATICRETE 45 RAVEN
ST-05	PAINTED CMU	SIDE OF BUILDING PAINTED EXISTING AND NEW CMU EXTERIOR WALL	BENJAMIN MOORE	GRAPHITE 1603
WD-01	FACADE	FIBER CEMENT LAP SIDING PLANKS 6" WIDE X 24" HIGH	JAMES HARDY	STEEL GRAY COLOR
WD-02	GENERAL SALES AREA, SOFFIT	RECLAIMED WOOD CLADDING	BY OWNER	BY OWNER
WD-03	SIGNAGE PANELS (WOOD FINISH)	WOOD LAMINATE OVER RIGID PANEL	WILSONART	UPTOWN WALNUT 7971K-12 SOFT GRAIN FINISH WITH Aeon
MTL-03	CANTILEVER/ CANOPY & SIDE PANELS	ALUMINUM PANEL TRIMS	ALUCOBOND	CONTEMPORARY GRAPHITE MICA PUDF-3 / GLOSS 30
MTL-04	STOREFRONT	ALUMINUM FRAME		BLACK ANODIZED OR PAINTED
CL-01	SALE FLOOR, BATHROOM, UTILITY	PAINTED GYP. BOARD		
CL-02	UTILITY/SALE FLOOR	SUSPENDED CEILING TILES 2X4	ARMSTRONG	AMSTRONG 1761 WH
RB-01	SALE FLOOR, ATTENDANT AREA, OFFICE, UTILITY ROOM	BASEBOARD	ROPPE 700 SERIES	RUBBER- COLOR DARK GREY TRD WITH CONCRETE FLOOR

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Atlantis Management Group
555 S Columbus Ave #201 Mt. Vernon NY 10550
contact: Danny Porco
T. 347 249-6302 E. Dporco@atlantismgmt.com

MEP ENGINEER:

STRUCTURAL ENGINEER:

CIVIL ENGINEER:

EXPEDITING & CODE CONSULTANT:

CONTRACTOR:

KEY PLAN

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SEAL & SIGNATURE



PROJECT:
ATLANTIS FRESH MARKET
Convenience Store

216 East Ave
Norwalk, CT 06855
MBLU: 3-9-14-0

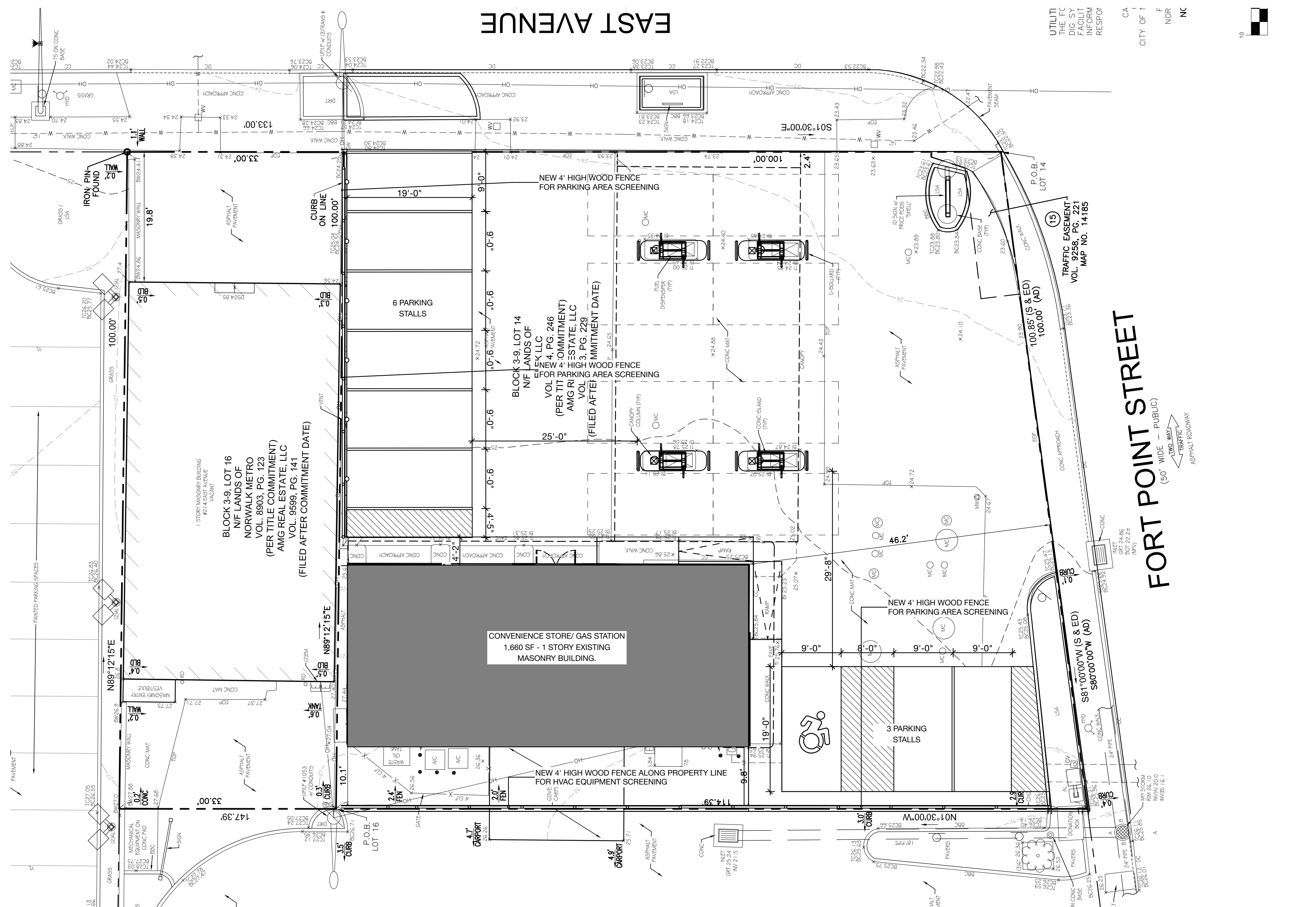
DATE: 5/19/26 PROJECT #: 2402

SHEET NAME:

DOOR, WINDOW, HARDWARE AND FINISH SCHEDULES

DRAWING No.:

A.001.00



02 NOTED SURVEY
SCALE: 1" = 10'

THIS PLAN IS USING AS REFERENCE THE PROPERTY SURVEY PRODUCED BY GALLAS SURVEYING GROUP AND SIGNED BY CHARLES J. OSBORNE III, DATED 11/28/2023

**ZONING INFORMATION TABLE - TOWN OF NORWALK
216-214 EAST AVE, NORWALK, CT**

Mblu : E13-182
ZONING DISTRICT : GENERAL URBAN COMMUNITY DISTRICT (CD-3 ZONE)
EXISTING USE: GAS STATION/CONVENIENCE STORE WITH VEHICLE REPAIR
PROPOSED USE: GAS STATION WITH A CONVENIENCE STORE

PARKING CALCULATIONS

ZR-CH 118-1210 AMOUNT OF MOTOR VEHICLE PARKING SPACE TO BE PROVIDED

12.(a). RETAIL STORES, INCLUDING PERSONAL AND BUSINESS SERVICE ESTABLISHMENTS, AND RETAIL ACCESSORY TO BOUTIQUE MANUFACTURING:

1 parking space per 200 square feet of active commercial floor area.

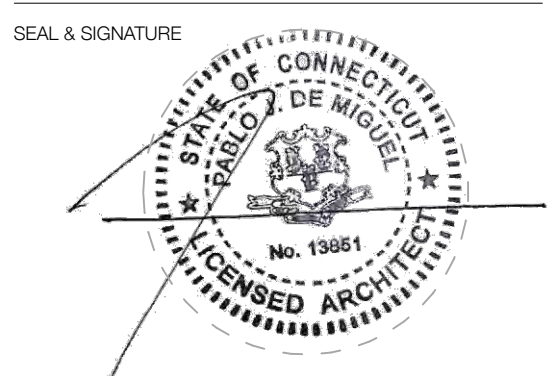
19.(b). MOTOR VEHICLE SERVICE AND GAS STATIONS - GAS STATION:

1 parking space per pump island.

	EXISTING	PROPOSED
12. CONVENIENCE STORE (RETAIL) = 1,480 SQ.FT / 200 = 7.4 (8 PARKING SPACES)		
19. GASOLINE FILLING STATION (4 PUMP ISLANDS) 4 X 1 = 4 PARKING SPACES		
TOTAL REQUIRED AS PER ZR: 12 PARKING SPACES (1 ADA + 11 REGULAR)	NOT DEFINED + 8 AT PUMPS	9 SPACES (1 VAN ADA) + 8 AT PUMPS

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Convenience Store
216 East Ave
Norwalk, CT 06855
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DATE: 5/19/26 PROJECT #: 2402

SHEET NAME:

PROPOSED SITE PLAN

DRAWING No.:

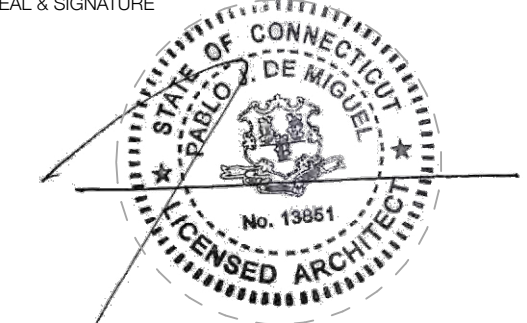
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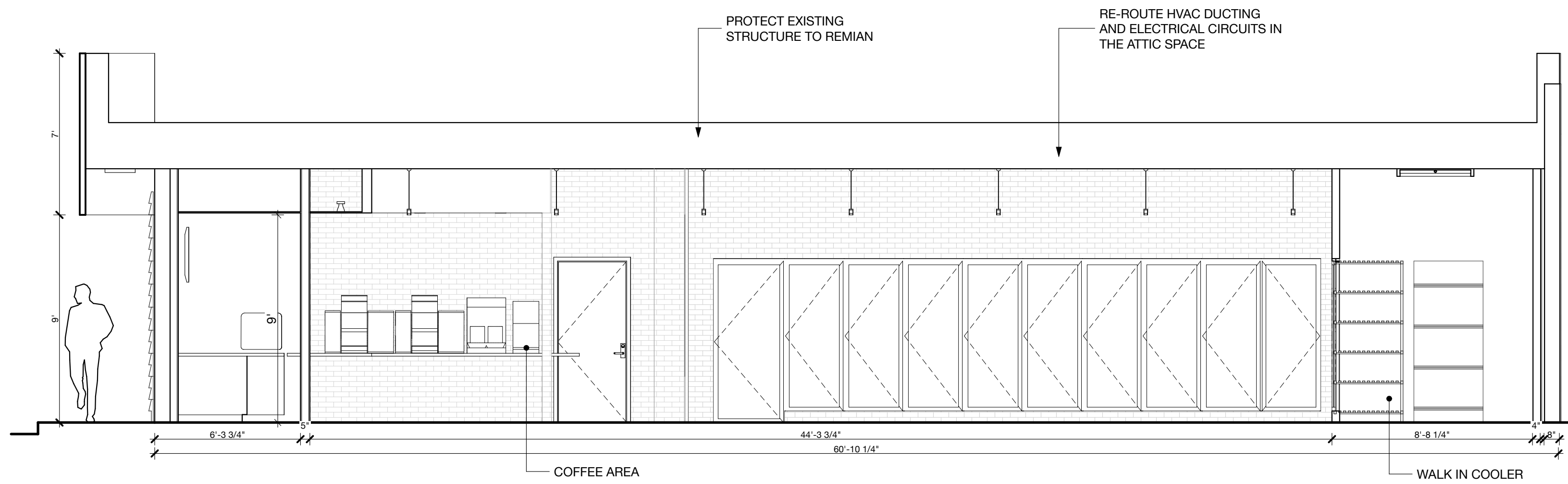


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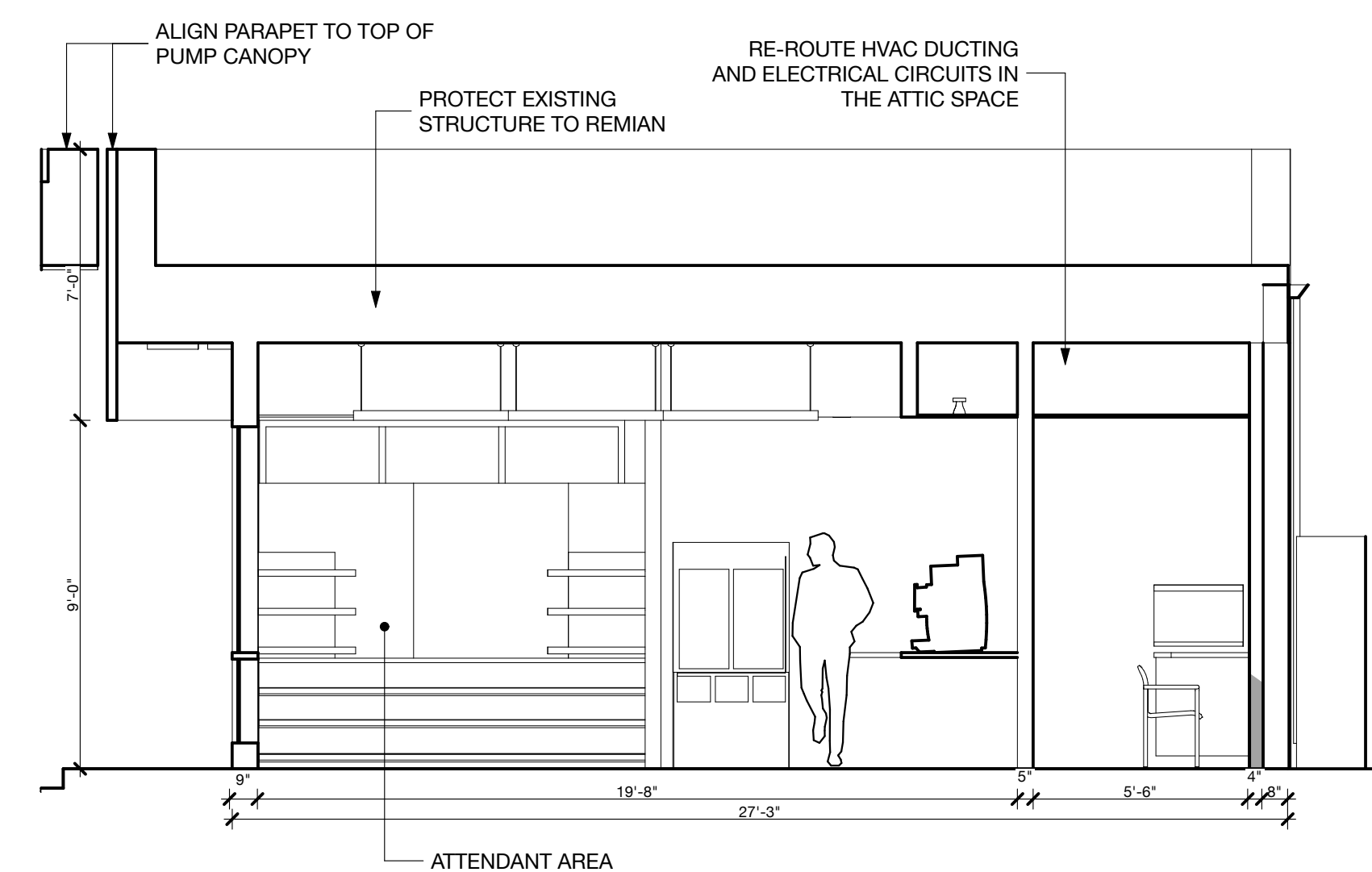
SHEET NAME:
TYP. BUILDING SECTIONS

DRAWING No.:

A.200.00



1 BUILDING SECTION
 SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
 SCALE: 1/4" = 1'-0"

OWNER:

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contact: Danny Porco
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SIGNS CALCULATIONS
CD-3 Zone

SIGN A (ON PINS) AREA: 25 S.F. (Wall sign) < 32 SF
SIGN B (W/ INTERNAL ILLUMINATION) AREA: 35 S.F. (Band Sign) < 90SF

TOTAL SIGN AREA : 60 SF.

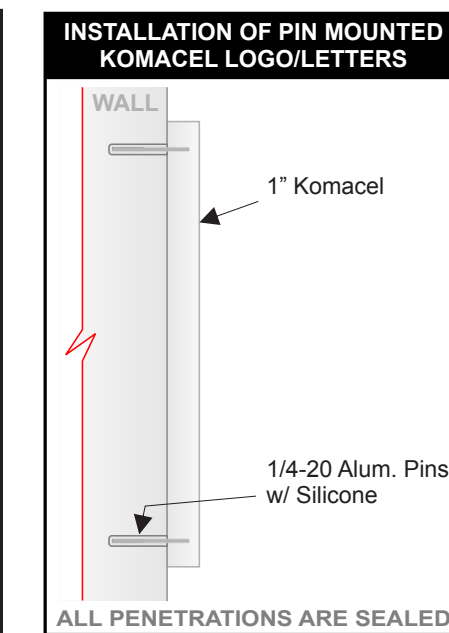
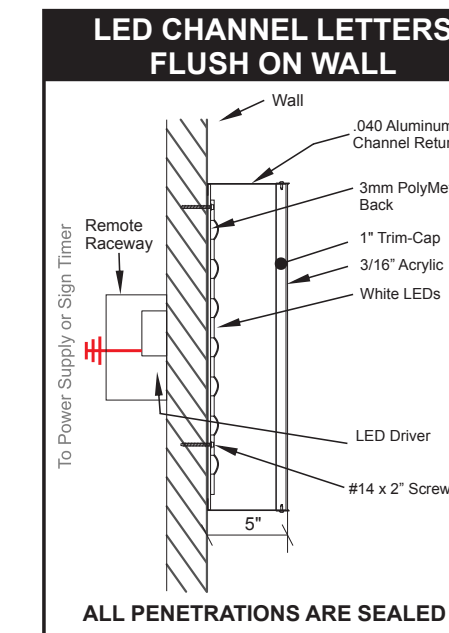
Facade linear Ft = 60' x 1.5 = **90 SF. Max.**

ARTICLE 7 :

Band Sign . 1 x business . 1.5 SF per linear ft of facade / max. 3ft high
Wall Sign . 1 x business , max. 32 sf

EXTERIOR FINISH SCHEDULE

ITEM CODE	LOCATION	DESCRIPTION	MANUFACTURER	PRODUCT #/ FINISH
WD-01	FACADE	FIBER CEMENT LAP SIDING PLANKS 6" HORIZONTAL SMOOTH FINISH	JAMES HARDY	PAINT GRAPHITE 1603 BENJAMIN MOORE
WD-02	FACADE / TRIMS	FIBER CEMENT PANELS -SMOOTH FINISH	JAMES HARDY	PAINT GRAPHITE 1603 BENJAMIN MOORE
WD-03	FACADE /FEATURE	FIBER CEMENT LAP SIDING PLANKS 6" HORIZONTAL CEDARMILL FINISH	JAMES HARDY	PAINT WEATHERED OAK 1050 BENJAMIN MOORE
MTL-01	STOREFRONT	ALUMINUM FRAME W/ THERMAL BREAK AND LOW-E DOUBLE GLASS	TBD	BLACK ANODIZED
MTL-03	CANTILEVER/ CANOPY & SIDE PANELS	ALUMINUM PANEL TRIMS	ALUCOBOND	CONTEMPORARY GRAPHITE MICA PVDF-3 / GLOSS 30
ST-05	PAINTED CMU	SIDE OF BUILDING PAINTED EXISTING AND NEW CMU EXTERIOR WALL	BENJAMIN MOORE	GRAPHITE 1603



SIGN A: NON - ILLUMINATED KOMACEL STAR LOGO

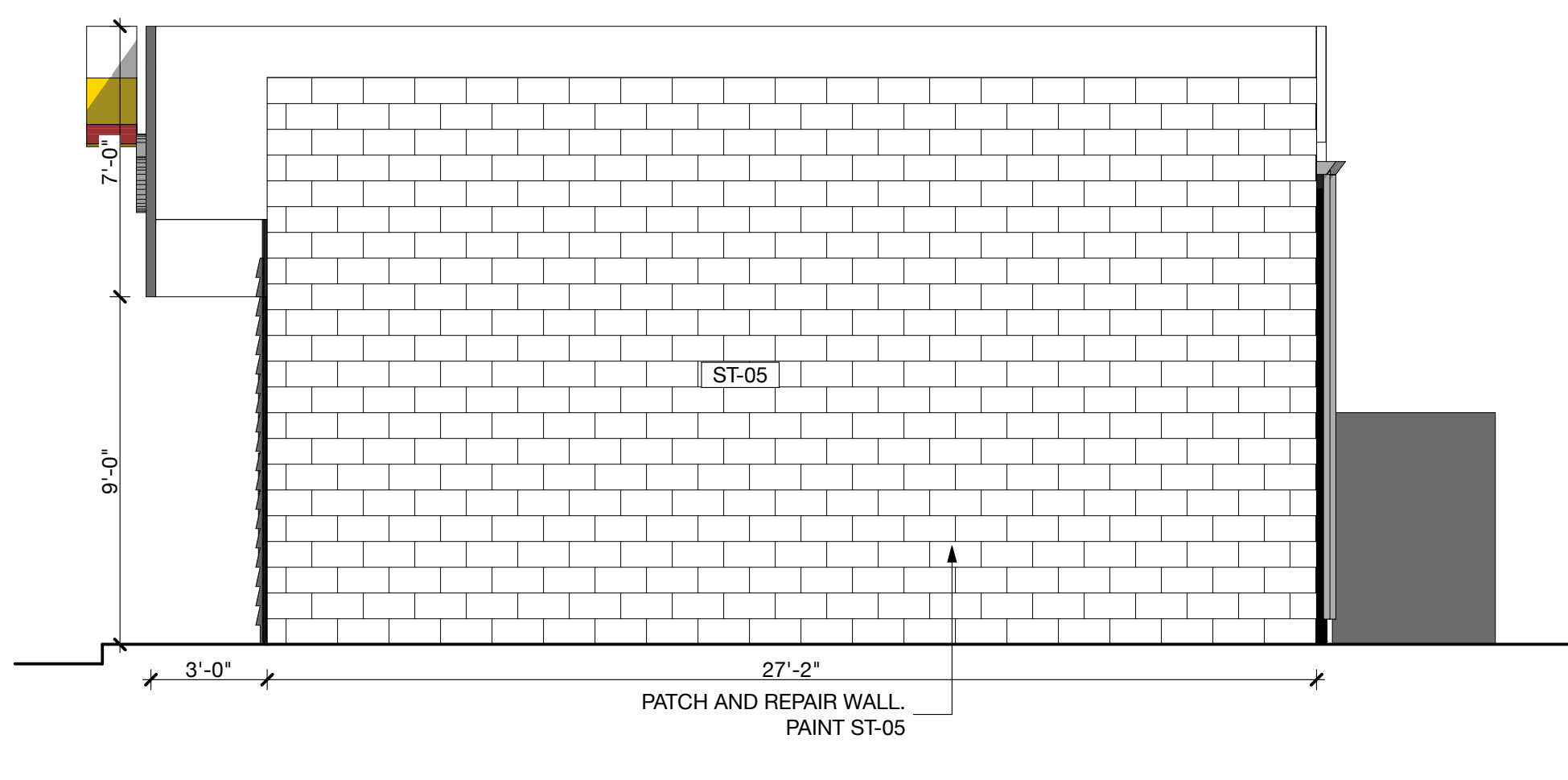
COLORS: ORACAL SILVER FACES - PRIMED AND PAINTED SILVER RETURNS
STAR SIZE : 5" X 5"
ILLUMINATION : NONE.

SIGN A AREA : 25 SQ.FT.

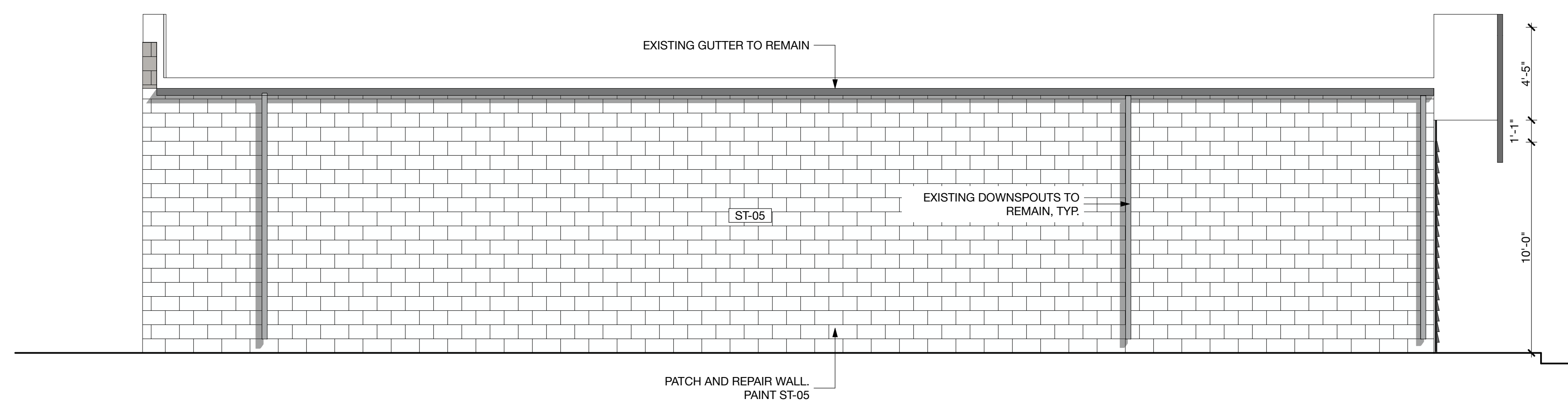
SIGN B: INDIVIDUALLY ILLUMINATED CHANNEL LETTERS

COLORS: LETTER RETURNS 4.5" DEEP BLACK ALUMINUM W/ 1" BLACK TRIM CAP; WHITE ACRYLIC FRONTS; GREEN ACRYLIC FRONT TO MATCH PANTONE 361C.
LETTER SIZES : "ATLANTIS" 11'-2" W X 1'-3" H X 4.5" D; "FRESH MARKET" 10'-9" W X 6" H X 4.5" D
ILLUMINATION : GE WHITE LEDS W/REMOTE DRIVER . 5.5 TOTAL AMP W/ 100W DRIVERS (2.2 AMP EACH)

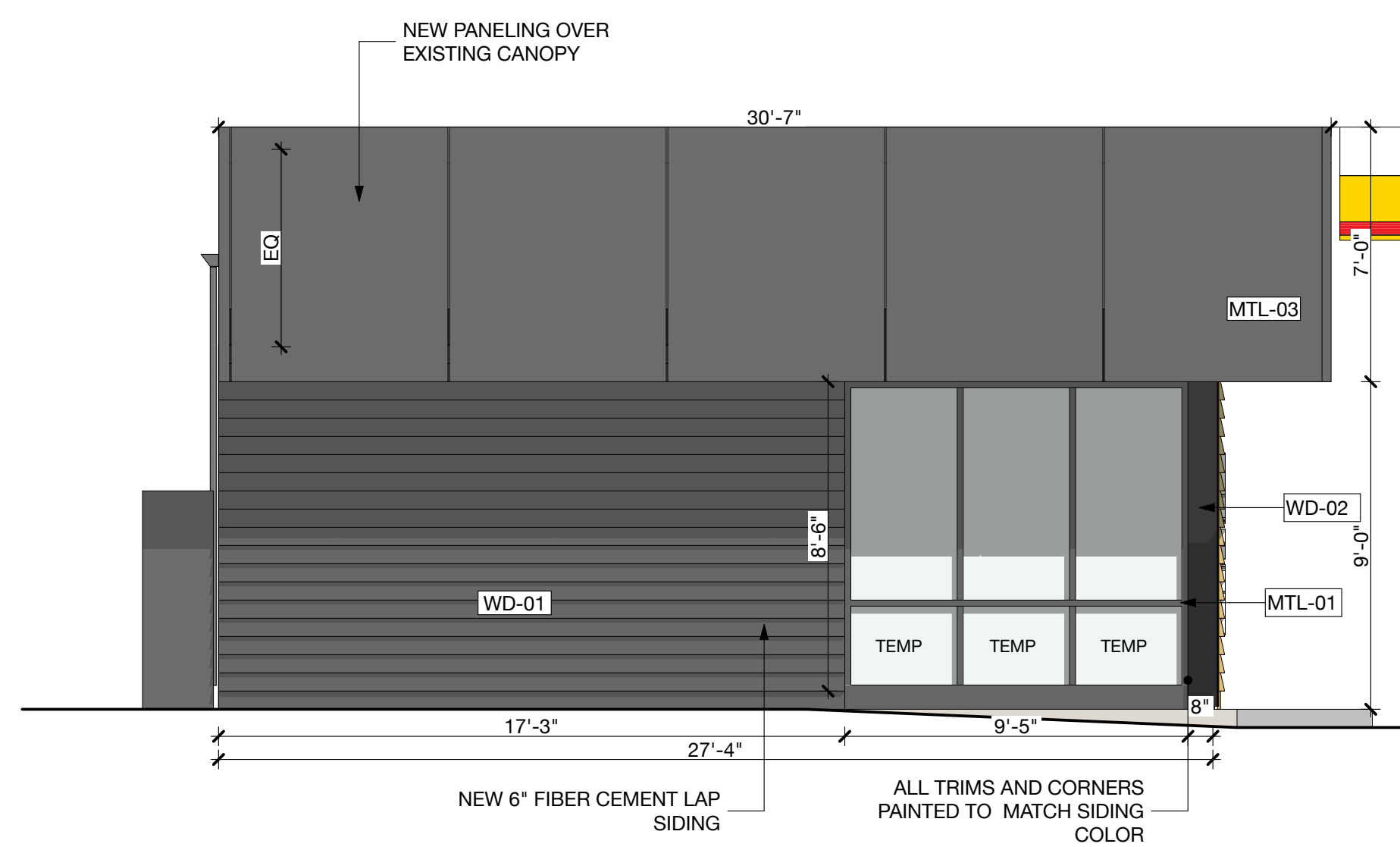
SIGN B AREA : 24.19 SQ.FT.



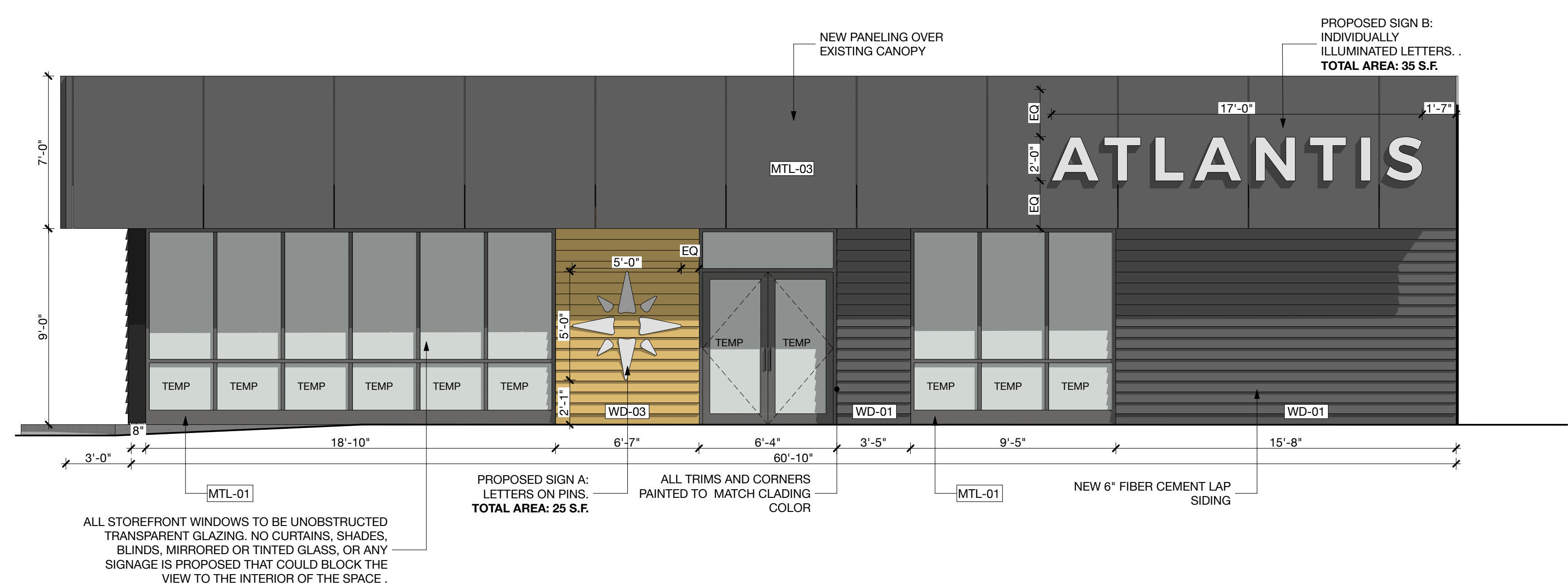
1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
SCALE: 1/4" = 1'-0"

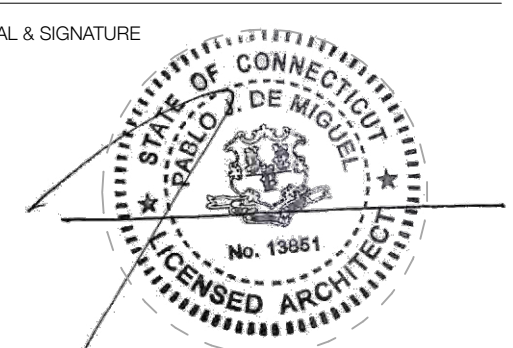


4 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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SEAL & SIGNATURE



PROJECT:
ATLANTIS FRESH MARKET
Convenience Store

216 East Ave
Norwalk, CT 06855
MBLU: 3-9-14-0

DATE: 5/19/26 PROJECT #: 2402

SHEET NAME:

PROPOSED BUILDING ELEVATIONS

DRAWING No.:

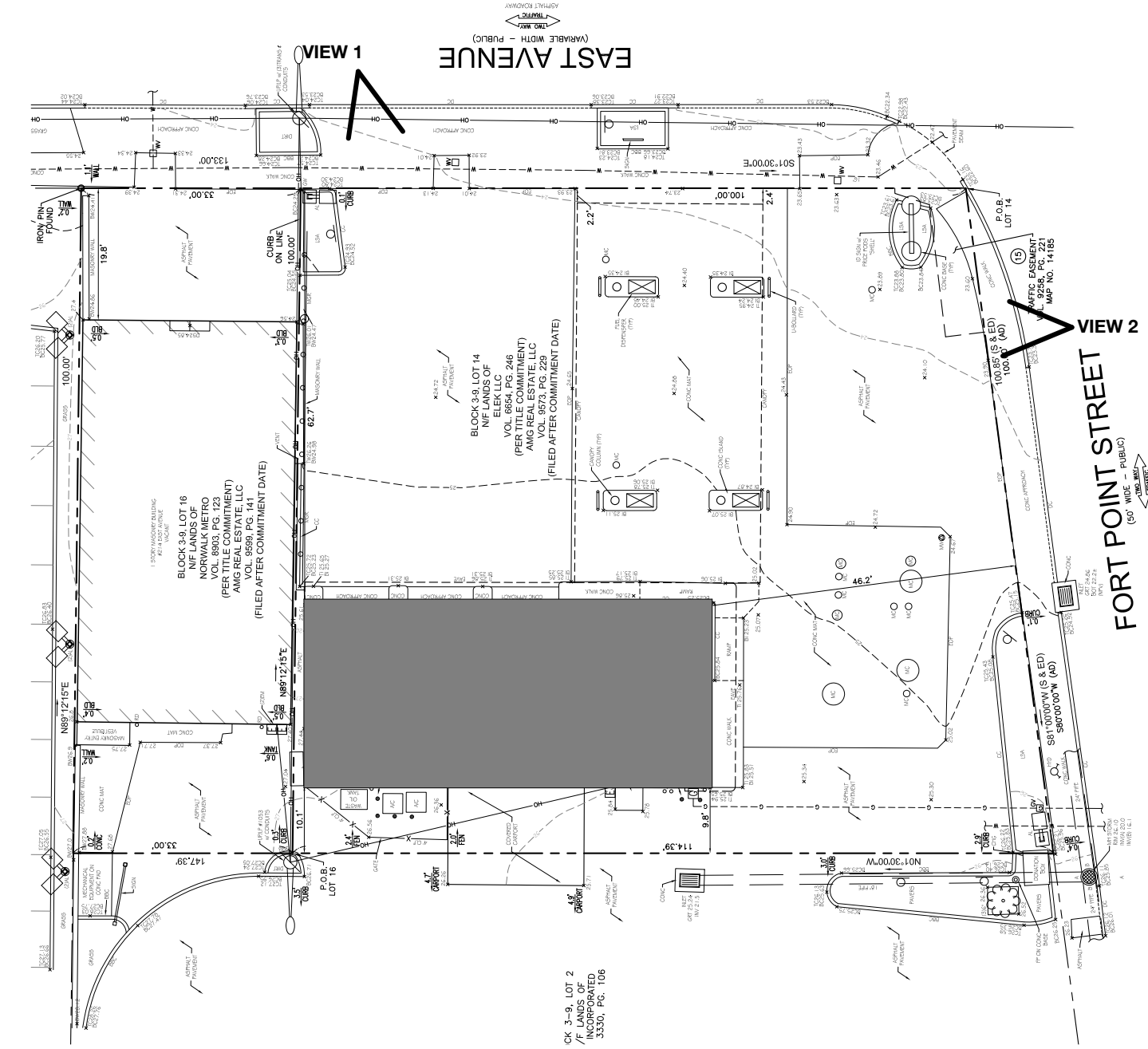
A.201.00



PROPOSED BUILDING DESIGN - VIEW 1



PROPOSED BUILDING DESIGN - VIEW 2



KEY PLAN
SCALE: N.T.S.

OWNER:

Atlantis Management Group
555 S Columbus Ave #201 Mt. Vernon NY 10550
contact: Danny Porco
T. 347 249-6302 E. Dporco@atlantismgmt.com

MEP ENGINEER:

STRUCTURAL ENGINEER:

CIVIL ENGINEER:

EXPEDITING & CODE CONSULTANT:

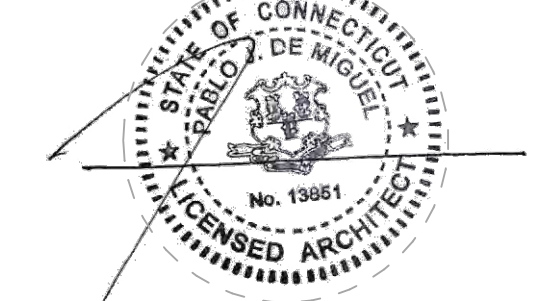
CONTRACTOR:

KEY PLAN

ISSUE	DATE	DESCRIPTION
4	05/19/2026	issued for filing
3	03/17/2026	issued for filing
2	08/21/2025	issued for filing
1	06/30/2025	issued for review

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SEAL & SIGNATURE



PROJECT:
ATLANTIS FRESH MARKET
Convenience Store
216 East Ave
Norwalk, CT 06855
MBLU: 3-9-14-0

DATE: 5/19/26 PROJECT #: 2402

SHEET NAME:
PROPOSED BUILDING VIEWS

DRAWING No.:

A.800.00

162 14th Street
 Brooklyn NY 11215
 T. 646 265 0338 E. hola@pablodemiguel.com
 W. www.pablodemiguel.com

OWNER:
Atlantis Management Group
 555 S Columbus Ave #201 Mt. Vernon NY 10550
 contact: Danny Porco
 T. 347 249-6302 E. Dporco@atlantismgmt.com

MEP ENGINEER:

STRUCTURAL ENGINEER:

CIVIL ENGINEER:

EXPEDITING & CODE CONSULTANT:

CONTRACTOR:

KEY PLAN



PHOTO 1



PHOTO 2



PHOTO 3



PHOTO 4



PHOTO 5



PHOTO 6



PHOTO 7



PHOTO 8



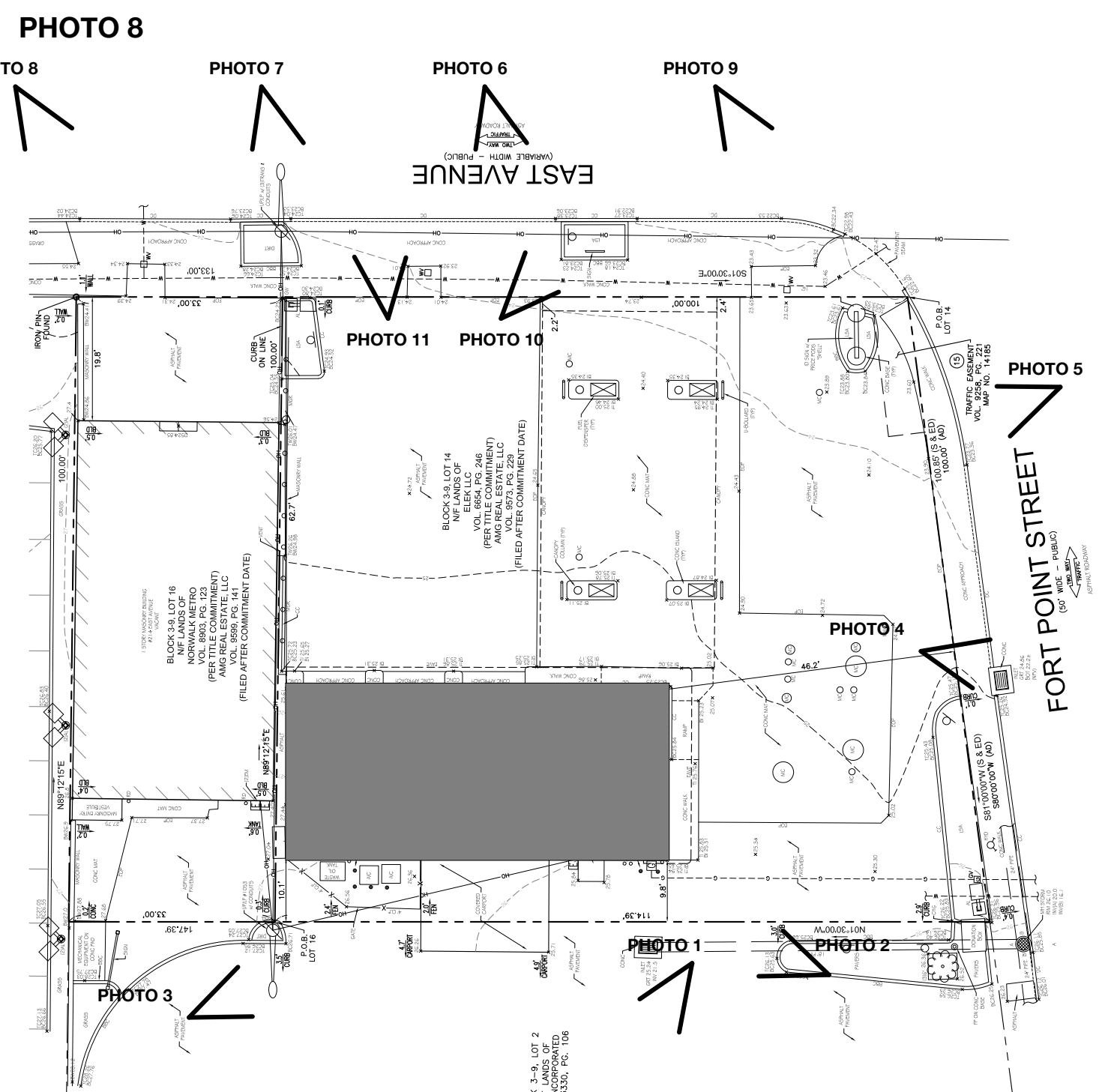
PHOTO 9



PHOTO 10



PHOTO 11

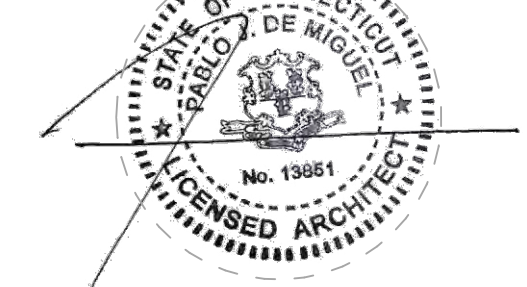


KEY PLAN
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SEAL & SIGNATURE



PROJECT:
ATLANTIS FRESH MARKET
 Convenience Store

216 East Ave
 Norwalk, CT 06855
 MBLU: 3-9-14-0

DATE: 5/19/26 PROJECT #: 2402

SHEET NAME:
EXISTING CONDITIONS PHOTOGRAPHS

DRAWING No.:

A.801.00

PLANNING & ZONING COMMISSION
125 EAST AVENUE
P.O. BOX 5125
NORWALK, CONNECTICUT 06856-5125

REQUIREMENTS FOR SUBMISSION OF ZONING AMENDMENT APPLICATION

APPLICATION INFORMATION (3 HARD COPIES AND A DIGITAL COPY REQUIRED)

1. **Fee: \$1,060.00**
Submitted herewith.

2. **Applicant's name and address**
Shangri-La CT Inc.
1401 Creekwood Parkway
Columbia, MO 65202

3. **Street address of applicant's property affected by proposed amendment and district, block and lot number. Applications for amendments which are accompanied by a site plan, special permit or zone change shall list all adjoining property owners and all property owners directly across the street from the subject property.**

75 Connecticut Avenue & 430 Main Avenue
Norwalk, Connecticut
Assessor's Map No. 15NW, 12SW
District 2, Block 8, Lot 21 and District 5, Block 22B, Lot 11
Since no site plan, special permit or zone change application accompanies this application for zoning text amendment, the list of adjoining property owner and those directly across the street are not required and therefore, not submitted.

4. **Provide the text of the proposed amendment, including appropriate article, section and paragraph references, and a written narrative with reasons for the requested change in the zoning regulations and the effect upon other similarly zoned areas of the city, if such change were approved.**
See Schedule A attached hereto and made a part hereof.

5. **Provide a zoning history of the property and its adjacent area, beginning in 1929, and the current Plan of Development category for the property.**
The Applicant seeks a waiver of this requirement.

6. **Provide dates of any previous zoning amendments or map changes, special exceptions, and/or variances requested for same property or portion thereof, including the file name and number and a copy of any variances(s) requested and granted.**

The Applicant seeks a waiver of this requirement.

7. **Provide maps of area in the vicinity of the applicant's property and all other properties with 500' radius (1" = 100') showing:**
 - a. **Current zoning of all property**
 - b. **All other property within 500' radius owned by the applicant**
 - c. **All properties that will become nonconforming uses as a result of the requested change.**

The Applicant seeks a waiver of this requirement since the amendment relates solely to hours of operation.

8. **Provide a map of the city showing all zones affected by the zoning amendment including a calculation of the areas involved.**

The Applicant seeks a waiver of this requirement since the amendment relates solely to hours of operation.

9. **PUBLIC ACT NO. 95-320 requires that approval of building applications be withheld when taxes are delinquent for a property. Please stop at the Tax Collector's Office (Rom 105) to get written confirmation of your tax status before submitting an application for zoning approval. Copies of the form are available in the Planning & Zoning and Tax Collector's Offices.**

Submitted herewith.

10. **Notice Requirements.**

If the amendment is accompanied by a site plan or special permit application, the applicant shall notify by certified mail, return receipt requested at least ten (10) days prior to the public hearing, the owners of land which abut or are directly across the street from the area affected by the amendment or site plan. The names of the owners shall be taken from the latest Tax Assessor records. When a condominium is located within, across the street, or abuts the subject parcel, notification may be sent to the condominium association in lieu of the individual unit owners. Evidence of certified mailings shall be submitted by application on or before the public hearing date. This text amendment application is not accompanied by a site plan or special permit application, so no notice to neighbors is required.

11. **Traffic & Drainage Reports: Applicants which will have a significant impact upon drainage or traffic conditions shall include the following information, computed on the basis of any of the uses the zoning would allow, calculated on the maximum development potential of the site, and upon the contemplated development, if any. (Eleven copies required).**

Applicant seeks a waiver of these requirements because the text amendment relates to added hours of operation to align with state statutes. The increased number of customers is not expected to affect traffic generation or patterns or onsite drainage.

Respectfully submitted this the 6th day of May 2026.

Shangri-La-CT, Inc.

By *Carmody Torrance Sandak & Hennessey LLP*
Carmody Torrance Sandak & Hennessey, LLP
Its Attorneys
1055 Washington Boulevard
4th Floor
Stamford, CT 06901
203-425-4200

SHANGRI-LA CT, LLC
75 CONNECTICUT AVENUE & 430 MAIN AVENUE NORWALK, CT
APPLICATION FOR ZONE TEXT AMENDMENT
NARRATIVE – REASONS FOR REQUESTED AMENDMENT
SCHEDULE A

I. BACKGROUND

Shangri-La CT, LLC (hereinafter the “Applicant”) is the owner of two (2) cannabis dispensaries in Norwalk, CT, approved by the Planning & Zoning Commission in 2023. One is located at 75 Connecticut Avenue, with the other at 430 Main Avenue.

As part of the approval and as specified in the Zoning Regulations of the City of Norwalk (“zoning regulations”), retail cannabis dispensaries have limited hours. Specifically, they may be open in Norwalk Monday through Saturday from 9 am to 8 pm and on Sundays from 9 am to 5 pm.

II. PROPOSAL

Recent Connecticut state statutory changes¹ modified the permissible hours of operation for retail cannabis dispensaries. Under Connecticut General Statutes Sec. 22a-422f(f), the hours of operation have been codified and increased as follows: Monday through Saturday from 8 am to 10 pm and Sundays from 10 am to 6 pm.

The Applicant herewith proposes to amend the zoning regulations to align the permissible hours of operation for retail cannabis dispensaries to be consistent with C.G.S. Sec. 22a-442f(f). The result would be an additional 18 hours per week that the Applicant’s dispensaries would be open to customers Monday through Saturday, with a revision to the permissible Sunday hours of operation.

Sec. 4.3.9.G.4.o.(20), Sec. 4.3.9.G.4.q.(20) and Sec. 4.3.9.G.4.v.(20) of the zoning regulations currently read as follows:

“Dispensary Facilities, Hybrid Retailers, and Retailers shall operate only between the hours of Monday through Saturday 9:00 AM to 8:00 PM, and on Sundays from 9:00 AM to 6:00PM.”

The Applicant proposes the following language to Sec. 4.3.9.G.4.o.(20), Sec. 4.3.9.G.4.q.(20) and Sec. 4.3.9.G.4.v.(20) of the zoning regulations:

“Dispensary Facilities, Hybrid Retailers, and Retailers shall operate only between the hours of **Monday through Saturday 8:00 AM to 10:00 PM, and on Sundays from 10:00 AM to 6:00 PM.**”

This is a reasonable and rational amendment that would bring the zoning regulations into conformity with state statutory provisions. It would result in eighteen (18) additional hours of operation. Further, the Applicant estimates that the extended hours would likely result in seven (7) additional customers per hour at the Connecticut Avenue location, with approximately 15 additional customers at the Main Avenue dispensary, with the associated sales at both sites. Neither increase will result in adverse

¹Public Act 25-166

impacts to traffic generation or roadway operations. To date, there have been limited calls to the Norwalk Police Department at either Shangri-La dispensaries in Norwalk other than for false alarms, and one matter involving a disturbance with a customer at the 430 Main Avenue dispensary.

The proposed text amendment is consistent with overarching goals of the City of Norwalk's advisory Plan of Conservation & Development (POCD) which was adopted by the Common Council in October 2019 and which became effective in December 2019. Notably, the POCD recognized that "[h]ealthy, vibrant cities are constantly evolving in big and small ways to remain desirable by meeting changing demands." (POCD Ch. 12, p. 223).

When considering an amendment to zoning regulations a Zoning Commission acts in a legislative capacity and is therefore ". . . free to amend its regulations whenever time, experience and responsible planning for contemporary or future conditions reasonably indicate the need for a change." Konigsberg v. Board of Aldermen of the City of New Haven, 283 Conn. 553, 582-583 (2007). Moreover, such legislative discretion is wide and liberal. Id.



MEMORANDUM

July 1st, 2026

TO: Planning and Zoning Commission – Chapin Bryce, Chair

FROM: Michelle Andrzejewski, Senior Planner

SUBJECT: #2026-40 R – Shangri-La CT, LLC – Zoning Regulation Text Amendment to Article 4 regarding the hours of operation for Cannabis Dispensary Facility, Cannabis Hybrid Retailer, and Cannabis Retailer.

Commissioners,

Staff has received a Zoning Regulation Text Amendment application to modify the hours of operation for Cannabis Dispensary Facilities, Cannabis Hybrid Retailers, and Cannabis Retailers.

The application has been referred to the required agencies, including the Connecticut Department of Energy and Environmental Protection (DEEP), Harbor Management Commission, Town of Darien, Town of Westport, Town of Wilton, and the Western Council of Governments (WestCOG). Staff has received no objections or comments regarding the proposed amendments. Staff also requested review and comment from the Norwalk Chief of Police, who indicated that he has no objections to the proposed changes.

In accordance with the required public notice procedures, the application has been filed with the Norwalk Town Clerk's Office, and legal notices have been published in the Norwalk Hour.

STAFF COMMENTS: Staff does not have any concerns regarding the proposed changes and none of the current retail cannabis locations have zoning violations. The State has modified the hours of operations after Norwalk adopted Cannabis zoning regulations. The proposal is in keeping with what the State currently allows.

PROPOSED CHANGES:

Proposed text is indicated in **red text**, deleted text is indicated as ~~struck through~~, existing text is indicated in black text. (Applicable for Article. 4.3.9.G.4.0.(20), Article. 4.3.9.G.4.q.(20) and Article. 4.3.9.G.4.v.(20) of the zoning regulations)

“Dispensary Facilities, Hybrid Retailers, and Retailers shall operate only between the hours of Monday through Saturday **8:00AM to 10:00PM** ~~9:00 AM to 8:00 PM~~, and on Sundays from **10:00AM to 6:00PM** ~~9:00 AM to 6:00PM.~~”

Application materials can be found here: <https://www.norwalkct.gov/3821/Zoning-Regulations-Amendment---Cannabis->

Norwalk Zoning Regulations Article 4:

<https://www.norwalkct.gov/DocumentCenter/View/34797/Norwalk-Building-Regulations-ART4-Bldg-Lot-Building-Site-Standards?bidId=>

The following resolution are offered:

DRAFT RESOLUTION TO APPROVE

BE IT RESOLVED that application #2026-40 R – Shangri-La CT, LLC – Zoning Regulation Text Amendment to Article 4 regarding the hours of operation for Cannabis Dispensary Facility, Cannabis Hybrid Retailer, and Cannabis Retailer be **APPROVED** to implement the following goals, policies, strategies, and actions of the Norwalk Plan of Conservation and Development:

1. Chapter 3, Goal 1: “Norwalk has the right policies, infrastructure, and leadership for business growth and development”
 - a. Policy: “Support development of infrastructure and amenities attractive to businesses and workers”
2. Chapter 3, Goal 3: “Continue to strengthen Norwalk’s urban core with a mix of uses to attract residents, visitors, and businesses.”
 - a. “Enhance business attraction and expansion tool in the Urban Core area.”

BE IT FURTHER RESOLVED that the effective date of this approval shall be July 10th, 2026.

PLANNING & ZONING COMMISSION

City of Norwalk, Connecticut
125 East Avenue, P.O. Box 5125, Norwalk, CT 06856-5125

ZONING TEXT AMENDMENT APPLICATION

1. APPLICANT INFORMATION

Applicant Name: 595 Westport LLC

Applicant Address: 22 Peach Hill Road, Darien, CT 06820

Street Address of Property: 595 Westport Avenue – Unit 2A, Norwalk, Connecticut

Zoning District: CD-3C

Note: This application is for a zoning text amendment only. There is no associated site plan, special permit, or zone change application. Accordingly, notification to adjoining property owners and properties directly across the street is not required.

2. PROPOSED ZONING TEXT AMENDMENT

Article/Section Reference: Norwalk Zoning Regulations Article 9.3 – Definitions Section (Definition of "Medical Office")

Current Definition (Proposed to be Amended):

Medical Office: An establishment used by a licensed health care provider which does not include any hospital or outpatient surgical care facilities as defined by the Connecticut Department of Public Health.

Proposed Amended Definition:

Medical Office: An establishment used by a licensed health care provider which does not provide in-patient services. Medical Office includes but is not limited to "outpatient clinic," "outpatient surgical facility," and "urgent care center," as defined by the Connecticut General Statutes or Offices utilized by licensed health care providers.

Note on the Origin of This Application: Although this filing is structured as a citywide text amendment to the definition of "Medical Office," it is prompted in part by specific market conditions at 595 Westport Avenue. The property has received meaningful interest from prospective medical tenants, including providers offering outpatient and surgical services, for whom the current restrictive definition creates regulatory uncertainty and effectively forecloses occupancy without the definitional clarification sought herein. Rather than pursue a parcel-specific relief mechanism, the applicant elected to address the issue at the definitional level, both because the existing language is facially inconsistent with how medical practice is conducted today and because the fix, if warranted, benefits the City as a whole.

3. WRITTEN NARRATIVE – REASONS FOR REQUESTED AMENDMENT

A. Purpose and Background

595 Westport LLC is the owner of property located at 595 Westport Avenue, Norwalk, Connecticut, situated within the CD-3C zoning district. The applicant seeks to amend the definition of "Medical Office" in the Norwalk Zoning Regulations to remove language that currently precludes outpatient and/or outpatient surgical services from qualifying as a "Medical Office" use.

The current definition of "Medical Office" as written in the Norwalk Zoning Regulations contains restrictive language that excludes certain outpatient services, specifically outpatient surgical or procedural services, from the definition of the use. This exclusionary language is inconsistent with modern medical practice and the evolving nature of healthcare delivery in Connecticut and nationally.

B. Consistency with Modern Healthcare

Over the past two decades, advances in medical technology, anesthesia, and minimally invasive surgical techniques have resulted in a dramatic shift from inpatient to outpatient delivery of a wide range of medical procedures. Procedures that previously required hospital admission are now routinely and safely performed in outpatient settings including physician offices, ambulatory surgery centers, and multi-specialty medical office facilities.¹ This shift has been encouraged and endorsed by federal and state health policy, including by the Centers for Medicare & Medicaid Services, which has systematically expanded the Ambulatory Surgical Center Covered Procedures List and phased down its Inpatient-Only list,² and by the Connecticut Department of Public Health, which licenses and regulates outpatient surgical facilities under Conn. Gen. Stat. § 19a-493b.³

Restricting the definition of "Medical Office" to exclude outpatient surgical or procedural services results in a definition that does not reflect the realities of contemporary medical practice and creates regulatory ambiguity for property owners, healthcare providers, and the Commission itself. The amendment proposed herein would bring the Norwalk Zoning Regulations into conformity with how medical office uses are commonly understood and regulated in Connecticut and throughout the region.

C. No Adverse Impact on Health, Safety, or Welfare

Outpatient medical and surgical facilities are regulated at the state level by the Connecticut Department of Public Health and, where applicable, by the federal Centers for Medicare and Medicaid Services. These regulatory frameworks establish comprehensive standards for patient safety, staffing, physical plant requirements, and quality of care.⁴ No additional local land use regulation is necessary or appropriate to govern the clinical aspects of outpatient medical care.

From a land use perspective, outpatient surgical services generate traffic patterns, parking demands, and operational characteristics that are substantially similar to and consistent with general medical office uses. The removal of the exclusionary language from the definition will not result in any adverse land use impacts beyond those already associated with a permitted Medical Office use. This conclusion is supported by published trip generation data from the Institute of Transportation Engineers (ITE Trip Generation Manual, 11th Edition, 2021), which shows that Medical-Dental Office Buildings (ITE Code 720) — the use already permitted in the CD-3C zone — generate approximately 36–43 daily vehicle trips per 1,000 square feet, and that outpatient clinic facilities (ITE Code 630), the closest analog to an ambulatory surgical center, generate trips measured per employee rather than per square foot, reflecting the controlled, appointment-driven patient throughput characteristic of surgical facilities. Traffic engineers routinely apply ITE Code 720 to ambulatory surgical centers in traffic studies, meaning that from

a trip generation standpoint, an outpatient surgical use at a site already permitted for Medical Office creates no new or unanticipated traffic burden beyond what the existing zoning already authorizes.⁵

D. Effect on Similarly Zoned Properties Citywide

This application seeks a text amendment to the definition of “Medical Office” applicable citywide, not merely a site-specific change. The Norwalk Zoning Regulations (Table 4.3.9.A, Building, Lot & Building Site Principal Uses) currently authorize “Medical Office” as a permitted or conditionally permitted use in eight (8) zoning districts. The following table sets forth the permission status in each affected district and the applicable use-specific conditions imposed under Section 4.3.9.G(bg) of the Regulations:

Zone	Status	Applicable Conditions (§ 4.3.9.G(bg))
CD-3	PL	Corner lots only unless on Main St/Downtown St/Neighborhood Connector/Urban Corridor typology or O-EVTZ overlay; Site Plan required for 2,500–5,000 SF; Special Permit required over 5,000 SF.
CD-3W	PL	Site Plan required for 2,500–5,000 SF; Special Permit required over 5,000 SF.
CD-3C	P	Permitted by Right — no location restriction, no size threshold triggering Site Plan or Special Permit for Medical Office use. Zone of the subject property (595 Westport Ave).
CD-4	P	Permitted by Right — no use-specific conditions listed in Section 4.3.9.G(bg).
CD-4W	P	Permitted by Right — no use-specific conditions listed in Section 4.3.9.G(bg).
SD-H	P	Permitted by Right — no use-specific conditions listed in Section 4.3.9.G(bg).
SD-LI	PL	Ground floor location prohibited — Section 4.3.9.G(bg)(3)(a). This restriction operates independently of the definition and is unaffected by the proposed amendment.
CV	SPU	Special Permit required — Section 8.4.8. The Commission retains full discretionary review over any Medical Office use in conservation districts. The proposed amendment does not alter this requirement.

Source: City of Norwalk Zoning Regulations, Table 4.3.9.A (Building, Lot & Building Site Principal Uses) and Section 4.3.9.G(bg) (Medical Office — Use-Specific Standards). P = Permitted by Right; PL = Permitted by Right with Limitations; SPU = Special Permit Use.

The effect of the proposed amendment on these eight districts is uniformly neutral from a regulatory standpoint and uniformly beneficial from a land use standpoint. The amendment does not alter the zone-by-zone permission structure, it does not add Medical Office as a use in any district where it is currently Not Permitted, it does not eliminate any size threshold, corner lot requirement, or Special Permit trigger, and it does not remove or modify any of the use-specific conditions set forth in Section 4.3.9.G(bg). All of those requirements continue to apply unchanged. What the amendment does is ensure that the definition of “Medical Office” accurately reflects modern medical practice, so that properties in these districts may be used for the full spectrum of outpatient services that the regulations clearly contemplate, including outpatient surgical services, without the need for the type of definitional work-around that the current exclusionary language forces upon property owners and practitioners. This promotes the health and welfare of Norwalk residents by expanding access to medical care within appropriately zoned areas of the city and does not adversely affect any property owner or create non-conforming uses.

E. Economic Impact and Job Creation

The proposed text amendment will have a meaningful and positive economic impact on the City of Norwalk. Commercial districts along corridors such as Westport Avenue have experienced significant shifts in demand as traditional office uses have contracted in the post-pandemic environment. Fairfield County office vacancy rates reached approximately 23.9% and availability rates reached 27.4% as of early 2024, leaving property owners and municipalities alike seeking productive, high-value uses for buildings that are well-suited, in terms of parking, infrastructure, and accessibility, to serve as medical facilities.⁶ Notably, recent investment sales in Fairfield County have concentrated in stabilized medical office assets and redevelopment opportunities, with medical office demonstrating marked resilience compared to traditional office product.⁷ By broadening the definition of “Medical Office” to encompass the full range of outpatient services, this text amendment removes a regulatory barrier that has prevented otherwise appropriate and economically productive uses from occupying these underutilized commercial properties.

Outpatient medical and surgical facilities are high-quality commercial tenants that generate substantial economic activity at the local level. According to the Ambulatory Surgery Center Association (ASCA), the ASC industry generates a nationwide economic impact of approximately \$90 billion and directly employs the equivalent of more than 117,000 full-time workers.⁸ Outpatient surgical facilities generate substantial economic activity in their surrounding communities, including local tax contributions, employment of skilled healthcare workers, and increased demand for ancillary businesses and services.⁹ Such facilities typically require significant capital investment in tenant improvements, specialized equipment, and facility upgrades, which in turn generate construction employment and spending in the local economy. Once operational, outpatient medical offices and ambulatory surgical centers employ a range of skilled, well-compensated professionals, including physicians, surgeons, anesthesiologists, nurses, surgical technologists, medical assistants, billing specialists, and facility administrators, many of whom reside in or near the communities where they work. U.S. Bureau of Labor Statistics data confirm that ambulatory health care services represent one of the highest-wage sectors within the broader healthcare industry.⁹ These are stable, full-time positions that contribute meaningfully to Norwalk’s tax base and support the broader local economy through household spending and community investment.

To place the job creation potential in concrete terms, a typical ambulatory surgery center operates with a staffing complement that meaningfully exceeds that of a comparably sized traditional medical office. A conventional medical office building of 10,000 to 15,000 square feet might employ 15 to 25 full-time equivalent staff, consisting primarily of physicians, nurse practitioners, medical assistants, and administrative personnel. An ambulatory surgery center of similar footprint, by contrast, typically requires 30 to 60 or more full-time equivalent employees to support its operations, reflecting the clinical intensity of surgical care. The required staffing mix includes board-certified surgeons and anesthesiologists or certified registered nurse anesthetists (CRNAs), registered nurses (RNs) and licensed practical nurses (LPNs) for pre-operative, intraoperative, and post-anesthesia recovery care, surgical technologists and scrub technicians, sterile processing technicians, radiology or imaging technicians where applicable, clinical coordinators and patient schedulers, medical billers and coders with ASC-specific expertise, and facility administrators and compliance officers. According to the Ambulatory Surgery Center Association, the average ASC employs approximately 35 to 45 full-time equivalent clinical and administrative staff per facility, with larger multi-specialty centers employing in excess of 80 personnel.¹¹ These positions span a broad wage spectrum, from surgical technologists earning median annual wages in the range of \$55,000 to \$65,000 to anesthesiologists and surgeons whose compensation routinely exceeds \$300,000, consistent with Bureau of Labor Statistics data for the ambulatory health care sector. The net employment

effect of an ASC relative to a traditional medical office use in the same space is therefore substantially positive, both in terms of total headcount and in terms of aggregate payroll contributed to the local economy.

The activation of underutilized commercial properties for medical office uses also benefits the surrounding neighborhood and commercial corridor by increasing daytime foot traffic, supporting ancillary businesses such as pharmacies, cafés, and medical supply retailers, and improving the overall vitality of the area. From a municipal fiscal standpoint, occupied and actively used commercial properties generate higher assessed values and greater tax revenue than vacant or underutilized ones. Permitting the full spectrum of outpatient medical uses in appropriately zoned commercial districts is therefore consistent with sound economic development policy and directly supports the City's interest in maintaining a robust and diversified commercial tax base. The ASC industry is projected to grow from approximately \$45 billion in revenue in 2024 to \$57 billion by 2030, with ASC procedure volume forecast to grow 21% between 2024 and 2034, indicating that communities which position themselves to attract these uses now will benefit from long-term, stable economic activity.¹⁰

4. ZONING HISTORY OF PROPERTY

The subject property at 595 Westport Avenue is located in the CD-3C zoning district. Prior to the 2024 comprehensive zoning rewrite, the property was zoned Business #2, which allowed similar uses to what the CD-3C currently allows.

The site was the former corporate headquarters of Pepperidge Farm, including their innovation center and more recently was part of a Commission approval allowing a self-storage facility for the rear of the property and more recently a retail/auction business at the front portion of the building.

5. PRIOR ZONING AMENDMENTS, SPECIAL EXCEPTIONS, AND VARIANCES

The applicant is not presently aware of any prior zoning amendments, map changes, special exceptions, or variances affecting the subject property or any portion thereof. To the extent any such prior actions exist, they will be identified and provided to the Commission prior to the public hearing.

6. MAPS

Because this is a text-only amendment with no associated site plan or special permit application, a full site-specific 500-foot radius map is not required pursuant to the application instructions.

Pursuant to the requirement of Section 8 of the submission requirements, the table below provides the approximate acreage for each affected district, derived from pixel-calibrated analysis of the City of Norwalk Official Zoning Map (effective January 31, 2025), calibrated against the map's published scale bar.

Zone	Med. Office Status	Approx. Acres	Approx. Sq Ft	Notes
CD-3	PL	237.5	10,345,163	Scattered parcels citywide along commercial corridors
CD-3C	P	254.8	11,099,689	Zone of subject property (595 Westport Ave); Medical Office Permitted by Right
CD-3W	PL	8.9	386,750	Limited waterfront parcels
CD-4	P	158.7	6,911,509	Downtown/central commercial core
CD-4W	P	13.7	598,809	Downtown waterfront parcels
SD-H	P	9.7	422,225	Special Development — Hospital complex district
SD-LI	PL	~133 *	~5,793,480 *	Light industrial corridors; ground floor prohibition applies independently of definition. * Estimated
CV	SPU	830.9	36,192,080	Conservation districts; Special Permit required — Commission retains full discretionary review
TOTAL	8 districts	~1,648	~71,749,705	~2.58 square miles of affected zoned land citywide

Source: City of Norwalk Official Zoning Map (effective January 31, 2025); pixel-calibrated area analysis at 300 DPI against published map scale bar (1.1 miles). SD-LI figure estimated; all figures to be confirmed with GIS-derived data from City of Norwalk prior to hearing. Citywide map of all affected districts will be submitted no fewer than ten (10) days prior to the public hearing.

7. TAX STATUS CERTIFICATION

Pursuant to Public Act No. 95-320, the applicant will obtain written confirmation of current tax status from the Norwalk Tax Collector's Office (Room 105) and submit such confirmation with this application prior to the public hearing.

8. NOTICE REQUIREMENTS

As this application is for a text amendment only, unaccompanied by any site plan or special permit application, certified mail notification to abutting property owners and owners directly across the street is not required under the application requirements. The applicant acknowledges that standard legal notice publication in The Hour newspaper is required and will arrange payment with Jocelyn Battista, Classified Advertising Manager, The Hour, 1 Selleck Street, Norwalk, CT 06855.

9. TRAFFIC AND DRAINAGE

This application is for a zoning text amendment only and does not involve a site plan, construction, or change of use at any specific property. Accordingly, no traffic or drainage reports are submitted or required. In the event the Commission determines otherwise, the applicant requests a waiver of such requirements pursuant to the applicable provision of the submission requirements.

10. EXPERT TESTIMONY

The applicant may present expert testimony at the public hearing. If so, the resumes of any such expert witnesses will be submitted to the Commission no fewer than ten (10) days in advance of the hearing in accordance with the application requirements.

CERTIFICATION

The undersigned, being duly authorized on behalf of 595 Westport LLC, hereby certifies that the information contained in this application is true and accurate to the best of the applicant's knowledge and belief.

Applicant: 595 Westport LLC

By: 

Name: Christopher Cocotas

Title: Agent for 595 Westport LLC

Date: 5.22.26

SOURCES AND AUTHORITIES CITED IN SECTION 3

- ¹ Centers for Medicare & Medicaid Services (CMS), "Calendar Year 2026 Hospital Outpatient Prospective Payment System (OPPS) and Ambulatory Surgical Center Final Rule (CMS-1834-FC)," Nov. 21, 2025. Available at: cms.gov/newsroom/fact-sheets/calendar-year-2026-hospital-outpatient-prospective-payment-system-opps-ambulatory-surgical-center.
- ² Id. (CMS CY 2026 OPPS/ASC Final Rule, finalizing phase-out of Inpatient-Only list and addition of 289+ procedures to ASC Covered Procedures List).
- ³ Connecticut General Statutes § 19a-493b (licensure of outpatient surgical facilities by CT DPH); Connecticut Administrative Code § 19-13-D56 (DPH facility regulations). Available at: portal.ct.gov/DPH/Facility-Licensing--Investigations/Facility-Licensing--Investigations-Section-FLIS/Facility-Licensing.
- ⁴ Conn. Gen. Stat. § 19a-493b; Conn. Admin. Code § 19-13-D56; 42 C.F.R. § 416.2 et seq. (federal CMS Conditions for Coverage for Ambulatory Surgical Centers).
- ⁵ Institute of Transportation Engineers (ITE), Trip Generation Manual, 11th Edition (2021), Land Use Codes 630 (Clinic/Outpatient Facility), 710 (General Office Building), and 720 (Medical-Dental Office Building). Available at: ite.org/technical-resources/topics/trip-and-parking-generation-v2/trip-generation-info.
- ⁶ The Raymartin Agency, "Navigating Connecticut's Commercial Real Estate Market: 2025 Opportunities and Challenges" (reporting Fairfield County Q1 2024 office vacancy rate of 23.9% and availability rate of 27.4%); accord, Connecticut CCIM Chapter / Goman + York, "What's Next in CRE Market Forecast" (Jan. 2025). Available at: theraymartinagency.com/post/navigating-connecticut-s-commercial-real-estate-market-2025-opportunities-and-challenges.
- ⁷ Northeast Private Capital Group, "Fairfield County, Connecticut Market Report" (2025) ("Recent investment sales above \$3 million have largely concentrated in two areas: stabilized medical office assets and redevelopment opportunities. Medical office continues to demonstrate resilience compared to traditional office."). Available at: northeastpcg.com/fairfield-county-cre-market-report.
- ⁸ Ambulatory Surgery Center Association (ASCA), "Economic Impact," Advancing Surgical Care (reporting \$90 billion total nationwide economic impact and approximately 117,000+ full-time equivalent workers employed by ASCs). Available at: ascassociation.org/advancingsurgicalcare/asc/economicimpact.
- ⁹ U.S. Bureau of Labor Statistics, Occupational Employment and Wage Statistics (OEWS), "Ambulatory Health Care Services — May 2023 Industry-Specific Occupational Employment and Wage Estimates," NAICS 621000. Available at: bls.gov/oes/2023/may/naics3_621000.htm. See also Peterson-KFF Health System Tracker, "Recent Trends in Health System Employment." Available at: healthsystemtracker.org/chart-collection/what-are-the-recent-trends-health-sector-employment.

- ¹⁰ CLA (CliftonLarsonAllen), “Why Ambulatory Surgery Centers Are on the Rise” (2025) (citing IBIS World, Ambulatory Surgery Centers in the U.S., Sept. 2024: \$45 billion in 2024 revenues, projected \$57 billion by 2030); SIS First, “Ambulatory Surgery Center Statistics That Define the Industry” (2026) (ASC volume projected to grow 21% from 2024 to 2034). Available at: claconnect.com and blog.sisfirst.com.
- ¹¹ Ambulatory Surgery Center Association (ASCA), “ASC Industry Overview” (2024); see also Medical Group Management Association (MGMA), “MGMA DataDive Provider Compensation 2023”; U.S. Bureau of Labor Statistics, Occupational Employment and Wage Statistics, NAICS 621490 (Other Outpatient Care Centers), May 2023. Available at: ascassociation.org and bls.gov.
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CITY OF NORWALK
SPECIAL JOINT ECD - PLANNING & ZONING COMMISSION MINUTES
June 17, 2026

PRESENT FROM ECONOMIC & COMMUNITY DEVELOPMENT COMMITTEE (ECD):

Josh Goldstein, Chair of ECD; James Frayer; Jan Degenshein; Anne Wennerstrand; Richard Dellinger; Jalin Sead; Darlene Young (arrived at 6:15 pm)

PRESENT FROM PLANNING & ZONING:

Chapin Bryce, Chair of the Planning & Zoning Commission; Louis Schulman; Tammy Langalis; John Hubers; Harvey Jones; Diana Lenkowsky; Douglas Hempstead; Jaquell Wilson; Galen Wells (after roll call)

ABSENT: Ana Tabachneck; Nick Kantor; Jacquen Jordan-Byron

STAFF: Steve Kleppin; Bryan Baker

OTHERS: Lynelle Jones; Diane Lauricella; Diane Cece; Alix Pauchet; Shuprotim Bhaumik; Erman Eruz; Shea Thorvaldsen

I. CALL TO ORDER

The meeting was called to order at 6:01 p.m. It should be noted that this meeting was held on Zoom.com with participants calling in, separately.

II. ROLL CALL

Mr. Goldstein called the roll for the Economic & Community Development Committee and Mr. Bryce called the roll for the Planning & Zoning Commission.

III. PUBLIC PARTICIPATION

Mr. Goldstein explained how this portion of the meeting would work. Participants would receive 3 minutes to speak.

Public comments were given.

Public participation was closed at 6:06 pm.

It reopened at 6:09 p.m. when Mr. Goldstein said that participants had been missed.

Special Joint ECD & Planning & Zoning Commission Minutes

June 17, 2026

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Public participation closed again at 6:17 pm.

IV. NEW BUSINESS

A. Strategic Harbor Study Presentation

DISCUSSION

Presentation: Steve Kleppin; Alix Pauchet; Shuprotim Bhaumik; Erman Eruz; Shea Thorvaldsen

V. ADJOURNMENT

The meeting was adjourned at 7:29 pm.

Respectfully submitted,

Diana Palmentiero

CITY OF NORWALK
SPECIAL MEETING - PLANNING & ZONING COMMISSION MINUTES
June 17, 2026

PRESENT: Chapin Bryce, Chair; Louis Schulman; Tammy Langalis; John Hubers; Harvey Jones; Diana Lenkowsky; Douglas Hempstead; Jaquell Wilson; Galen Wells

ABSENT: Nick Kantor; Ana Tabachneck; Jacquen Jordan-Byron

STAFF: Steve Kleppin; Bryan Baker

OTHERS: Paul Lisi; Alexander Gurevich; Atty Liz Suchy; George Verlezza

I. CALL TO ORDER

Mr. Bryce called the meeting to order at 8 p.m. It should be noted that this meeting was held on Zoom.com with participants calling in, separately.

II. ROLL CALL & SEATING OF ALTERNATES

Mr. Baker called the roll and noted that there was a quorum. Mr. Bryce seated Mr. Hempstead and Ms. Wilson for the entire meeting. Since they were new alternate members of the commission, he welcomed them. He also congratulated Ms. Lenkowsky who became a regular member of the commission. Lastly, he made changes to the agenda.

III. PUBLIC HEARINGS

A. #2026-39SP – 200 Connecticut Ave, LLC – 200 Connecticut Avenue (District: 5, Block 64, Lot 42) – Proposed car rental agency within existing garage - Public hearing, report & recommended action

DISCUSSION

Presentation: Paul Lisi, Alexander Gurevich

PUBLIC COMMENTS

There were no public comments given for this application.

**** MS. LANGALIS MOVED: THEREFORE BE IT RESOLVED** that application #2026-39 SP 200 Connecticut Ave, LLC 200 Connecticut Avenue (District: 5, Block: 64, Lot: 42) Proposed car rental agency within existing garage be **APPROVED** with the following conditions:

1. Building and site occupancy shall align with these plans:
 - a. Plan set by Storch Associates, Wethersfield, CT, dated May 6, 2026; and
2. Any alterations to approved plans must be submitted to Commission Staff for review prior to implementation. Substantive changes require Commission approval; and
3. All department sign-offs must be secured before a Zoning Permit is issued; and
4. A Special Permit certificate and mylar must be filed with Norwalk Land Records before permit issuance; and
5. Motor vehicle repairs must meet zoning rules and state licensure requirements; and
6. All inoperable equipment or junk vehicles shall be housed in a fully enclosed building; and
7. Onsite repairs are restricted per regulations for "Motor Vehicle Maintenance, Repair, Fuel Sales, Service or Cleaning"; and
8. Adequate space must exist onsite for car carrier operations to prevent activity in the Right-of-Way; and
9. No vehicles may be displayed in Rights-of-Way or required landscaping areas; and
10. Existing landscaping must be maintained to satisfy landscaping requirements; and
11. This permit does not waive requirements for other legal permits from Norwalk, the State, or Federal agencies; and

BE IT FURTHER RESOLVED that this proposal adheres to all Norwalk Zoning Regulations; and

BE IT FURTHER RESOLVED that these conditions are vital to approval, as the Commission would otherwise have denied the application;

BE IT FURTHER RESOLVED that the approval date is June 26, 2026.

A zoning approval is required before site work begins.

Ms. Wells seconded.

Chapin Bryce; Louis Schulman; Tammy Langalis; John Hubers; Harvey Jones; Diana Lenkowsky; Douglas Hempstead; Jaquell Wilson; Galen Wells approved.

No one opposed.

No one abstained.

B. #2021-29 CAM – 314 Wilson Avenue – Modification request to conditions of approval to extend operating hours of previously approved coastal site plan for restaurant use (beer garden) - Public hearing, report & recommended action

DISCUSSION

Presentation: Atty Liz Suchy; George Verlezza

PUBLIC COMMENTS

Public comments were given. Speakers were Norwalk residents unless otherwise noted.

**** MR. HUBERS MOVED: THEREFORE BE IT RESOLVED** by the Norwalk Planning & Zoning Commission that the proposed revisions to the conditions of permit #2021-29 SPR/CAM – Crystal, LLC – 314 Wilson Avenue – Proposed farmer’s market and beer garden use be **APPROVED** with the following modifications:

1) That beginning on June 26, 2026, that the hours of operation for the restaurant use shall not be limited as a result of the coastal site plan approval, but that the live music shall continue to be limited to the following:

a) 12:00pm to 11:00pm on Monday through Saturday; and

b) 12:00pm to 6:00pm on Sundays.

2) That the applicant shall work with Staff to implement the noise mitigation strategies described by the applicant:

a) Routing the sound through the house speakers to better control the decibel level(s) of the live music; and,

b) Adding sound attenuation; and

BE IT FURTHER RESOLVED that all other conditions under permit #2021-29 SPR/CAM shall remain in effect.

BE IT FURTHER RESOLVED that the effective date of this action shall be June 26, 2026.

Ms. Wilson seconded.

Chapin Bryce; John Hubers; Harvey Jones; Jaquell Wilson; Galen Wells approved.

Louis Schulman; Tammy Langalis; Diana Lenkowsky opposed.

Doug Hempstead abstained.

C. #2026-31 R – City of Norwalk – Zoning Regulation Text Amendment to Articles 4 and 9 relating to fee-in-lieu of public realm, screening of parking, and the definition of “Dwelling Unit” - Public hearing, report & recommended action

DISCUSSION

Presentation: Steven Kleppin

PUBLIC COMMENTS

Public comments were given. Speakers were Norwalk residents unless otherwise noted.

(Need revised resolution from Bryan) ** MR. JONES MOVED: THEREFORE, BE IT RESOLVED by the Norwalk Planning & Zoning Commission that application #2026-31 R – Planning & Zoning Commission – Zoning Regulation Text Amendment(s) to Articles 4 and 9 regarding details on public realm, screening of parking and the definition of dwelling unit, be **APPROVED** with the following change:

1. Within the CD-3C zone, Lots or Building Sites less than 50,000 SF in Lot Area may pay a fee in-lieu of such requirement(s).

2. Within the CD-4 zone, Lots or Building may pay a fee in-lieu of such requirement(s); provided that:

a. The Lot or Building Site contains a historic structure(s) listed on a federal, state or local inventory; or

b. The Lot or Building Site Area is less than 10,000 SF in Lot Area, is within 500 feet of a Park and located on a Downtown Street as defined in the Norwalk Complete Streets Design Guide.

Payments in lieu of the required Public Realm shall be paid to the Downtown Public Spaces Fund of the City and that such fees shall be utilized solely for the acquisition, design and improvement of public parks and open spaces within that

Census Tract, in an amount determined by the following formula: The total square footage required for public realm space times \$300 per square foot (value of public benefit) times 5% (FTA circular 9400.1A).

BE IT FURTHER RESOLVED that the action implements the following goals, policies, strategies and actions of the Norwalk Plan of Conservation and Development (POCD):

1. Chapter 12, Goal 3: “The user-friendly zoning ordinance is consistent with the future land use map and achievement of the vision and goals of the POCD.”

a. Policy: “Support revision of the zoning ordinance to promote desired development and design patterns.”

b. Policy: “Support permit streamlining for projects with desired characteristics.”

i. Strategy A: “Modernize the zoning ordinance and the development approval process to achieve the goals of the POCD.”

1. Action i: “Rewrite the zoning ordinance to reflect contemporary best practices in administration and user-friendliness and to be consistent with the POCD.”

BE IT FURTHER RESOLVED that the effective date of this action shall be June 27, 2026.

Ms. Wells seconded.

Chapin Bryce; Louis Schulman; Tammy Langalis; John Hubers; Harvey Jones; Diana Lenkowsky; Douglas Hempstead; Jaquell Wilson; Galen Wells approved.

No one opposed.

No one abstained.

D. #2026-38 R – City of Norwalk – Zoning Regulation Text Amendments to Articles 4 and 9 relating to minimum parking requirements, non-exempt parking area, fee-in- lieu of parking, and the creation of a definition for “Parking Needs Assessment” - Public hearing, report & recommended action

DISCUSSION

Presentation: Mr. Kleppin and Mr. Baker

PUBLIC COMMENTS

Public comments were given. Speakers were Norwalk residents unless otherwise noted.

At this point, Mr. Kleppin asked if they wanted to continue the meeting until June 24 but the commissioners decided to listen to his rebuttal to the public comments.

**** MR. SCHULMAN MOVED: THEREFORE BE IT RESOLVED** of Norwalk – Zoning Regulation Text Amendments to Articles 4 and 9 relating to minimum parking requirements, non-exempt parking area, fee-in-lieu of parking, and the creation of a definition for “Parking Needs Assessment” be **APPROVED**.

BE IT FURTHER RESOLVED that the zoning regulations shall be amended to include the following modifications:

Dwelling(s) includes Accessory Dwelling Units; Arist Live/Work; Automobile Trailer Parks; Congregate Housing; Elderly Housing Units; Large Multifamily Buildings; Small Multifamily Buildings; Residential Portion of Flex Building Type, Live/Work Building Type, Mid-Rise Building Type and Mixed-Use Building Type; Single-Family Detached Dwellings; Two-Family Detached Dwellings; and Townhouses.

Table 4.3.12.B-1 Vehicular Parking Requirements	
Principal Use	Minimum Number of Parking Spaces Available to Lot Per Unit of Measure
Dwelling(s) with 16 Dwelling Units or less	<p>Not Regulated except for within the Traffic Mitigation Districts which shall be the lesser of the following options:</p> <ol style="list-style-type: none"> 1. One per studio or one-bedroom Dwelling Unit and two per two or more bedrooms Dwelling Unit; or 2. 1.3 per Dwelling Unit; or 3. The total number indicated within a Parking Needs Assessment submitted by the Applicant
Dwelling(s) with more than 16 Dwelling Units	<p>The lesser of the following options:</p> <ol style="list-style-type: none"> 1. One per studio or one-bedroom Dwelling Unit and two per two or more bedrooms Dwelling Unit; or 2. 1.3 per Dwelling Unit; or

	3. The total number indicated within a Parking Needs Assessment submitted by the Applicant
Commercial, Lodging, Civic, Agricultural, and/or Institutional portions of Building(s) with Mixed Use(s) that have 16 Dwelling Units or less and more than 50% of the Floor Area is dedicated to Residential Use(s)	Not Regulated except for within the (non-exempt area title here) which shall require the number of Parking Spaces as required for such Use(s) indicated within this Table, except where the total number of Parking Spaces can be reduced per Section 4.3.12.B
Commercial, Lodging, Civic, Agricultural, and/or Institutional portions of Building(s) with Mixed Use(s) that have: 1. More than 16 Dwelling Units; or 2. where More than 50% of the Floor Area is dedicated to Commercial non-Residential Use(s); or 3. More than one Story contains non-Residential Use(s)	The lesser of the following options: 1. The number of Parking Spaces as required for such Use(s) indicated within this Table, except where the total number of Parking Spaces can be reduced per Section 4.3.12.B; or 2. The total number indicated within a Parking Needs Assessment submitted by the Applicant
Community Residences	2 per Community Residence + 1 per staff member Not Regulated
Congregate Housing	1 per 4 Dwelling Units
Dormitory	When located in the Civic District: Not Regulated When located in any other District: 0.5 per Dormitory Room
Group Home	2 per Group Home + 1 per each counselor
Halfway House	1 per bedroom + 1 per staff member

All parking spaces provided are subject to all other requirements of Section 4.3.12.

Map of the Traffic Mitigation Districts to be inserted at the end of Table 4.3.12.B-1, can be viewed here: <https://arcg.is/1qrbX82>

Article 9: Definitions

Parking Needs Assessment: a study which may be submitted in all Zoning Districts in-lieu of meeting the minimum parking requirements as indicated in Table 4.3.12.B-1 for any Residential Development or any Use as further indicated within Table 4.3.12.B-1. The Parking Needs Assessment shall be prepared by a qualified professional, at the applicant's expense, evaluating on-site parking demand and availability associated with a proposed development. Such analysis shall be prepared in accordance with the Institute of Transportation Engineers (ITE) Parking Generation Manual and shall demonstrate that off-street parking demand will be met and/or effectively managed by, at a minimum, analyzing the following:

1. A summary of the proposed Development, including Use(s), Floor Area, parking required as otherwise required in Table 4.3.12.B-1 and anticipated parking generation using accepted sources such as ITE or Urban Land Institute (ULI) which may be further analyzed based on local conditions;
2. Available existing Municipal Public Parking which may be used by the tenants, customers, employees and/or residents of the Development;
3. Public transportation options that the tenants, customers, employees and/or residents of the Development may use that mitigate the need for off-street parking;
4. Projected future needs for off-street parking for the proposed Development and consideration of fee-in-lieu of parking as applicable with Section 4.3.12.B.6;
5. Use of transportation demand management (TDM) measures such as transit passes, car-sharing or bicycle facilities;
6. Any difference in the projected vehicle miles traveled between the proposed number of parking spaces and the number of spaces that would otherwise be required per Table 4.3.12.B-1;
7. Any relevant local traffic, parking or safety studies;

The Parking Needs Assessment may be referred to the Transportation, Mobility and Parking Department and/or a third-party professional consultant in accordance with Section 1.24 for review and recommendation.

Article 4: Fee-in-lieu of Parking

(Delete all 4.3.12.B.6 and replace with the following:)

4.3.12.B.6. Within the CD-4 and CD-4W zones, the Commission may allow for Residential and/or Mixed Use Developments with more than 16 Dwelling Units, as part of a Parking Needs Assessment, to pay a fee-in-lieu of the minimum number of Parking Spaces required for said Development, per Section 8-2c of the Connecticut General Statutes. Said fee-in-lieu of parking shall be determined by subtracting the difference between the lesser of 1.3 spaces per unit or one space per studio or one-bedroom Dwelling Unit and two spaces per two or more bedrooms Dwelling Unit and the total number proposed within the Parking Needs Assessment and then multiplying by \$20,000.00. Additionally, the following provisions shall apply:

1. Funds collected from such payments shall be deposited and used solely in accordance with the provisions of Section 8-2c of the Connecticut General Statutes, as amended;
2. Any off-street parking requirement met in this manner shall constitute a covenant running with the land such that a change in ownership shall not require payment of an additional fee;
3. Properties may not obtain a variance for the number of parking spaces from the Zoning Board of Appeals;
4. One hundred percent (100%) of the payment due for each designated Property choosing to utilize this regulation shall be made to the City of Norwalk prior to the issuance of a Zoning Permit to the applicant;
5. Funds paid to the City of Norwalk as a fee-in-lieu of parking shall not be refundable for any reason;
6. Nothing herein shall be deemed to require the city to undertake the acquisition, construction, expansion, or development of any particular off-street public parking facility;

BE IT FURTHER RESOLVED that the reasons for this action are to implement the following sections of the Norwalk Plan of Conservation and Development:

1. Chapter 4, Goal 1, that, “Norwalk has a neighborhood and housing strategy that maintains a variety of neighborhood types and housing choices through a variety of mechanisms,”
 - a. The policy to, “Support housing policies that provide housing for Norwalk’s households across a range of preferences and household incomes.”

b. The policy to, "Support housing policies that promote higher-density housing near existing and future employment centers."

c. The strategy to, "Promote diverse housing types, such as townhouses, condos, live-work units, and rental apartments in Norwalk's urban core, at transit-oriented locations and in mixed-use clusters on major corridors, in village districts when appropriate, and through redevelopment."

2. Chapter 10, Goal 2, that, "The city has attractive and convenient parking facilities that fit the context and accommodate emerging technologies,"

a. The action to, "Right-size parking requirements and parking ratios for non-residential and multifamily land uses."

BE IT FURTHER RESOLVED that the reasons for this action are to comply with Public Act 25-1.

BE IT FURTHER RESOLVED that the effective date of this action shall be June 30, 2026.

Mr. Hempstead seconded.

Louis Schulman; Tammy Langalis; John Hubers; Diana Lenkowsky; Douglas Hempstead; approved.

Galen Wells; Harvey Jones; Chapin Bryce opposed.

Jaquell Wilson abstained.

IV. ACCEPTANCE OF MINUTES

A. Regular Meeting: June 3, 2026

**** MS. LANAGLIS MOVED to approve the June 3, 2026 minutes.**

Mr. Jones seconded.

Chapin Bryce; Louis Schulman; Tammy Langalis; John Hubers; Harvey Jones approved.

No one opposed.

Diana Lenkowsky; Galen Wells; Douglas Hempstead; and Jacquell Wilson abstained.

V. COMMENTS OF DIRECTOR

DISCUSSION

There were no comments from Mr. Kleppin.

VI. COMMENTS OF COMMISSIONERS

Ms. Langalis welcomed the new commissioners.

VII. ADJOURNMENT

Ms. Langalis made a Motion to Adjourn.

Mr. Jones seconded.

Chapin Bryce; Louis Schulman; Tammy Langalis; John Hubers; Harvey Jones; Diana Lenkowsky; Douglas Hempstead; Jaquell Wilson; Galen Wells approved.

No one opposed.

No one abstained.

The meeting was adjourned at 11:23 pm.

Respectfully submitted,

Diana Palmentiero