



## REGULAR MEETING – HARBOR MANAGEMENT COMMISSION AGENDA

OCTOBER 22, 2025, 6:00 PM  
BY ZOOM VIRTUAL MEETING

To allow public access, anyone may access a meeting by telephone and/or Zoom, or a recording in the City of Norwalk YouTube channel. Specific instructions and links can be found at [norwalkct.gov/meetings](https://norwalkct.gov/meetings).



Members of the public may call in to participate. Callers will not be able to see the meeting participants. All participants will be muted upon entering the meeting. To speak, dial \*9 on the phone and you will be called on by the host of the meeting during the public comment section. All speakers must state their name and address. Comments must be on a topic on the agenda, and are limited to three minutes. Anyone disrupting the orderly conduct of the meeting, including by using threatening, hateful, or sexually-explicit language, will be removed. Please find the information using the link above.



Members of the public who wish to provide "live comments" may also use the Zoom meeting platform. All participants will be muted upon entering the meeting. To speak, click the "raise your hand indicator" and you will be called by the host of the meeting during the public comment section. All speakers must state their name and address. Comments must be on a topic on the agenda, and are limited to three minutes. Anyone disrupting the orderly conduct of the meeting, including by using threatening, hateful, or sexually-explicit language, will be removed. Please find the information using the link above.



Members of the public who wish to provide public comment are encouraged to submit those via email in advance of the meeting. For these comments to be included into the record, they must be submitted by 12:00 p.m. the day of the meeting. Please email Amelia Williams at [amelia.williams@norwalkct.gov](mailto:amelia.williams@norwalkct.gov) with the subject line "Public Comment" to provide written public comment prior to the meeting.

- I. **CALL TO ORDER**
- II. **ROLL CALL**
- III. **PUBLIC PARTICIPATION**
- IV. **ACCEPTANCE OF MINUTES**
  - A. **Regular Meeting: September 17, 2025**  
**Special Meeting: October 8, 2025**
- V. **APPLICATION REVIEW COMMITTEE**
  - A. **Zoning Regulation Amendment Referral — Various**
  - B. **Zoning Regulation Amendment Referral — CD-3W Building Materials**
  - C. **CSPR Referral — 119 Gregory Blvd: Construct a shoreline flood and erosion control**

structure (slurry wall) in Charles Cove

**VI. REPORTS**

**A. Chairperson**

**B. Shellfish Commission**

**C. Staff**

1. Harbor Master

2. Consultant

**D. Committee**

1. Mooring and Harbor Safety

2. Finance

3. Plans and Recommendations

4. Newsletter/Website

5. Water Quality

**VII. NEW BUSINESS**

**A. Review Draft Onboarding Document**

**B. Discussion of providing Public Comment for the Manresa Island [DEEP Stewardship Permit](#)**

**VIII. OLD BUSINESS**

**A. East Basin Marina Naming Nomination**

**IX. ADJOURNMENT**

**CITY OF NORWALK  
HARBOR MANAGEMENT COMMISSION  
REGUALR MEETING MINUTES  
SEPTEMBER 17, 2025 – 6:00 PM  
VIA ZOOM VIRTUAL CONFERENCE**

**ATTENDEES:** Matt Gifford, Laurie Jones, Alan Kibbe, Christopher MacDonnell, Jeffrey Mangels, John Pinto, Donald Remson.

**ABSENT:** Chris White, Mike Matthews

**STAFF:** Amelia Williams.

**OTHERS:** Bruce Lovallo (Harbormaster), Owen Lee (Norwalk Police Marine Unit)

**I. CALL TO ORDER**

Chair Kibbe called the September 17, 2025, meeting to order at 6:00 p.m.

**II. ROLL CALL**

Chair Kibbe did roll call as mentioned above. A quorum was established.

**III. PUBLIC PARTICIPATION**

Ms. Lynnelle Jones of 10 Point Road stated her comments related to the August meeting minutes and the agenda item to review Chapter 3 of the Norwalk Harbor Management Plan.

**IV. ACCEPTANCE OF MINUTES**

**A. Regular Meeting: August 27, 2025**

Secretary Laurie Jones presented the draft minutes with Dr. Pinto's edits noted in red.

**\*\*DR. PINTO MOVED TO APPROVE THE MINUTES AS AMENDED.**

**\*\*MR. MANGELS SECONDED THE MOTION.**

**\*\*THE MOTION PASSED UNANIMOUSLY.**

**V. APPLICATION REVIEW COMMITTEE**

**A. 80 Seaview Avenue**

Dr. Pinto, Mr. Mangels, and Mr. Gifford recused themselves from this item. This application was before the Commission several times dating back as far as 2021 and involves remediation of 80 Seaview Avenue as well as inclusion of docks. Mr. MacDonnell noted that the Commission commented on this application five years ago and that letter stands, mentioning two versions sent

around as the history of actions for those not on the Commission then. He then described the proposed changes, stating that the application as it stands has issues with the northernmost finger, which, even though they say they are not going to use it, is an enticement for someone to use it and is not necessary for their proposal to have two additional boats stationed at the north end. Discussion ensued. Mr. MacDonnell recalled objecting to this four years ago, noting the original permit was approved.

**\*\*MS. JONES MOVED THAT THE PROPOSAL IS INCONSISTENT WITH THE HARBOR MANAGEMENT PLAN BECAUSE OF ENCROACHMENTS ON THE FEDERAL ANCHORAGE AND CITY STREET ENDS.**

**\*\*MR. MACDONNELL SECONDED THE MOTION.**

**\*\*RECUSALS – DR. PINTO, MR. MANGELS, MR. GIFFORD.**

**\*\*THE MOTION PASSED.**

## VI. REPORTS

### **A. Chairperson**

Chair Kibbe provided his report, noting the importance of using the City of Norwalk email addresses provided to all Commissioners and confirming they are working properly. He mentioned receiving a procurement and contract compliance letter from Attorney Darin Callahan and the legal department regarding a contract with the Commission consultant, proposing a special executive session meeting to discuss this. He requested Commissioners send their availability for the week of October 6th for this meeting.

Chair Kibbe also addressed the development of an onboarding package for new Commissioners, led by Ms. Jones.

He also suggested exploring all dredging options and praised Mr. Remson and Ms. Jones for initiating this effort.

### **B. Shellfish Commission**

No report.

~~Mr. Remson provided the Shellfish Commission report, noting there was no meeting this month but one scheduled for next month.~~

### **C. Staff**

#### **1. Harbor Master**

Mr. Lovallo delivered the Harbormaster's report, noting a slow month with the boat serviced and bottom painted, though batteries remain unpurchased, with plans to address this in the next one to two weeks. He reported receiving complaints from East Channel mooring holders upset about the removal of their dinghies from the dinghy dock by September 15th due to a lack of a temporary alternative plan. Mr. Lovallo discussed this with Ken Hughes and informed the complainants they could use Veterans Park for 50 cents per foot (e.g., \$5/day for a 10-foot dinghy).

Mr. Lovallo added that he tagged overdue mooring holders, with most paying after notices, and issued third notices to two others, threatening mooring removal if unpaid within 72 hours. Chair Kibbe praised Mr. Lovallo's summer management, and no further questions were raised.

## **2. Consultant**

No report.

## **D. Committee**

### **1. Mooring and Harbor Safety**

Mr. Mangels provided the harbor safety report, noting a steady influx of transients with two arrivals scheduled (one on the 24th and another on Friday), though fewer than expected given the upcoming boat show starting this weekend.

He reported normal traffic levels and a positive visitor comment about enjoying Sheffield. No safety concerns were identified, and Mr. Mangels expressed gratitude for the support from Mr. Lovallo, the Marine Unit (Sergeant Bisceglie, Officer Lee, and Nelson), and mooring inspector Norm Edwards, whom ~~he~~ **Harbormaster Lovallo** will accompany the next day to check moorings.

### **2. Finance**

Mr. MacDonnell reported no financial updates, confirming the Commission still has funds available and encouraged spending on budgeted items before the City reclaims them.

### **3. Plans and Recommendations**

**a.** Discussion of Chapter 3 of the Harbor Management Plan

Ms. Jones introduced this item and Dr. Pinto stressed updating Chapter 3 to align with state policies, proposing binding recommendations unless DEEP shows cause, and adding Marine Commercial District protections, aiming for state consistency via the Harbor Management Association.

Ms. Jones highlighted Chapter 3's core policies, overdue for annual review (last amended 2009, 16 years ago), needing minor updates such as DEP to DEEP, as well as major updates such as addressing HMC authority and coastal resiliency. Discussion ensued.

**\*\*MR. MACDONNELL MOVED TO SOLICIT A PROPOSAL FROM A CONSULTANT TO REVISE THE HARBOR MANAGEMENT PLAN AS PART OF A LARGER CONTRACT.**

**\*\*MR. GIFFORD SECONDED THE MOTION.**

**\*\*THE MOTION PASSED UNANIMOUSLY.**

### **4. Newsletter/Website**

No report.

### **5. Water Quality**

Chair Kibbe noted that until they have a new mayor, this mayor is not going to reappoint someone to be in charge of the Water Quality Committee, and he had not had a chance to look up the statutory requirements.

## **VII. ADJOURNMENT**

After brief discussion on adding old and new business to future agendas and ensuring a letter regarding renaming Veterans Park marina is on the next agenda, Mr. Mangels moved to adjourn.

**\*\*MR. MANGELS MOVED TO ADJOURN.**

**\*\*MR. MACDONNELL SECONDED THE MOTION.**

**\*\*THE MOTION PASSED UNANIMOUSLY.**

Respectfully Submitted,  
Courtney Baldwin,  
Recording Secretary

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**CITY OF NORWALK  
HARBOR MANAGEMENT COMMISSION  
SPECIAL MEETING MINUTES  
OCTOBER 8, 2025 – 7:00 PM  
VIA ZOOM VIRTUAL CONFERENCE**

**ATTENDEES:** Alan Kibbe, Chair; Laurie Jones; Christopher MacDonnell; Jeffrey Mangels; John Pinto; Donald Remson; Mike Matthews.

**STAFF:** Amelia Williams; Darin Callahan, Assistant Corporation Counsel; Sharon Connors; Purchasing Agent.

**I. CALL TO ORDER**

Chair Kibbe called the meeting to order at 7:04 p.m.

**II. ROLL CALL**

Chair Kibbe called the roll.

**III. PUBLIC PARTICIPATION**

Ms. Diane Cece made a comment about the meeting agenda meeting FOI requirements.  
Ms. Lynnelle Jones supported Ms. Cece's comment.  
Attorney Callahan addressed these concerns.

**IV. EXECUTIVE SESSION**

The Commissioners went into Executive Session at 7:13 pm.

**\*\*CHAIR KIBBE MOVED THAT THE HARBOR MANAGEMENT COMMISSION  
WOULD NOW BE IN EXECUTIVE SESSION.**

**\*\*MR. MACDONNELL SECONDED THE MOTION.**

**\*\*THE MOTION PASSED UNANIMOUSLY.**

**VII. ADJOURNMENT**

The Commissioners returned from Executive Session at 8:14 pm. No actions were taken.

**\*\*MR. MANGELS MOVED TO ADJOURN.**

**\*\*MS. JONES SECONDED THE MOTION.**

**\*\*THE MOTION PASSED UNANIMOUSLY.**

The meeting was adjourned at 8:15 pm.

**Norwalk Planning & Zoning Commission**  
125 East Avenue  
Norwalk, Connecticut

**September 26, 2025**

**Memorandum**

**To:** Planning & Zoning Commission – Galen Wells, Chairwoman

**From:** Bryan Baker, AICP, Principal Planner

**Re:** #2025-63 R – Planning & Zoning Commission – Zoning regulations text amendment to Article(s) 1, 4, 6, 8 and 9 regarding permitted siding materials; zoning permit expiration; permits required and limitations for Artist Live/Work and Sport Field uses; encroachments; non-conforming lots and merger clauses; referral of variance applications to the Historic District Commission; definitions of Variance, Frontage Buildout, and Accessory Building or Structure; Motor Vehicle Maintenance, Repair, Fuel Sales, Service or Cleaning limitations; maximum driveway widths; screening of dumpsters; maximum fence heights in industrial zones; absent element requirements and exemptions; and permitted building types and private frontages

Commissioners,

This memorandum details proposed changes to the Norwalk Zoning Regulations.

The zoning map can be found here:

[https://www.norwalkct.gov/DocumentCenter/View/32441/ApprovedZoningMap\\_Effective2\\_19\\_24](https://www.norwalkct.gov/DocumentCenter/View/32441/ApprovedZoningMap_Effective2_19_24)

The existing Zoning Regulations can be found here:

[https://www.norwalkct.gov/DocumentCenter/View/34823/Zoning-Regulations\\_Rev\\_3\\_28\\_25?bidId=](https://www.norwalkct.gov/DocumentCenter/View/34823/Zoning-Regulations_Rev_3_28_25?bidId=)

For clarity:

- Each proposed revision will be under a separate page
- New/Proposed text is indicated in **red text**
- Deleted text is indicated as ~~struck-through text~~

1. As part of the recent application for 40 Meadow Street, the applicant discussed with Staff that for industrial buildings that corrugated and/or sheet metal could be an appropriate facade material.

Modify Table 4.3.1-L District Standards for the SD-LI zone to include the following amendments:

Building Materials				
Primary Building Material on Facades	Brick	P	Authentic stucco over masonry	P
	Natural Stone	P	Exposed concrete	NP
	Wood	P	Aluminum siding	NP
	Cementitious siding	P	Vinyl siding	NP
	Corrugated and/or sheet metal	<del>NP</del> <b>P*</b>		
<p><b><i>*Only Permitted on portions of a Building Façade that contain a Permitted Industrial &amp; Utilities use as listed in Table 4.3.9.A</i></b></p>				

2. Under the old zoning regulations there was an expiration date of zoning permits if an applicant failed to obtain a building permit within one-year of the effective date of their zoning approval. Staff recommends language be added to maintain this policy so that zoning permits that never materialize into building permits do not remain open and active indefinitely.

Modify Section 8.4.10 Zoning Permits to include the following amendments:

**L. Expiration**

**Zoning Permits that have been issued per Section 8.4.10 but under which a building permit has not been issued within five (5) years from the date of issuance of the Zoning Permit shall be determined to be expired and null and void.**

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3. The Artist Live/Work and Live/Work uses are relatively similar in that they both consist of a small commercial space being located on the first floor of a building with a residential use either lofted above or on the second floor. Both uses presume that the person operating the commercial component will also be the tenant of the residential portion of the building. A special permit being required for an Artist Live/Work use is likely excessive in that the use is not very different from mixed-use buildings that are also permitted in the same zones. Additionally, these uses may be relatively niche and provide some level of de-facto affordable housing. Therefore, in addition to the expedited permitting process from special permit to administrative approval, Staff is recommending incentives such as counting the residential portion of the uses as half a dwelling unit and exempting the uses from the workforce housing section of the zoning regulations.

Modify Table 4.3.9.A Building, Lot & Building Site Principal Uses to include the following amendments:

Principal Use	CD -1L	CD -1M	CD -1S	CD -2	CD-3	CD-3W	CD-4	CD-4W	SD -H	SD -IC	SD-LI	SD -HI	SD-MC	C V
Artist Live/Work	NP	NP	NP	NP	SPU ± <b>PL</b>	SPU ± <b>PL</b>	SPU ± <b>PL</b>	SPU ± <b>PL</b>	NP	NP	SPU ± <b>PL</b>	NP	SPU ± <b>PL</b>	P

f. **Artist Live/Work** shall be permitted in accordance with the applicable Use Table, subject to the following:

- 1) They are part of a rehabilitation, preservation or addition to an existing Structure listed on a local, state or national historic inventory;
- 2) The Commission shall refer the Application to the Arts Commission for review and consideration. If the Arts Commission does not endorse the Application, a 2/3 majority vote of the Planning & Zoning Commission is required for approval;
- 3) Each unit is consistent with the provisions of the Housing Code, Fire Marshal Code and Building Code;
- 4) Units are at least seven hundred fifty (750) square feet in size;
- 5) Artist Live/Work spaces are subject to Workforce Housing requirements in accordance with Section 6.12;
- 6) The Use, including storage of materials or products, shall occur only within an enclosed Building;
- 7) All noise, vibration, smoke, dust, or other particulate matter, heat, humidity, glare or other effect shall comply with City standards relating to noise, light, dust and odors; and
- 8) Shall require approval of a Special Permit pursuant to Section 8.4.8.

**1) When such Use is included as part of a new Development or Redevelopment it shall occur within a Live/Work Building;**

- 2) **The Residential portion of the Artist Live/Work Use shall be located behind and/or above the workspace;**
- 3) **The Residential portion of the Artist Live/Work Use shall be included in the maximum allowable number of Dwelling Units on the Lot/Building Site provided that the Use shall count as ½ of a Dwelling Unit;**
- 4) **The Residential portion of the Artist Live/Work Use shall be exempt from Section 6.12, Workforce Housing;**
- 5) **All materials or products used shall be stored entirely within the Structure; and**
- 6) **All noise, vibration, smoke, dust, or other particulate matter, heat, humidity, glare or other effect shall comply with City standards relating to noise, light, dust and odors**

**Bv. Residential Portion of Live/Work Building Type** shall be permitted in accordance with the applicable Use Table, subject to the following:

- 1) Such Use is not permitted on the ground Floor in SD-MC or SD-LI, **in all other zones shall be located behind and/or above the workspace.**
- 2) ~~Within SD-LI:~~
  - a. ~~The ground floor contains another permitted principal or Special Permit Use.~~
  - b. ~~A minimum of 50% of the total Building gross floor area is dedicated to a Site Plan or Special Permit Use(s).~~
  - c. ~~There is not more than one (1) Dwelling Unit per 1,650 square feet of Lot area; except that Artist Live/Workspace(s) shall be exempt from the density calculation, provided that the application is referred to the Arts Commission for review and consideration. If the Arts Commission does not endorse the application, a 2/3 majority vote of the Zoning Commission is required for approval.~~
  - d. ~~Dwelling Units are located within the same Structure(s) as the principal use on the property.~~
  - e. ~~Such units are subject to workforce housing requirements.~~
- 3) **When such Use is included as part of a new Development or Redevelopment it shall occur within a Live/Work Building;**
- 4) **Shall be included in the maximum allowable number of Dwelling Units on the Lot/Building Site provided that the Use shall count as ½ of a Dwelling Unit;**
- 5) **The Residential portion of the Artist Live/Work Use shall be exempt from Section 6.12, Workforce Housing;**
- 6) **All materials or products used shall be stored entirely within the Structure; and**
- 7) **All noise, vibration, smoke, dust, or other particulate matter, heat, humidity, glare or other effect shall comply with City standards relating to noise, light, dust and odors**

4. Eaves, gutters or downspouts are common encroachments into certain setbacks, however, the regulation as written provides properties in the zones that have large setbacks, to encroach into the setbacks by an excessive amount. Therefore, Staff is recommending limiting the amount that such building features may encroach into the setbacks.

Modify Table 4.3.10 Encroachments to include the following amendments:

Encroachments – Required Setbacks*			
Encroachment Type	Front/street	Side	Rear
Eaves, gutters or downspouts	<p style="text-align: center;">P</p> By no more than 24 in. or 20% of Setback, <b>whichever is less</b>	<p style="text-align: center;">P</p> By no more than 24 in. or 20% of Setback, <b>whichever is less</b>	<p style="text-align: center;">P</p> By no more than 24 in. or 20% of Setback, <b>whichever is less</b>

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5. Various changes are proposed to the regulations in relation to variances.
  - a. The first change is to include language within the definition of “Variance” to reference the city’s ordinances, which includes administrative information that is relevant once a variance has been granted.
  - b. The second change is to remove what is called, “the merger clause.” This clause states that when two non-conforming lots abut one another and are in common ownership (the same property owner owns both lots), that they are automatically merged together into one lot, regardless of whether that was ever the intent of the property(s) owner. The intent of the clause is to remove non-conformities wherever and however possible, however, it also removes legitimate building lots and generates special exception applications which are generally almost always approved. Since such applications are generally always approved, Staff recommends removing this step and allowing non-conforming abutting properties under common ownership to remain as separate building lots.
  - c. The third change is to remove the reference to the Historic District Commission from both the variance and special permit sections of the regulations. There is not a Historic District in Norwalk and there is no Historic District Commission. Therefore, such a reference is not applicable.

Modify various sections related to Variances to include the following amendments:

#### Article 9 Definitions

Variance: relief granted by the Zoning Board of Appeals from a standard or requirement of these Regulations, which is specifically provided for in these Regulations or granted pursuant to the provisions of Article 8 (Administration, Procedure & Enforcement) **and Section 116-9 of the City of Norwalk Ordinances, as amended.**

#### Section 1.21.3.A.2

~~If two (2) or more adjoining parcels of land are in single ownership and are recorded in the Norwalk Land Records as separate legal building Lots before a Zoning Change, and if one (1) or more of the Lots does not conform to these Regulations, then such Lot or Lots shall be considered to be an undivided parcel for the purpose of these Regulations, and no portion of said parcel shall be used or sold so as to diminish conformance with these Regulations, except as may be granted by Special Exception by the Zoning Board of Appeals:~~

#### Section 8.4.8.F.2 and 8.4.9.E.3

~~If the subject property or part thereof is located within a Historic District, the Planning and Zoning Director shall transmit one copy of the Application and all supporting information to the Historic District Commission:~~

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6. Frontage Buildout is a requirement limited to the mixed-use zones that requires new buildings to occupy a minimum percentage of the lot frontage within the minimum and maximum front yard setbacks, however, this term is undefined.

Modify Article 9 Definitions to include the following amendments:

**Frontage Buildout: The percentage of the Frontage occupied by Building Façade.**

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7. Sport Field uses require additional review should new ones be proposed or existing ones modernize and/or add field lighting. Staff recommends requiring special permit applications for the use as well as listing some additional standards that applications must meet.

Modify Table 4.3.9.A Building, Lot & Building Site Principal Uses, Table 4.3.9.D Building, Lot & Building Site Accessory Uses, and Section 4.3.9.G Uses Permitted with Limitations to include the following amendments:

Principal Use	CD-1L	CD-1M	CD-1S	CD-2	CD-3	CD-3W	CD-4	CD-4W	SD-H	SD-IC	SD-LI	SD-HI	SD-MC	CV
Sport Field	P <b>NP</b>	P <b>NP</b>	NP	NP	P <b>NP</b>	NP	NP	NP	NR <b>NP</b>	NR <b>NP</b>	NP	NR <b>NP</b>	NR <b>NP</b>	P <b>SPU-L</b>

Accessory Use	CD-1L	CD-1M	CD-1S	CD-2	CD-3	CD-3W	CD-4	CD-4W	SD-H	SD-IC	SD-LI	SD-HI	SD-MC	C V
<b>Sport Field</b>	<b>SP U-L</b>	<b>SP U-L</b>	<b>SP U-L</b>	<b>SP U-L</b>	<b>SP U-L</b>	<b>SP U-L</b>	<b>SP U-L</b>	<b>SP U-L</b>	<b>SP U-L</b>	<b>SP U-L</b>	<b>SP U-L</b>	<b>SP U-L</b>	<b>SP U-L</b>	<b>P L</b>

**Sport Field shall be permitted in accordance with the applicable Use Table, subject to the following:**

- (1) All lighting shall:**
  - a. Be Dark Sky compliant; and**
  - b. Not exceed 0.3 footcandles at any Lot or Building Site Line and confirmation of such shall be provided by a photometric plan; and**
  - c. Be directed away from any abutting Residential Property(s); and**
  - d. Be limited in duration in accordance with Section 4.3.17.E.**
- (2) All audio systems shall be limited to the broadcast of the Sport Field event(s) and shall be limited in duration to the event, and in no case shall exceed the duration specified in Section 4.3.17.E.**
- (3) When Permitted as an Accessory Use it must be accessory to the following Principal Use(s):**
  - a. Park, Golf Club, College or University, Elementary or Secondary School, School or Institution for the disabled, Trade or Vocational School, Community Center, Place of Assembly or Waterfront Club**

In addition to modifying the regulations regarding Sport Field uses, modifications must be made to accommodate and regulate any lighting associated with the fields. Staff recommends the following:

Modify Section 4.3.17.B Lighting Types to include the following amendment:

7. **Lighting for Sport Field Use(s) shall be exempt from this section and shall be subject to the limitations listed within Section 4.3.9.G.**

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8. The limitations for Motor Vehicle Maintenance, Repair, Fuel Sales, Service or Cleaning conflicts with the definition of the Use.

Modify Section 4.3.9.G.4.bh to include the following amendments:

- (10) Storage of Vehicles for more than ~~24 hours~~ **sixty (60) days** is prohibited;

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9. Historically we have regulated pools similarly to all other accessory structures, however, that practice is not explicitly clear in the new regulations. Staff recommends we continue to regulate all pools as accessory structures.

Modify the definition of Accessory Building or Structure to include the following amendments:

**Accessory Building or Structure:** a Building or Structure that shares a Lot or Building Site with a Principal Building, Structure, or Use and that is customarily and clearly incidental and subordinate to the Principal Building, Structure, or Use. An Accessory Building may or may not have an Accessory Unit or be occupied or devoted to one or more Accessory Uses. An Accessory Building may be attached to a Principal Building by means of a breezeway or a roofed passageway, **not exceeding 10 feet in length**, with open or latticed sides. Where a Building shares a Wall with the Principal Building, it shall be considered a part thereof, and not an Accessory Building. **Swimming pools, hot tubs, and spas and above-ground heating and air conditioning equipment, propane tanks, oil tanks, and generators are considered Accessory Buildings or Structures.** See **Illustration 9.3.A-1 (Principal Building & Accessory Building)**.

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10. There are certain uses where wider driveways may be needed to accommodate the types of vehicles that would regularly access such sites.

Modify Tables 4.3.1-G – District Standards to include the following amendments:

Garage Location	P for all Uses other than a Single-Family Detached Dwelling: permitted in the Rear Yard only
Garage Design	Min. Interior dimensions 8.5 ft. X 19 ft. Per vehicle Parking space.  Except for Single-Family Detached Dwellings, if Garage faces street: max. Garage width 30% of total of Garage + Facade width.
Driveway/Vehicular Entrance Location	P in any Yard
New Driveway/Vehicular Entrance Maximum Width	<ol style="list-style-type: none"> <li>1. For Single-Family Detached Dwellings and Two-Family Detached Dwellings/Duplexes: 10ft. Max within 10 ft. of Frontage Line</li> <li>2. For all other Uses: 24ft. Max in Front Yard if non-Residential, <b>regardless of if shared or not, unless a traffic analysis and/or swept path analysis (turning template) for the design vehicle indicates a need for greater width, to be reviewed by TMP. Refer to the Complete Streets Design Guide for design considerations relating to driveway width.</b></li> </ol>

Modify Tables 4.3.1-H, I, L and O – District Standards to include the following amendments:

Garage Location	P for all Uses other than a Single-Family Detached Dwelling: permitted in the Rear Yard only
Garage Design	Min. Interior dimensions 8.5 ft. X 19 ft. Per vehicle Parking space.  Except for Single-Family Detached Dwellings, if Garage faces street: max. Garage width 30% of total of Garage + Facade width.
Driveway/Vehicular Entrance Location	P in any Yard
New Driveway/Vehicular Entrance Maximum Width	24ft. Max in Front Yard, regardless of if shared or not, <b>unless a traffic analysis and/or swept path analysis (turning template) for the design vehicle indicates a need for greater width, to be reviewed by TMP. Refer to the Complete Streets</b>

	<b>Design Guide for design considerations relating to driveway width.</b>
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Modify Tables 4.3.1-M – District Standards to include the following amendments:

Garage Location	P for all Uses other than a Single-Family Detached Dwelling: permitted in the Rear Yard only
Garage Design	Min. Interior dimensions 8.5 ft. X 19 ft. Per vehicle Parking space.  Except for Single-Family Detached Dwellings, if Garage faces street: max. Garage width 30% of total of Garage + Facade width.
Driveway/Vehicular Entrance Location	P in any Yard
New Driveway/Vehicular Entrance Maximum Width	NR <b>24ft. Max in Front Yard regardless of if shared or not, unless a traffic analysis and/or swept path analysis (turning template) for the design vehicle indicates a need for greater width, to be reviewed by TMP. Refer to the Complete Streets Design Guide for design considerations relating to driveway width.</b>

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11. In some circumstances, there are non-conforming multifamily uses within residential zones that no longer receive trash service from the city. Some of these properties have acquired dumpsters for purposes of trash pickup, however, it is being stored in front of the property and unsightly.

Modify Table 4.3.1-D District Standards (CD-2) to include the following amendments:

Screens, Streetscreens & Buffers	
Additional Standards	
NR <b>Screening of Dumpsters for refuse use</b>	<b>R Dumpsters for refuse use must be located in the Rear Yard and shall be Screened from Frontage and Civic Space by Building or Streetscreen; or by Building, wall, hedge or fence not at Frontages or Adjacent to Civic Space</b>

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12. The maximum height for fences located at the front of industrially zoned properties has caused some issues for safety concerns. Staff recommends allowing the height for fences to be increased to alleviate such concerns.

Modify Table 4.3.1-L and M (SD-LI and SD-HI) to include the following amendments:

Walls & Fencing (not including Screens)	
Height	3-3.5 ft. At Frontage; otherwise 6 ft. Max <b>provided that at the Frontage it shall comply with Section 4.3.3.G</b> ; height measured from avg. Undisturbed grade of Adjacent property at property line

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13. Within Article 6 is a requirement that new developments provide street trees, sidewalks, and/or planter strips along their frontage as part of their application. This regulation was revised earlier in 2025; however, Staff is recommending that this regulation not apply to new single-family residences.

Modify Section 6.8.1 Applicability (of Streetscape Repairs, Replacements & Improvements) to include the following amendments:

This Section applies to all Development **in which new Principal Building(s) are proposed** other than Buildings, Lots, or Building Sites within a Development Parcel, **Construction of Single-Family Detached Dwelling(s), and/or Developments that are part of an approved Subdivision where the inclusion of such elements has been waived by the Commission.**

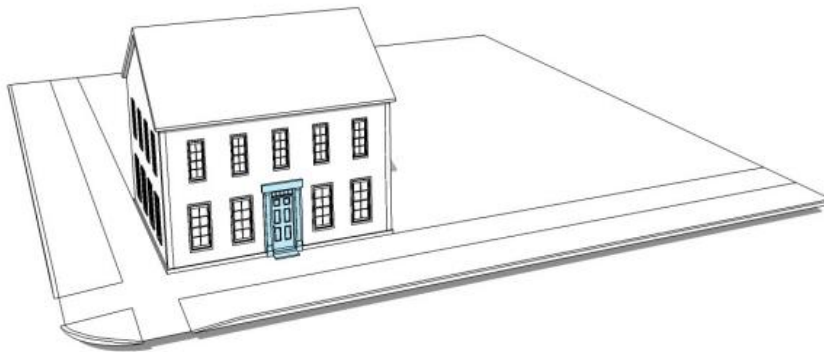
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14. The private frontage types require revision to allow for additional types to be permitted for large multifamily buildings as well as for industrial buildings.

Modify Table 4.3.7.A Private Frontage Types – Stepfront to include the following amendments:

Permitted Districts					
CD-3	CD-3W	<b>CD-3C</b>	CD-4	CD-4W	SD-LI

**STEPFRONT** TABLE 4.3.7.A PRIVATE FRONTAGE TYPES



Modify Table 4.3.7.A Private Frontage Types – Shopfront to include the following amendments:

Permitted Districts					
CD-3	CD-3W	<b>CD-3C</b>	CD-4	CD-4W	SD-LI

**SHOPFRONT** TABLE 4.3.7.A PRIVATE FRONTAGE TYPES



Modify Table 4.3.7.A Private Frontage Types – Terrace/Lightwell to include the following amendments:

Permitted Districts					
<b>CD-2</b>	CD-3	CD-3W	CD-3C	CD-4	CD-4W

**TERRACE/LIGHTWELL**

TABLE 4.3.7.A PRIVATE FRONTAGE TYPES



Modify Table 4.3.1-D District Standards (CD-2) to include the following amendments:

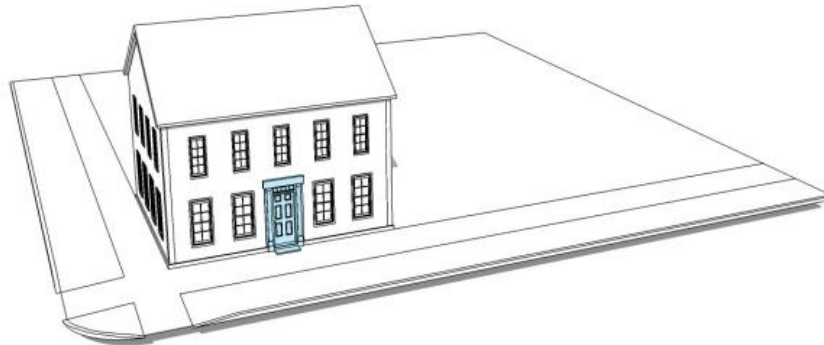
Private Frontage Types	
Terrace/Lightwell	NP <b>P</b>

Modify Table 4.3.7.A Private Frontage Types as well as Article 9 Definitions to include the following amendments:

Stepfront: A Frontage wherein the Facade is aligned very close to the Frontage Line. The entrance is usually an exterior single step without a landing. This type is recommended for ground floor Residential/Retail/Personal Service/Art/Artisan Use, **however, it may be used for any Permitted Use within the Zone including amenity and/or lobby space.**

**STEPFRONT**

TABLE 4.3.7.A PRIVATE FRONTAGE TYPES



Shopfront: A Frontage conventional for Retail/Personal Service/Repair/Art/Artisan Use, **however, it may be used for any Permitted Use within the Zone including amenity and/or lobby space**, wherein the Facade is aligned close to or at the Frontage Line with the **and Building entrance are** at Sidewalk grade. This Frontage has substantial glazing at the Sidewalk level and may include an awning extending over the Sidewalk.

**SHOPFRONT**

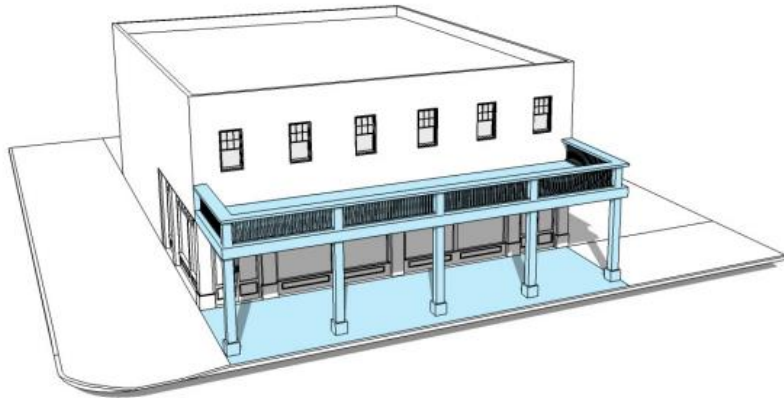
TABLE 4.3.7.A PRIVATE FRONTAGE TYPES



Gallery: A Private Frontage conventional for Retail/Personal Service/Repair/Art/Artisan Use, **however, it may be used for any Permitted Use within the Zone including amenity and/or lobby space**, wherein the Facade is aligned close to the Frontage Line with an attached cantilevered shed or light weight colonnade extending over the Sidewalk.

**GALLERY**

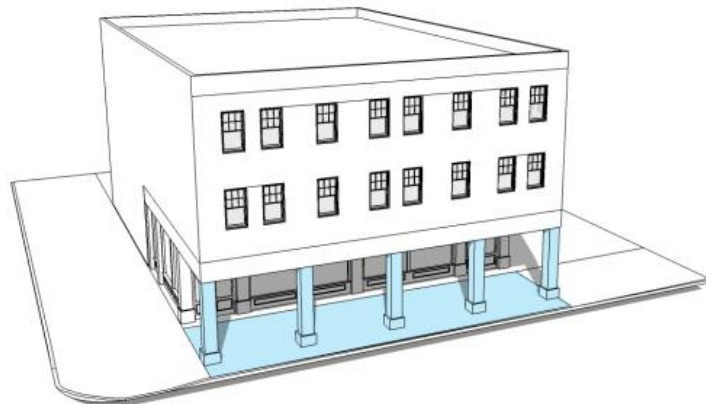
TABLE 4.3.7.A PRIVATE FRONTAGE TYPES



Arcade: A Private Frontage conventional for Retail/Personal Service/Repair/Art/Artisan Use, **however, it may used for any Permitted Use within the Zone including amenity and/or lobby space**, wherein a colonnade supporting habitable space in one or more upper levels extends over the Sidewalk, while the Facade at the first Story remains at the Frontage Line **setback**.

**ARCADE**

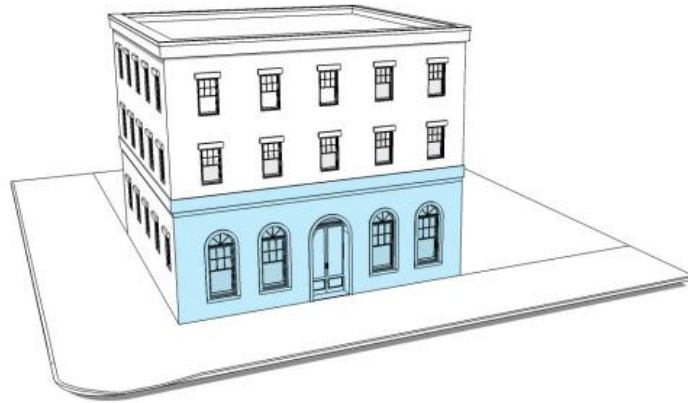
TABLE 4.3.7.A PRIVATE FRONTAGE TYPES



Commercialfront: A Frontage wherein the Facade is aligned close to or at the Frontage Line with the **and Building entrance are** at or above Sidewalk grade. This type is conventional for general Commercial/Office Use, **however, it may be used for any Permitted Use within the Zone including amenity and/or lobby space**. It may have substantial glazing on the Facade.

**COMMERCIALFRONT**

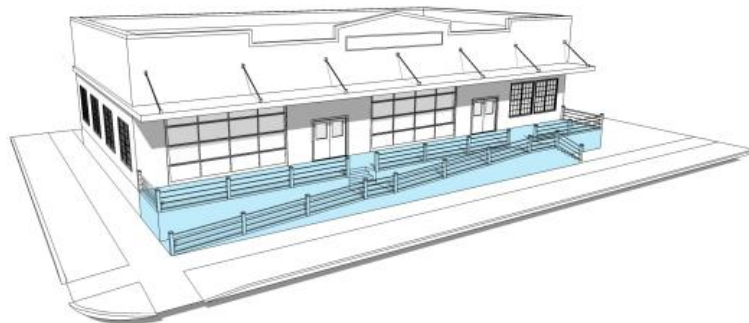
TABLE 4.3.7.A PRIVATE FRONTAGE TYPES



Loading Dockfront: A Frontage type conventional for Industrial Use wherein a loading dock is attached to the Facade at the Frontage Line. This type may be combined with a Shopfront Frontage.

**LOADING DOCKFRONT**

TABLE 4.3.7.A PRIVATE FRONTAGE TYPES



Modify Table 4.3.8.B Principal Building Types – Large Multi-Family Building to include the following amendments:

Allowed Private Frontages	
Porch	P
Stoop	P
Forecourt	P
Terrace/Lightwell	P
<b>Shopfront</b>	<b>P</b>
<b>Commercialfront</b>	<b>P</b>
<b>Arcade</b>	<b>P</b>
<b>Gallery</b>	<b>P</b>

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## Norwalk Planning & Zoning Commission

125 East Avenue  
Norwalk, Connecticut

**MEMORANDUM**

September 29th, 2025

**To:** Norwalk Harbor Management Commission  
**From:** Michelle Andrzejewski, Senior Planner  
**Re:** #2025-68 R – Paul & Mary Kokias – Proposed text amendment to modify building materials in CD-3W for single and duplex dwelling units.

Please accept this letter as the statutorily required referral for amendments to the City of Norwalk’s Zoning Regulations. The Norwalk Planning & Zoning Commission will be holding a public hearing on the following zoning regulations amendment at a meeting that is tentatively scheduled for November 19<sup>th</sup>, 2025.

The applicant proposes to change the permissible building materials for primary building materials on facades in CD-3W to allow vinyl siding with limitations. Below are the redline edits of the proposed revisions to the zoning regulations. (New/Proposed text is indicated in **red text**. Deleted text is indicated as struck-through text)

The zoning map can be found here:

[https://www.norwalkct.gov/DocumentCenter/View/32441/ApprovedZoningMap\\_Rev\\_1\\_31\\_25?bidId=](https://www.norwalkct.gov/DocumentCenter/View/32441/ApprovedZoningMap_Rev_1_31_25?bidId=)

The existing Zoning Regulations can be found here: <https://www.norwalkct.gov/3445/59198/New-Zoning-Regulations-Map>

Existing Language:

Building Materials				
Primary Building Material on Facades	Brick	P	Authentic stucco over masonry	P
	Natural stone	P	Exposed concrete	NP
	Wood	P	Aluminum siding	NP
	Cementitious siding	P	Vinyl siding	NP
	Corrugated and/or sheet metal	NP		

Proposed Language:

Building Materials				
Primary Building Material on Facades	Brick	P	Authentic stucco over masonry	P
	Natural stone	P	Exposed concrete	NP
	Wood	P	Aluminum siding	NP
	Cementitious siding	P	Vinyl siding	P <sup>1</sup>
	Corrugated and/or sheet metal	NP		

1. Vinyl siding shall be permitted subject to the following; Only single-family detached dwelling unit and two-family detached dwelling unit uses are permitted to use vinyl siding.; That the vinyl siding shall be a premium grade, that is .046mm or higher in thickness and provides superior durability, impact resistance, and insulation compared to standard vinyl.; all other uses NP.



Planning & Zoning Commission

# APPLICATION FOR COASTAL SITE PLAN REVIEW

Application must be accompanied by two (2) printed and one (1) digital set of all documents, and appropriate filing fee. Filing Fee: \$310.00 for single or two family use; \$810.00 for all other uses.

Date Stamp

Application Completion Date: Official Receipt Date: Fee Paid:

1. Property Address: 119 Gregory Boulevard, Norwalk, CT 06855 2. D/B/L/U: Distr. 2.230 / Lot 18

3. Proposed Work: Construct structural slurry wall. Buildings E, F, G & H 4. Zone: B

### 5. Applicant Identification:

Applicant Name: Charles Cove Condominium Association
Address: 1 Island Drive, Norwalk, CT 06855
Phone Number: (203) 247-0301 Email: lcafero@caferolaw.com
Interest in Property: [ ] fee simple [ ] option [ ] lessee [ ] easement [x] other (specify): Condo Assoc.
List primary contact for correspondence if other than applicant (Agent or Attorney):
Name: B, Cory Attra, PE
Address: 19 Old Mill Road, Jaffrey, NH 03452
Business Phone: (603) 400-5455 Email: cory@gapmountainengineering.com

### 6. Property Owner, if different than applicant:

Owner Name:
Address:
Phone Number: Email:

### 7. Project Information:

Please check the appropriate box to identify the plan or application that has resulted in this Coastal Site Plan Review:
[ x ] Coastal Site Plan for Zoning Compliance/Zoning Permit
[ ] Subdivision or Resubdivision Application
[ ] Special Permit or Special Exception Application
[ ] Site Plan Review Application
[ ] Variance Application
[ ] Municipal Project (CGS Section 8-24)

## 6. Project Site Plans:

Please provide project site plans that clearly and accurately depict the following information, and check the appropriate boxes to indicate that the plans are included in this application:

- Project location
- Existing and proposed conditions, including buildings and topography
- All** coastal resources on and contiguous to the site
- High tide line [as defined in CGS Section 22a-359(c)] and mean high water mark elevation contours (for parcels abutting coastal waters and/or tidal wetlands only)
- Soil erosion and sediment controls
- Storm water management & treatment practices
- Ownership and type of use on adjacent properties
- Reference datum (i.e., National Geodetic Vertical Datum, Mean Sea Level, etc.)
- Landscaping and planting plan (existing & proposed)
- Utility Plan (existing & proposed: water, drainage, sanitary sewers, electric & gas lines)
- Easements (utility, sight preservation, conservation, pedestrian)

## 7. Site Information:

- a) Street Address or Geographical Description:  
119 Gregory Boulevard, Buildings E, F, G & H
- b) Is project or activity proposed at a waterfront site (includes tidal wetlands frontage)?  YES  NO
- c) Name of on-site, adjacent, or downstream coastal, tidal, or navigable waters, if applicable:  
Charles Cove
- d) Identify and describe the existing land use in and adjacent to the site. Include description of any existing structures and significant features on the project site:  
Condominium housing with pool, public bathrooms, and parking.
- e) Indicate the area of the project site: 10.5 acres or \_\_\_\_\_ square feet
- f) Check the appropriate box below to indicate total land area of disturbance of the project or activity (please also see Question #9 regarding proposed stormwater best management practices):
- Project or activity will disturb five (5) or more total acres of land area on the site. *Registration for CT DEEP General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities required.*
  - Project or activity will disturb land, but less than five (5) total acres of land area would be disturbed. *A soil erosion and sedimentation control plan must be submitted.*
  - Project or activity will not disturb any land area.
- g) Does the project include a shoreline flood and erosion control structure as defined in CGS section 22a-109(d)?  Yes  No

**8. Description of Proposed Project or Activity:**

Describe the proposed project or activity including its purpose and related activities such as site clearing, grading, demolition, and other site preparations; percentage of increase or decrease in impervious cover over existing conditions resulting from the project; phasing, timing and method of proposed construction; and new uses and changes from existing uses (*attach additional pages if necessary*):

~~Construct 540 lineal feet of cast-in-place concrete slurry walls abutting land-side of existing timber bulkheads on the east side of the property using existing structural steel tie backs and piles. Existing timber bulkheads and boardwalk are to remain in-place throughout construction, with the existing bulkhead used as blind side forms to support construction of slurry walls. No work is permitted on the water side of existing bulkheads. Scope includes all labor, material, and equipment need to construct and maintain sedimentation and erosion controls, excavate for slurry walls, construct concrete slurry walls, tie-back to existing piles using existing steel tie rods, repair existing sink holes, and restore grass lawns with irrigation. Owner anticipates phasing the work for budgetary purposes.~~

**9. Description of Proposed Stormwater Best Management Practices:**

Describe the stormwater best management practices that will be utilized to ensure that the volume of runoff generated by the first inch of rainfall is retained on-site, especially if the site or stormwater discharge is adjacent to tidal wetlands. If runoff cannot be retained on-site, describe the site limitations that prevent such retention and identify how stormwater will be treated before it is discharged from the site. Also demonstrate that the loadings of total suspended solids from the site will be reduced by 80 percent on an average annual basis, and that post-development stormwater runoff rates and volumes will not exceed pre-development runoff rates and volumes (*attach additional pages if necessary*):

~~Construct and maintain sedimentation and erosion controls through construction. Controls include but are not limited to tracking pads, wash down and fueling station, phased staging areas, silt fence, hay bails, and temporary portable facilities. The existing wood bulkhead is not being disturbed and filter fabric is being used to fully encapsulate work areas so that silt cannot pass through gaps / imperfections between boards which is currently causing siltation into Long Island Sound and sink holes. Sedimentation pre and post construction is fully contained on-site throughout construction and following completion of slurry walls.~~

## 10. Identification of Applicable Coastal Resources and Coastal Resource Policies:

Identify the coastal resources and associated policies that apply to the project by placing a check mark in the appropriate box(es) in the following table.

Coastal Resources	On-site	Adjacent	Off-site but within the influence of project	Not Applicable
<b>General Coastal Resources*</b> - Definition: CGS Section 22a-93(7); Policy: CGS Section 22a-92(a)(2)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Beaches &amp; Dunes</b> - Definition: CGS Section 22a-93(7)(C); Policies: CGS Sections 22a-92-(b)(2)(C) and 22a-92(c)(1)(K)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>Bluffs &amp; Escarpments</b> - Definition: CGS Section 22a-93(7)(A); Policy: CGS Section 22a-92(b)(2)(A)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>Coastal Hazard Area</b> - Definition: CGS Section 22a-93(7)(H); Policies: CGS Sections 22a-92(a)(2), 22a-92(a)(5), 22a-92(b)(2)(F), 22a-92(b)(2)(J), and 22a-92(c)(2)(B)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>Coastal Waters, Estuarine Embayments, Nearshore Waters, Offshore Waters</b> - Definition: CGS Sections 22a-93(5), 22a-93(7)(G), and 22a-93(7)(K), and 22a-93(7)(L) respectively; Policies: CGS Sections 22a-92(a)(2) and 22a-92(c)(2)(A)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Developed Shorefront</b> - Definition: CGS Section 22a-93(7)(I); Policy: 22a-92(b)(2)(G)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Freshwater Wetlands and Watercourses</b> - Definition: CGS Section 22a-93(7)(F); Policy: CGS Section 22a-92(a)(2)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>Intertidal Flats</b> - Definition: CGS Section 22a-93(7)(D); Policies: 22a-92(b)(2)(D) and 22a-92(c)(1)(K)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Islands</b> - Definition: CGS Section 22a-93(7)(J); Policy: CGS Section 22a-92(b)(2)(H)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>Rocky Shorefront</b> - Definition: CGS Section 22a-93(7)(B); Policy: CGS Section 22a-92(b)(2)(B)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>Shellfish Concentration Areas</b> - Definition: CGS Section 22a-93(7)(N); Policy: CGS Section 22a-92(c)(1)(I)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>Shorelands</b> - Definition: CGS Section 22a-93(7)(M); Policy: CGS Section 22a-92(b)(2)(I)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Tidal Wetlands</b> - Definition: CGS Section 22a-93(7)(E); Policies: CGS Sections 22a-92(a)(2), 22a-92(b)(2)(E), and 22a-92(c)(1)(B)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

\* General Coastal Resource policy is applicable to all proposed activities

## 11. Consistency with Applicable Coastal Resource Policies and Standards:

Describe the location and condition of the coastal resources identified in Question #10 and explain how the proposed project or activity is consistent with all of the applicable coastal resource policies and standards; also see adverse impacts assessment in Question #14 below (*attach additional pages if necessary*):

The project is a permanent structural repair to a failing existing timber bulkhead that is ~~deteriorating. The existing timber bulkhead is structurally unstable and causing sink holes that result from continuous sedimentation into Long Island sound. Construction of slurry walls on the land-side of the existing timber bulkheads corrects the structural concern and permanently eliminates further sedimentation into Long Island Sound. Using the existing timber bulkheads as a "blind side" form eliminates the need for work on the water-side and avoids disturbance to sensitive inter-tidal wetlands. Sedimentation and erosion controls will be monitored throughout construction and the proposed encapsulation plan prevents sedimentation into Long Island Sound and neighboring lawns throughout construction and post-construction stabilization.~~

## 12. Identification of Applicable Coastal Use and Activity Policies and Standards:

Identify all coastal policies and standards in or referenced by CGS Section 22a-92 applicable to the proposed project or activity:

- General Development\* - CGS Sections 22a-92(a)(1), 22a-92(a)(2), and 22a-92(a)(9)
- Water-Dependent Uses\*\* - CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A); Definition CGS Section 22a-93(16)
- Ports and Harbors - CGS Section 22a-92(b)(1)(C)
- Coastal Structures and Filling - CGS Section 22a-92(b)(1)(D)
- Dredging and Navigation - CGS Sections 22a-92(c)(1)(C) and 22a-92(c)(1)(D)
- Boating - CGS Section 22a-92(b)(1)(G)
- Fisheries - CGS Section 22a-92(c)(1)(I)
- Coastal Recreation and Access - CGS Sections 22a-92(a)(6), 22a-92(C)(1)(j) and 22a-92(c)(1)(K)
- Sewer and Water Lines - CGS Section 22a-92(b)(1)(B)
- Fuel, Chemicals and Hazardous Materials - CGS Sections 22a-92(b)(1)(C), 22a-92(b)(1)(E) and 22a-92(c)(1)(A)
- Transportation - CGS Sections 22a-92(b)(1)(F), 22a-92(c)(1)(F), 22a-92(c)(1)(G), and 22a-92(c)(1)(H)
- Solid Waste - CGS Section 22a-92(a)(2)
- Dams, Dikes and Reservoirs - CGS Section 22a-92(a)(2)
- Cultural Resources - CGS Section 22a-92(b)(1)(J)
- Open Space and Agricultural Lands - CGS Section 22a-92(a)(2)

\* General Development policies are applicable to all proposed activities

\*\* Water-dependent Use policies are applicable to all activities proposed at waterfront sites, including those with tidal wetlands frontage.

### 13. Consistency With Applicable Coastal Use Policies and Standards:

Explain how the proposed activity or use is consistent with all of the applicable coastal use and activity policies and standards identified in Question #12. **For projects proposed at waterfront sites (including those with tidal wetlands frontage)**, particular emphasis should be placed on the evaluation of the project's consistency with the water-dependent use policies and standards contained in CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A) -- also see adverse impacts assessment in Question #15 below (attach additional pages if necessary):

The project is major maintenance and repair to a failing existing timber bulkhead that has ~~exceeded its useful life. Failure to repair the bulkhead would result in substantial damage to the~~ environment, life safety concerns, and loss of property.

### 14. Identification of Potential Adverse Impacts on Coastal Resources: (Must be completed for ALL projects.)

Identify the adverse impact categories below that apply to the proposed project or activity.

The 'applicable' column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(15). If an adverse impact **may result** from the proposed project or activity, please use Question #16 to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Coastal Resources	Applicable	Not Applicable
Degrading tidal wetlands, beaches and dunes, rocky shorefronts, and bluffs and escarpments through significant alteration of their natural characteristics or functions - CGS Section 22a-93(15)(H)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones - CGS Section 22a-93(15)(E)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Degrading existing circulation patterns of coastal water through the significant alteration of patterns of tidal exchange or flushing rates, freshwater input, or existing basin characteristics and channel contours - CGS Section 22a-93(15)(B)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Degrading natural or existing drainage patterns through the significant alteration of groundwater flow and recharge and volume of runoff - CGS Section 22a-93(15)(D)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Degrading natural erosion patterns through the significant alteration of littoral transport of sediments in terms of deposition or source reduction - CGS Section 22a-93(15)(C)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Degrading visual quality through significant alteration of the natural features of vistas and view points - CGS Section 22a-93(15)(F)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Degrading water quality through the significant introduction into either coastal waters or groundwater supplies of suspended solids, nutrients, toxics, heavy metals or pathogens, or through the significant alteration of temperature, pH, dissolved oxygen or salinity - CGS Section 22a-93(15)(A)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Degrading or destroying essential wildlife, finfish, or shellfish habitat through significant alteration of the composition, migration patterns, distribution, breeding or other population characteristics of the natural species or significant alterations of the natural components of the habitat - CGS Section 22a-93(15)(G)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Degrading tidal wetlands, beaches and dunes, rocky shorefronts, and bluffs and escarpments through significant alteration of their natural characteristics or functions - CGS Section 22a-93(15)(H)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones - CGS Section 22a-93(15)(E)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**15. Identification of Potential Adverse Impacts on Water-dependent Uses: (Complete only if the project/activity is proposed at a waterfront site.)**

a) Identify the adverse impact categories below that apply to the proposed project or activity. The applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(17). If an adverse impact **may result** from the proposed project or activity, use Question #16 to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Future Water-dependent Development Opportunities and Activities	Applicable	Not Applicable
Locating a non-water-dependent use at a site physically suited for or planned for location of a water-dependent use - CGS Section 22a-93(17)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Replacing an existing water-dependent use with a non-water-dependent use - CGS Section 22a-93(17)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Siting a non-water-dependent use which would substantially reduce or inhibit existing public access to marine or tidal waters - CGS Section 22a-93(17)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

b) Identification of existing and/or proposed Water-dependent Uses:

Describe the features or characteristics of the proposed activity or project that qualify as water-dependent uses as defined in CGS Section 22a-93(16). If general public access to coastal waters is provided, please identify the legal mechanisms used to ensure public access in perpetuity, and describe any provisions for parking or other access to the site and proposed amenities associated with the access (e.g., boardwalk, benches, trash receptacles, interpretative signage, etc.) \*:

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The project maintains and repairs an existing timber bulkhead that services water-dependent uses for a marina, water front dock and port facilities, water-based recreational uses, navigation aides, basins, and channels, general public access to marine or tidal waters, and water-front housing.

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\*If there are no water-dependent use components, describe how the project site is not appropriate for the development of a water-dependent use.

**16. Mitigation of Potential Adverse Impacts:**

Explain how all potential adverse impacts on coastal resources and/or future water-dependent development opportunities and activities identified in Questions #14 & #15 have been avoided, eliminated, or minimized (*attach additional pages if necessary*):

Potential adverse impact is avoided by preventing any work to be performed in the inter-tidal wetlands that abut the water side of the existing timber bulkheads, coupled with a sedimentation and erosion control strategy that fully encapsulates land-side work activity to prevent the risk of sedimentation into the inter-tidal wetlands and Long Island Sound.

**17. Remaining Adverse Impacts:**

Explain why any remaining adverse impacts resulting from the proposed activity or use have not been mitigated and why the project as proposed is consistent with the Connecticut Coastal Management Act (*attach additional pages if necessary*):

No known remaining adverse impacts resulting from the proposed activity not been mitigate.

By signing this application, the applicant or his/her agent certifies that they are familiar with the information provided in this application and are aware of the penalties for obtaining a permit through deception or by submission of inaccurate or misleading information.

By signing this application, permission is hereby given to necessary and proper inspection of the subject property by the Commissioners and designated staff of the Commission or consultants to the Commission, at reasonable times, during the pendency of the application.

Applicant's Signature: Lawrence F. Cafaro, Sr. DATE: 9-23-2025  
Charles Cove Condominium Assn. *Lawrence F. Cafaro, Sr. - Duly Authorized Board Member*

Agent's Signature: Broderick C. Attra DATE: 09.22.2025  
Broderick C. Attra, PE  
Managing Partner, Civil / Structural Engineer of Record

# Instructions for Coastal Site Plan Review Application

## Notification of Neighbors

Coastal Site Plan Reviews require the applicant make three actions to notice to neighbors during the review of the application: 1) initial notification of the application submittal, 2) notice of public hearing (if applicable), and 3) legal notice of the public hearing in the newspaper (if applicable).

1) **Notice of Application Submittal:** ALL applications shall notify *by a certificate of mailing* the owners of land withing 100 feet of the subject parcel *within ten (10) days of submitting an application* to the Planning & Zoning Commission. The name of the owners shall be taken from the latest Tax Assessor records. *Proof of mailings shall be evidenced by providing a certificate of mailing* that must be submitted to the Planning & Zoning staff immediately following mailing. See Sample Letter below.

2) **Public Hearing Notice:** Any application for which a public hearing is required, the applicant shall notify *by certified mail, return receipt requested at least ten (10) days prior to the public hearing*, the owners of land that abut or are directly across the street from the subject parcel. The name of the owners shall be taken from the latest Tax Assessor records. See Sample Letter below.

When a condominium is located across the street or abuts the subject proposal notification may be sent to the condominium association in lieu of the individual unit owners. Evidence of certified mailings shall be submitted by the applicant on or before the public hearing date.

3) **Legal Notice Payment:** When a public hearing is required, applicants shall be responsible for payment of three legal notices in The Hour newspaper. Two notices will advertise the application's public hearing date and one will advertise the Commission's action on the application.

The Planning & Zoning staff will provide the required legal notices to The Hour. Applicants must contact The Hour at the number given below to arrange for payment in advance of the publication date.

Classified Advertising Manager

The HOUR

Phone: (203) 354-1100 or 846-3281

Fax: (203) 846 – 9897

## Application Decision Publication

Decisions on ALL Coastal Site Review Applications must be published in The Hour. All application decisions must be published as a Legal Notice in The Hour. The applicant is responsible for payment of the Legal Notice of Decision. The Planning & Zoning staff will provide the required legal notices to The Hour. Applicants must contact The Hour at the number given below to arrange for payment.

Classified Advertising Manager

The HOUR

Phone: (203) 354-1100 or 846-3281

Fax: (203) 846 – 9897

**Sample Letter: APPLICATION SUBMITTAL NOTIFICATION**

Dear \_\_\_\_\_,

Be advised that \_\_\_\_\_ has applied for a Coastal Site Plan  
(Applicant)

application for property located at the following address: \_\_\_\_\_

\_\_\_\_\_  
(Street name and number and District, Block and Lot numbers)

The proposal is for \_\_\_\_\_  
(Description of Proposal)

\_\_\_\_\_  
You are being notified because your property abuts the property or is located directly across the street from the subject parcel. The application is on file in the Planning & Zoning Office located at City Hall, 125 East Avenue, Room 129, Norwalk, Connecticut 06856. The application materials can be reviewed on the City webpage at <https://www.norwalkct.gov/1746/Pending-Application-Materials>. If you have any questions regarding this application, you can email the staff person noted on the pending application webpage or you can call the Planning & Zoning Office at (203) 854-7780.

\_\_\_\_\_  
Signature of applicant

***Applicant must sign above and provide contact information below.  
(THIS FORM IS TO BE COMPLETED BY APPLICANT)***

**Sample Letter: PUBLIC HEARING NOTIFICATION**

Dear \_\_\_\_\_,

Be advised that **[Applicant Name]** has applied for a Coastal Site Plan Review application for property located at the following address: **[Project Address – street name and number]** and **[District/Block/Lot number]**.

The proposal is for **[Description of Proposal]**.

The Norwalk Planning & Zoning Commission will conduct a public hearing on this proposal on **[Day, Date, Time, and Location of Public Hearing]**.

You are being notified because your property abuts the property or is located directly across the street from the subject parcel. The application is on file in the Planning & Zoning Office located at City Hall, 125 East Avenue, Room 129, Norwalk, Connecticut 06856. The application materials can be reviewed on the City webpage at <https://www.norwalkct.gov/1746/Pending-Application-Materials>. If you have any questions regarding this application, you can email the staff person noted on the pending application webpage or you can call the Planning & Zoning Office at (203) 854-7780.

\_\_\_\_\_  
Signature of applicant

***Applicant must sign above and provide contact information below.  
(THIS FORM IS TO BE COMPLETED BY APPLICANT)***

## Application Form Instructions:

### 6. Project Site Plans

It is important to include clear and concise project plans that delineate coastal resources on and/or adjacent to site, especially the waterbody receiving stormwater discharges, if applicable. *Complete plans will expedite the review process.*

### 7. Site Information

Describe in detail the current land use on the site, current zoning classification, and any significant features of the project site. Indicate overall area of disturbance of the project. "*Disturbance*" includes not only the footprint of any construction, but also the extent of the project's work area. If the disturbance is 5 or more total acres of land area, then a CT DEEP stormwater permit may be required.

### 8. Description of Proposed Project or Activity

Provide a detailed description of the proposed project or activity, including the construction phasing, timing, and methodology. Include all activities related to construction such as site clearing, grading, and demolition. Also include the percentage of increase or decrease in impervious cover over existing conditions resulting from the project, and any changes or new uses of the property.

### 9. Description of Proposed Stormwater Best Management Practices

Describe in detail the stormwater best management practices (BMP), which will be utilized in this project. Explain how these stormwater BMPs will retain on-site the volume of runoff generated by the first inch of rainfall, especially if the site or ultimate discharge is adjacent to tidal wetlands. If retention is not a feasible option, explain why not and describe how the stormwater will be treated before it is discharged. It is also necessary to demonstrate that the loadings of total suspended solids from the site will be reduced by 80% on an average annual basis, and that post-development runoff rates and volumes will not exceed pre-development rates and volumes.

### 10. Identification of Applicable Coastal Resources and Coastal Resource Policies

Check ALL appropriate coastal resources and their associated Coastal Management Policies. This information should be based on a field-verified determination of on-site and adjacent coastal resources. Note that there is a box provided for the

identification of resources, which are off-site but "within the influence of project." This is particularly applicable to "downstream" resources, such as those, which could be affected by project drainage, erosion sedimentation or other impacts unless the project is designed with proper mitigation.

Coastal Resource Maps may not be substituted for field surveys by qualified personnel where warranted by the presence of sensitive resources.

Please note that general "*Coastal Resources*" is "pre-checked" as its policies apply to all activities in the coastal boundary.

Additionally, check "*Shorelands*" for any site which is not entirely within the coastal flood hazard area, since shorelands are statutorily defined as, "...those land areas within the coastal boundary exclusive of coastal hazard areas...."

### 11. Consistency with Applicable Coastal Resource Policies and Standards

Explain how the proposed activity is consistent with the associated policies for each of the identified coastal resources in Question #10. Describe the location and condition of the coastal resources identified and explain how the proposed project is consistent with ALL applicable coastal resource policies. Where appropriate, describe mitigation measures proposed to offset any impacts from the project. For example, if "*Tidal Wetlands*" are identified on-site, explain the proposed wetland protection measures that will be incorporated into the project including setbacks, buffer areas, conservation easements and other protective measures, since the CCMA policies require strict protection of tidal wetland resources. Or, if off-site Tidal Wetlands could be affected by construction, provide a detailed description of the measures that will mitigate potential impacts.

### 12. Identification of Applicable Coastal Use and Activity Policies and Standards

This section provides a list of all statutory policies and standards for land and water uses in Connecticut's Coastal Boundary which are either set forth in, or referenced by, Section 22a-92 of the CCMA. Using the appropriate fact sheet(s) identify all policies and standards applicable to the proposed activity. Please note that "*General Development*" is "pre-checked" as its policies apply to all activities in the coastal boundary.

**13. Consistency with Applicable Coastal Use Policies and Standards**

Explain how the proposed activity, including any mitigation proposed to offset adverse impacts, is consistent with the coastal use policies and standards. Because all activities invoke the "General Development" policies, consistency must be addressed in every case.

**14. Identification of Potential Adverse Impacts on Coastal Resources**

This section requires the identification of applicable adverse impacts to coastal resources. "Adverse Impacts" are specifically defined by statute and are discussed in the Fact Sheet for Adverse Impacts. Based upon the proposed activity and its location, identify the potential adverse impacts to the resources on and adjacent to the site.

**15. Identification of Potential Adverse Impacts on Future Water-dependent Uses:**

Complete this Question if the project abuts marine or tidal waters, or tidal wetlands. Identify applicable adverse impacts to future water-dependent development opportunities and activities. As a reference, each statutorily defined adverse impact is listed with its statutory citation. Based upon the proposed activity and its location, carefully identify the potential adverse impacts on future water-dependent uses.

Identify the components of the project that constitute water-dependent uses and therefore render the project consistent with the CCMA. If there are no water-dependent use components, describe how the project is not appropriate for development of a water dependent use.

**16. Mitigation of Potential Adverse Impacts**

Explain how all potential adverse impacts to coastal resources and future water-dependent development opportunities have been avoided, minimized, or mitigated. For example, potential water-quality impacts might be minimized through preservation of pervious surfaces, which reduce runoff and mitigated by stormwater pre-treatment prior to discharge off-site. Impacts to water-dependent uses could be avoided by locating a water-dependent use at an appropriate site where no such water-dependent use currently exists.

**17. Remaining Adverse Impacts**

Identify any remaining impacts to coastal resources and/or future water-dependent development opportunities that have not been mitigated and explain why no other mitigation is proposed. Clearly explain why there are no feasible or prudent alternatives to the proposed activity that would result in fewer or lesser impacts to coastal resources and water-dependent uses.

**N.B.**

The Commission reserves the right to require any further plans or documentation which in its judgement may be necessary for the proper exercise of its responsibilities under the terms of Article 6, Section 10 of the Norwalk Zoning Regulations.

NO APPLICATION WILL BE ACCEPTED BY THE COMMISSION UNTIL IT IS COMPLETE AND DOCUMENTED AS SPECIFIED ABOVE. The applicant is encouraged to review their application with the Planning and Zoning Staff prior to the date of submission to facilitate expeditious administration of the application and to ensure that all necessary information and documentation is included.

Upon written request, the Commission may waive any of the requirements of a Coastal Site Plan Review application where such requirements are inappropriate or do not apply.

Charles Cove Association  
124 East Ave, 2nd Floor  
Norwalk, CT 06851

October 2, 2025

Souvaine Meehan Emily Trustee  
3 Island Drive  
Norwalk, CT 06855

Subject:       **PROFESSIONAL ENGINEERING & PERMITTING ASSISTANCE  
CHARLES COVE BULKHEADS, EAST SIDE SLURRY WALLS**

To Whom it May Concern,

Please be advised that Charles Cover Association has applied Norwalk Zoning for a Coastal Site Plan application for its property located at 119 Gregory Boulevard, Norwalk, CT (block 3, lots 000075-000018-B000002). The proposal is for major repairs to the east side bulkheads. You are being notified because your property abuts our property and some of the areas of work. None of the work is on your property or bulkhead.

The application is on file in the Planning & Zoning Office located at City Hall, 125 East Avenue, Room 125, Norwalk, CT 06856. The application materials can be reviewed on the City webpage at <https://www.norwalktc.gov/1746/Pending-Application-Materials>. If you have any questions regarding this application, you can email the staff person noted on the pending application webpage or you can call the Planning & Zoning Office at (203) 854-7780.

Thank you,

**CHARLES COVE ASSOCIATION**

A handwritten signature in blue ink, appearing to read 'B.M.C.A.' with a long horizontal line extending to the right.

Broderick C. Attra, PE (for)  
Larry Cafero  
President

Copy to:       City of Norwalk

# REPAIR 491' TIMBER BULKHEADS, EAST SIDE OF TIDAL INLET

CHARLES COVE CONDOMINIUM ASSOCIATION  
119 GREGORY BOULEVARD, NORWALK, CT



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GAP MOUNTAIN, PLLC  
B. Cory Attra, PE  
19 Old Mill Road  
Jaffrey, NH 03452  
cory@gapmountainengineering.com  
(603) 400-5455



CHARLES COVE CONDO.  
119 GREGORY BLVD.  
NORWALK, CT 06855

DATE: OCTOBER 2, 2024  
REVISIONS  
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 REPAIR 491' TIMBER BULKHEADS  
EAST SIDE OF TIDAL INLET

COVER  
SHEET

COVER

DESIGN CRITERIA
BUILDING CODE: CONNECTICUT STATE BUILDING CODE 2022 (IBC)
SOILS
PERMEABILITY: NA SOIL TYPE: SM, SC (OBSERVED) DENSITY NATIVE SOILS: 110 PCF DENSITY STRUCTURAL FILL: 120 PCF MODULUS: 150 TSI (ASSUMED) ULTIMATE BEARING CAPACITY: 1.2 TSF ALLOWABLE
LIVE LOADS:
SURCHARGE 100 PSF
SNOW LOADS:
GROUND SNOW LOAD: 30 PSF
WIND:
NA
SEISMIC
IMPORTANCE FACTOR: 1.0 DESIGN CATEGORY: B SOIL CLASS: D (STIFF) SS: 0.940 S1: 0.048 SDS: 0.180 SD1: 0.068 ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE BASIC FORCE RESISTING SYSTEM: RESTRAINED BULKHEAD
SCOPE OF WORK
1. GENERAL SCOPE. CONSTRUCT APPROXIMATELY 491' OF CONCRETE SLURRY WALL WORKING FROM LANDSIDE OF EXISTING TIMBER FRAMED BULKHEAD SYSTEM ON THE EAST SIDE OF THE TIDAL INLET. WORK IS SEASONALLY AND TIDE RESTRICTED.
1.1 OWNER MAY ELECT TO CONSTRUCT REPAIRS IN (3) PHASES. SEE C1 FOR PHASING PLAN.
2. MIN CLEARANCES OF WORK FROM EXISTING BUILDINGS AND STRUCTURES. MAINTAIN MIN 20'-0" CLEARANCE FROM EXCAVATION TO EXISTING FOUNDATIONS AND BUILDING STRUCTURES AND 90'-0" OF POOL.
3. CALL BEFORE YOU DIG. LAYOUT AND STAKING THE PROPOSED WORK AND SETTING REQUIRED ELEVATIONS, CALL BEFORE YOU DIG, AND COORDINATE WORK WITH EXISTING UTILITIES.
4. EXCAVATE AND BACKFILL WORKING FROM LANDSIDE RESTORING EXISTING CONDITIONS FOLLOWING SUBSTANTIAL COMPLETION OF WORK.
5. TEST ALL SOILS PRIOR TO MASS EXCAVATION. DESIGN INTENT IS A BALANCED SITE WITH NO SPOILS. DETERMINE WHETHER OFF-HAUL SPOILS ARE REQUIRED AND CONFORM TO CT STATE MOBILITY REQUIREMENTS. ENGAGE LEAD ENVIRONMENTAL PROFESSIONAL FOR OVERSIGHT OF DISPOSAL OF ANY CONTAMINATED MATERIALS, AND DISPOSE A PROPER RECEIVING FACILITIES.
6. EXCAVATE, FILL, BACKFILL AND REFILL AS REQUIRED, INCLUDING COMPACTION, FOR CONSTRUCTION OF YARDS AND COMMON AREAS. SHOW CLEAR STRUCTURAL FILL BENEATH WALKWAYS AND PARKING AREAS IF REQUIRED.
7. PLANS SHOW 30'-0" TYP SECTION OF SLURRY WALL FOR (2) ALTERNATIVE APPROACHES. CONTRACTOR IS PERMITTED TO OPEN AND CONSTRUCT LARGER SECTIONS FOR MONOLITHIC CONSTRUCTION. COORDINATE WITH ENGINEER ON PROPOSED MEANS, METHOD AND SCHEDULE PRIOR TO START OF WORK.
SEDIMENTATION AND EROSION CONTROLS (S&E)
1. CONTRACTOR SHALL INSTALL S&E IN ACCORDANCE WITH CT-DEEP BEST MANAGEMENT PRACTICES. S&E MAY BE INSTALLED IN PHASES AS WORK PROGRESSES AND SHALL REMAIN IN-PLACE IN ACCORDANCE WITH NORWALK REGULATIONS.
2. ALL EARTHWORK SHALL BE PERFORMED UNDER THE SUPERVISION OF A COMPETENT PERSON IN CHARGE AND WHO IS A FULL TIME EMPLOYEE OF THE CONTRACTOR.
3. DISTURBED AREAS SHALL BE TOP SOILED, SEEDED WITH GRASS AND MULCH IN A MANNER CONFORMING TO THE RECOMMENDATIONS OF THE GUIDELINES FOR SOIL AND EROSION AND SEDIMENT CONTROL PUBLISHED BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION DATED MAY 2, 2002. SEE C2 FOR RESTORATION AND PLANTING PLAN.
3.1 CRUSHED STONE. CONTROLLED FILL AND PROCTOR 3.2 SUBSOILS SHALL BE LOOSSED BY SCARIFYING TO A DEPTH OF MIN 2" TO ENSURE BONDING OF TOPSOIL AND SUBSOIL. 3.3 TOPSOIL SHALL BE FRIABLE AND LOAMY WITH HIGH ORGANIC CONTENT, FREE OF DEBRIS, ROCKS, AND ROOTS. 3.4 MIN 1.5% AND MAX 6% BY WEIGHT OF FINE TEXTURED STABLE ORGANIC MATERIALS. 3.5 MIN 20% FINE TEXTURED MATERIALS PASSING NO. 200 SIEVE. 3.6 MAX 15% CLAY. 3.7 RANGE OF 6.0 TO 7.5 PH. 3.8 MAX 500 PPM SOLUBLE SALTS. 3.9 TOP SHALL BE PLACED FOLLOWING WINTER CONDITIONS. SUBSOILS MAY NOT BE FROZEN.
4. MAX 2H:1V SLOPES.
5. CONSTRUCTION AND MAINTAIN SEDIMENTATION AND EROSION CONTROLS IN ACCORDANCE WITH THESE PLANS AND CT-DEEP BEST MANAGEMENT PRACTICES.
6. ENGINEER SHALL ROUTINELY MONITOR AND DOCUMENT COMPLIANCE WITH PLANS AND PERMITS. ENGINEER SHALL INSPECT S&E CONTROLS FOLLOWING RAIN EVENTS OR EVERY (2) WEEKS, WHICHEVER IS MORE FREQUENT. CONTRACTOR SHALL COMPLY WITH ENGINEER DIRECTIVES TO CORRECT DEFICIENT CONDITIONS.
7. S&E CONTROLS SHALL CONFORM TO 200 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL PREPARED BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.
8. STAGING, MAINTENANCE AND SERVICING OF EQUIPMENT SHALL BE LOCATED IN A CONTAINMENT AREA IN ACCORDANCE WITH CT-DEEP REQUIREMENTS.
9. TRACKING BED SHALL BE INSTALLED IF REQUIRED FOR LOGISTICS. INSTALL TRACKING BED PRIOR TO START OF CONSTRUCTION. PAD SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH OWNER APPROVAL. PAD SHALL BE CONSTRUCTED WITH MIN 6" DEEP, NOMINAL 4" DIA CRUSHED, WASHED STONE. LOCATION AND DIMENSIONS OF THE PAD SHALL SUBSTANTIALLY CONFORM TO PLANS.
9.1 BROOM CLEAN ALL PAVED ASPHALT AND CONCRETE SURFACES IMPACTED BY CONSTRUCTION ON A DAILY BASIS.
10. STAGING AND STOCK PILE LOCATIONS PER PLANS OR AS OTHERWISE APPROVED BY OWNER AND ENGINEERS. COORDINATE WITH ENGINEER ON DIFFERING SITE CONDITIONS AND DEVIATIONS.
11. SILT FENCE, MIRAFI 10X ENVIROFENCE, AMOCO SILTSTOP OR EQUIVALENT. SUBMIT CUT SHEET TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. INSTALLATION PER PLANS.
12. SEED MIX. RESTORE DISTURBED LAWNS AND LANDSCAPED AREAS WITH PLANTS AND TREES AS SPECIFIED BY OWNER. FOR PRICING PURPOSES ALLOW \$20,000 PER PHASE FOR RESTORATION OF LAWNS AND PLANTINGS. STRIP AND REUSE EXISTING TOP SOIL IN AS MUCH AS PRACTICAL. SEED AND MULCH DISTURBED AREAS WITH THE FOLLOWING GRASS SEED MIX, MIN 4" THICK SEEDBEDS: 12.1 TEMP SEED MIX. 40 LBS / ACRE PERENNIAL RYEGRASS. 12.2 PERM SEED MIX. 20 LBS / ACRE KENTUCKY BLUEGRASS, 20 LBS PER ACRE CREEPING RED FESCUE, AND 5 LBS / ACRE PERENNIAL RYEGRASS. 12.3 SCHEDULE. SEED FROM APRIL 15 TO JUNE 15 OR AUGUST 15 TO OCTOBER 15.
13. EROSION CONTROL BLANKETS. INSTALL JUT NETTING WHERE REQUIRED. FOR PRICING PURPOSES ALLOW 5% FOR WASTE AND ENGINEER DIRECTED IMPROVEMENTS.
14. DEWATER INTO SILT SACKS IN LOCATIONS INDICATED IN PLANS. DO NOT STAGE FILLED SILT SACKS ON-SITE FOR MORE THAN (30) CALENDAR DAYS. REMOVE FILLED SILT-SACKS ON A MONTHLY BASIS.
15. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SERVICEABLE CONDITION OF ALL S&E CONTROLS THROUGHOUT THE PERFORMANCE PERIOD OF THE CONSTRUCTION CONTRACT.
16. CONTRACTOR SHALL MAINTAIN S&E CONTROLS IN FULLY FUNCTION CONDITIONS FOR A MIN PERIOD REQUIRED BY THE CITY NORWALK FROM THE DATE OF SUBSTANTIAL COMPLETION AND ACCEPTANCE OF THE WORK BY ENGINEER OR UNTIL PLANTINGS AND SEEDING ARE ESTABLISHED, WHICHEVER IS LATER.

EARTHWORK
1. SCOPE OF WORK. EXCAVATE AND STOCKPILE NATIVE MATERIALS, AND BACKFILL IN COMPACTED LIFTS FOLLOWING (28) DAY CURE STRENGTH IN SLURRY WALLS. SCOPE INCLUDES TEMP REMOVAL OF EXISTING LAWN AND TOP SOIL, AND EXCAVATION AND COMPACTION FOR REPAIRS TO ASPHALT SURFACES IMPACTED BY WORK AND BRICK PAVEMENT WALKWAYS.
2. DEFINITIONS.
2.1 BACKFILL. NATIVE SOIL MATERIAL OR CONTROLLED LOW-STRENGTH MATERIAL USED TO FILL AN EXCAVATION.
2.2 BASE COURSE. COARSE AGGREGATE OR CRUSHED STONE PLACED BETWEEN THE SUBGRADE AND PORTLAND CEMENT CONCRETE PAVEMENT OR HOT-MIX ASPHALT PAVEMENT. MIN DEPTH OF BASE COURSE IS 8" UNLESS SPECIFIED OTHERWISE.
2.3 BEDDING. AGGREGATE LAYER PLACED OVER THE EXCAVATED SUBGRADE IN A TRENCH BEFORE LAYING PIPE.
2.4 CONTROLLED FILL. PROCESS STRUCTURAL FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY IN CONTROLLED 8' LIFTS.
2.5 IMPORT. SUITABLE CONTROLLED FILL IMPORTED FROM OFF-SITE FOR USE AS FILL OR BACKFILL.
2.6 SUBGRADE. UPPERMOST SURFACE OF EXCAVATION IMMEDIATELY BENEATH PAVING.
2.7 SUITABLE BEARING CONDITIONS. NATURALLY DEPOSITED, UNDISTURBED SOIL CONDITIONS DEEMED BY THE ENGINEER TO BE SERVICEABLE FOR LAWNS, WALKWAYS, AND RESIDENTIAL PARKING.
2.8 UTILITIES. UNDERGROUND PIPES, CONDUITS, DUCTS, AND CABLES INCLUSIVE OF IRRIGATION.
2. SUBMITTAL REQUIREMENTS. IMPORT MATERIAL PROPOSED FOR BASE, BEDDING OR BACKFILL PER CLASSIFICATION ACCORDING TO ASTM D 2487. LABORATORY COMPACTION CURVE ACCORDING TO ASTM D 698.
3. QUALITY CONTROL. MATERIALS AND WORKSMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF NORWALK, AND SHALL COMPLY WITH THESE CONSTRUCTION DOCUMENTS.
4. DETECTABLE WARNING TAPE. ACID- AND ALKALI-RESISTANT, POLYETHYLENE FILM WARNING TAPE MANUFACTURED FOR MARKING AND IDENTIFYING UNDERGROUND UTILITIES, A MINIMUM OF 6 INCHES WIDE AND 4 MILS THICK, CONTINUOUSLY INSCRIBED WITH A DESCRIPTION OF THE UTILITY, WITH METALLIC CORE ENCASED IN A PROTECTIVE JACKET FOR CORROSION PROTECTION, DETECTABLE BY METAL DETECTOR WHEN TAPE IS BURIED UP TO 30 INCHES DEEP.
4.1 RED. ELECTRIC.
4.2 YELLOW. GAS, OIL, STEAM, AND DANGEROUS MATERIALS.
4.3 ORANGE. TELEPHONE AND OTHER COMMUNICATIONS.
4.4 BLUE. WATER SYSTEMS.
4.5 GREEN. SEWER SYSTEMS.
5. PREPARATION. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT, AND OTHER HAZARDS CREATED BY EARTH MOVING OPERATIONS. PROTECT AND MAINTAIN EROSION AND SEDIMENTATION CONTROLS DURING EARTH MOVING OPERATIONS. PROTECT SUBGRADES AND FOUNDATION SOILS FROM FREEZING TEMPERATURES AND FROST. REMOVE TEMPORARY PROTECTION BEFORE PLACING SUBSEQUENT MATERIALS.
6. DEWATERING. SCHEDULE AND WORK ARE TIDAL AND GROUNDWATER CONDITION DEPENDENT. DEWATERING IS NOT PERMITTED.
7. EXCAVATION FOR WALKS AND PAVEMENTS. EXCAVATE SURFACES UNDER WALKS AND PAVEMENTS TO EXISTING LINES, CROSS SECTIONS, ELEVATIONS, AND SUBGRADES.
8. SUBGRADE INSPECTION. NOTIFY ENGINEER WHEN EXCAVATIONS HAVE REACHED REQUIRED SUBGRADES PER PLANS. IF ENGINEER DETERMINES THAT UNSATISFACTORY SOIL IS PRESENT, CONTINUE EXCAVATION AND REPLACE WITH COMPACTED BACKFILL OR FILL MATERIAL AS DIRECTED.
8.1 PROOF-ROLL. SUBGRADES BELOW PAVEMENTS WITH A PNEUMATIC-TIRED AND LOADED 10-WHEEL, TANDEM-AXLE DUMP TRUCK WEIGHING NOT LESS THAN 15 TONS TO IDENTIFY SOFT POCKETS AND AREAS OF EXCESS YIELDING. DO NOT PROOF-ROLL WET OR SATURATED SUBGRADES. COMPLETELY PROOF-ROLL SUBGRADE IN ONE DIRECTION. LIMIT VEHICLE SPEED TO 3 MPH. EXCAVATE SOFT SPOTS, UNSATISFACTORY SOILS, AND AREAS OF EXCESSIVE PUMPING OR RUTTING. AS DETERMINED BY ENGINEER, AND REPLACE WITH COMPACTED BACKFILL OR FILL AS DIRECTED.
8.2 RECONSTRUCT SUBGRADES DAMAGED BY FREEZING TEMPERATURES, FROST, RAIN, ACCUMULATED WATER, OR CONSTRUCTION ACTIVITIES, AS DIRECTED BY ENGINEER, WITHOUT ADDITIONAL COMPENSATION.
9. STORAGE OF SOIL MATERIALS. STOCKPILE BORROW SOIL MATERIALS AND EXCAVATED SATISFACTORY SOIL MATERIALS WITHOUT INTERMIXING AND IN LOCATIONS DESIGNATED ON PLANS. PLACE, GRADE, AND SHAPE STOCKPILES TO DRAIN SURFACE WATER. COVER TO PREVENT WINDBLOWN DUST. STOCKPILE SOIL MATERIALS AWAY FROM EDGE OF EXCAVATIONS. DO NOT STORE WITHIN DRIP LINE OF REMAINING TREES. COVER STOCKPILE WITH POROUS GEOTEXTILE. DO NOT USE IMPERVIOUS COVER MATERIALS.
10. BACKFILL. PLACE AND COMPACT BACKFILL IN EXCAVATIONS FOLLOWING (28) CURE STRENGTH OF CONCRETE OR AS OTHERWISE APPROVED BY ENGINEER.
11. COMPACTION BENEATH ASPHALT AND BRICK PAVERS. 95% OPTIMAL DENSITY. PLACE CONTROLLED FILL IN MAX 8" LEVEL LIFTS AND COMPACT WITH DYNAMIC ENERGY. PLACE BACKFILL AND FILL SOIL MATERIALS EVENLY ON ALL SIDES OF DAM STRUCTURES TO REQUIRED ELEVATIONS, AND UNIFORMLY ALONG THE FULL LENGTH OF EACH STRUCTURE.
12. GRADING. UNIFORMLY GRADE AREAS TO EXISTING CONDITIONS.
13. SUBBASE AND BASE COURSES UNDER WALKWAYS. PLACE MIN 6" STONE DUST OVER MIRAFI 140N FILTER FABRIC ON SUITABLE NATIVE OR COMPACTED SUBGRADE CONDITIONS AS APPROVED BY ENGINEER.
14. PROTECTION. PROTECT NEWLY GRADED AREAS FROM TRAFFIC, FREEZING, AND EROSION. KEEP FREE OF TRASH AND DEBRIS. REPAIR AND REESTABLISH GRADES TO SPECIFIED TOLERANCES WHERE COMPLETED OR PARTIALLY COMPLETED SURFACES BECOME ERODED, RUTTED, SETTLED, OR WHERE THEY LOSE COMPACTION DUE TO SUBSEQUENT CONSTRUCTION OPERATIONS OR WEATHER CONDITIONS. SCARIFY OR REMOVE AND REPLACE SOIL MATERIAL TO DEPTH AS DIRECTED BY ENGINEER; RESHAPE AND RE-COMPACT. WHERE SETTLING OCCURS BEFORE PROJECT CORRECTION PERIOD ELAPSES, REMOVE FINISHED SURFACING, BACKFILL WITH ADDITIONAL SOIL MATERIAL, COMPACT, AND RECONSTRUCT SURFACING. RESTORE APPEARANCE, QUALITY, AND CONDITION OF FINISHED SURFACING TO MATCH ADJACENT WORK, AND ELIMINATE EVIDENCE OF RESTORATION TO GREATEST EXTENT POSSIBLE.
15. DISPOSAL OF SURPLUS AND WASTE MATERIALS. NOT PERMISSIBLE. CONTRACTOR IS RESPONSIBLE FOR BALANCING THE SITE IN ACCORDANCE WITH PLANS. NATIVE MATERIALS MAY NOT BE EXPORTED FROM THE SITE. MATERIALS SHALL BE SCRAPPED BACK AND STAGED WITHIN THE LIMITS SHOWN IN PLANS, AND RETURNED TO THEIR PRIOR CONDITION FOLLOWING REPLACEMENT AND COMPACTION.
16. GRADING. UNIFORMLY GRADE AREAS TO A SMOOTH SURFACE. FREE OF IRREGULAR SURFACE CHANGES AND TO MATCH EXISTING PRECONSTRUCTION CONDITIONS. COMPLY WITH COMPACTION REQUIREMENTS AND GRADE TO CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED. PROVIDE A SMOOTH TRANSITION BETWEEN ADJACENT EXISTING GRADES AND NEW GRADES. CUT OUT SOFT SPOTS, FILL LOW SPOTS, AND TRIM HIGH SPOTS TO COMPLY WITH REQUIRED SURFACE TOLERANCES.
FILTER FABRIC
1. SCOPE. FILTER FABRIC BACKING TO EXISTING BULKHEADS IMMEDIATELY FOLLOWING EXCAVATION AND PRIOR TO CONSTRUCTION OF CONCRETE SLURRY WALLS.
2. APPROVED PRODUCT. MIRAFI M140.
3. EQUIVALENT PRODUCT. SUBMIT TECHNICAL CUT SHEETS TO ENGINEER FOR APPROVAL. EQUIVALENT SUBSTITUTION MUST HAVE COMPARABLE PROPERTIES COMPLIANT WITH ASHTO M288-24 CLASS 3 AS TESTED AND PROVEN BY ANALYTICAL TESTING IN ACCORDANCE WITH ASTM D4532, D4533, D6241, D4751, D4941, AND D4585. CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY COST IF A PROPOSED SUBSTITUTION IS NOT APPROVED BY ENGINEER.

CONCRETE
1. SCOPE OF WORK. FOOTINGS, FOUNDATION WALLS AND SLABS ON GRADE.
2. CAST-IN-PLACE REFERENCE STANDARDS.
2.1 AMERICAN CONCRETE INSTITUTE (ACI): 2.2 3015 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS. 2.3 315 DETAILS AND DETAILING OF CONCRETE REINFORCEMENT. 2.4 ASTM INTERNATIONAL (ASTM): 2.5 A82 SPECIFICATION FOR STEEL WIRE, PLAIN, FOR CONCRETE REINFORCEMENT 2.6 A185 SPECIFICATION FOR STEEL WELDED WIRE FABRIC, PLAIN, FOR CONCRETE REINFORCEMENT 2.7 A497 SPECIFICATION FOR STEEL WELDED WIRE FABRIC, DEFORMED, FOR CONCRETE REINFORCEMENT 2.8 A706 SPECIFICATION FOR LOW-ALLOY STEEL DEFORMED BARS FOR CONCRETE REINFORCEMENT 2.9 A767 SPECIFICATION FOR ZINC-COATED (GALVANIZED) STEEL BARS FOR CONCRETE REINFORCEMENT 2.10 A775 SPECIFICATION FOR EPOXY-COATED REINFORCING STEEL BARS 2.11 A884 SPECIFICATION FOR EPOXY-COATED STEEL WIRE AND WELDED WIRE FABRIC FOR REINFORCEMENT 2.12 C1107 SPECIFICATION FOR PACKAGED DRY, HYDRAULIC CEMENT GROUT (NON-SHRINK) 2.13 D3963 SPECIFICATION FOR EPOXY-COATED REINFORCING STEEL 2.14 AMERICAN WELDING SOCIETY (AWS): 2.15 STRUCTURAL WELDING CODE - REINFORCING STEEL 2.16 OCT SPECIFICATION FOR AWS CERTIFICATION OF WELDING INSPECTORS 2.17 CONCRETE RESEARCH STANDARDS INSTITUTE (CRSI): MANUAL OF STANDARD PRACTICE
3. STEEL REINFORCEMENT.
3.1 REINFORCING BARS: ASTM A 615/A 615M, GRADE 60, DEFORMED, EPOXY COATED (GREEN). 3.2 STEEL BAR MATS: ASTM A 184/A 184M, ASSEMBLED WITH CLIPS, EPOXY COATED. 3.3 PLAIN-STEEL WELDED WIRE FABRIC: ASTM A 185, FABRICATED FROM AS-DRAWN STEEL WIRE INTO FLAT SHEETS, GALVANIZED.
3.4 BAR SUPPORTS: BOLSTERS, CHAIRS, SPACERS, AND OTHER DEVICES FOR SPACING, SUPPORTING, AND FASTENING REINFORCING BARS AND WELDED WIRE FABRIC IN PLACE. PRECASTURE BAR SUPPORTS ACCORDING TO CRSI'S 'MANUAL OF STANDARD PRACTICE' FROM STEEL WIRE, PLASTIC, OR MANUFACTURE CONCRETE OR FIBER-REINFORCED CONCRETE OF GREATER COMPRESSIVE STRENGTH THAN CONCRETE. ALL SUPPORTS SHALL BE MASONRY, PLASTIC OR EPOXY COATED.
4. CONCRETE MATERIALS.
4.1 PORTLAND CEMENT: ASTM C 150, TYPE II. 4.2 NORMAL-WEIGHT AGGREGATE: ASTM C 33, UNIFORMLY GRADED 4.3 NOMINAL MAX AGGREGATE SIZE: 3/4 INCH. 4.4 WATER: POTABLE, COMPLYING WITH ASTM C 94.
5. ADMIXTURES SHALL BE CERTIFIED BY MANUFACTURER TO CONTAIN NOT MORE THAN 0.1 PERCENT WATER-SOLUBLE CHLORIDE IONS BY MASS OF CEMENTITIOUS MATERIAL AND TO BE COMPATIBLE WITH OTHER ADMIXTURES AND CEMENTITIOUS MATERIALS. DO NOT USE ADMIXTURES CONTAINING CALCIUM CHLORIDE.
5.1 AIR-ENTRAINING ADMIXTURE: ASTM C 260. 5.2 WATER-REDUCING ADMIXTURE: ASTM C 494, TYPE A. 5.3 HIGH-RANGE, WATER-REDUCING ADMIXTURE: ASTM C 494, TYPE F. 5.4 WATER-REDUCING AND ACCELERATING ADMIXTURE: ASTM C 494, TYPE E. 5.5 WATER-REDUCING AND RETARDING ADMIXTURE: ASTM C 494, TYPE D. 5.6 CORROSION INHIBITOR: ASTM C1582, ASTM C494, AND AASHTO M194 TYPE C.
6. CURING. FORM CURE (24) HOURS PRIOR TO REMOVAL OF FORM WORK. REPAIR HONEY COMBS PRIOR TO BACKFILL.
7. SUBMITTALS. PREPARE DESIGN MIXES FOR EACH TYPE AND STRENGTH OF CONCRETE DETERMINED BY EITHER LABORATORY TRIAL MIX OR FIELD TEST DATA BASES IN ACCORDANCE WITH PROPORTION NORMAL-WEIGHT CONCRETE ACCORDING TO ACI 211.1 AND ACI 301.
7.1 SUBMIT MIX DESIGN TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO START OF CONCRETE WORK.
7.2 STRENGTH. UNLESS OTHERWISE SPECIFIED IN DRAWINGS, MINIMUM 28-DAY STRENGTH OF CONCRETE SHALL CONFORM TO THE FOLLOWING: 7.2.1 SLURRY WALL: 4,000 PSI 7.2.2 SLURRY WALL, OPTION B, STAGE 3: 4,000 PSI WITH CORROSION INHIBITOR 7.2.3 LEVELING BED: 3,000 PSI 7.2.4 FLOWABLE FILL: 900 PSI
7.3 CONCRETE SUPPLIER SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AGENCY OR QUALIFIED PERSONNEL FOR PREPARING AND REPORTING PROPOSED MIX DESIGNS FOR THE LABORATORY TRIAL MIX BASIS. ALL CONCRETE, UNLESS NOTED OTHERWISE, MAXIMUM SLUMP: 3-1/2 INCHES, MAXIMUM SLUMP FOR CONCRETE CONTAINING HIGH-RANGE WATER-REDUCING ADMIXTURE IS 8 INCHES AFTER ADMIXTURE IS ADDED TO CONCRETE WITH 3-1/2" SLUMP.
7.4 FOR CONCRETE EXPOSED TO DEICERS, LIMIT PERCENTAGE, BY WEIGHT, OF CEMENTITIOUS MATERIALS OTHER THAN PORTLAND CEMENT ACCORDING TO ACI 301 REQUIREMENTS. LIMIT PERCENTAGE, BY WEIGHT, OF CEMENTITIOUS MATERIALS OTHER THAN PORTLAND CEMENT IN CONCRETE AS FOLLOWS: 7.4.1 LIMIT FLY ASH: 25% 7.4.2 COMBINED FLY ASH AND POZZOLAN: 25% 7.4.3 GROUND GRANULATED BLAST-FURNACE SLAG: 50% 7.4.4 COMBINED FLY ASH OR POZZOLAN AND GROUND GRANULATED BLAST-FURNACE SLAG: MIN 50% PORTLAND CEMENT, MAX 25% FLY ASH OR POZZOLAN. 7.4.5 AIR CONTENT: 6% AIR ENTRAINED 7.4.6 LIMIT WATER-SOLUBLE, CHLORIDE-ION CONTENT IN HARDENED CONCRETE TO 0.15% BY WEIGHT OF CEMENT.
8. FABRICATING REINFORCEMENT. FABRICATE STEEL REINFORCEMENT ACCORDING TO CRSI'S 'MANUAL OF STANDARD PRACTICE.'
9. STEEL REINFORCEMENT. COMPLY WITH CRSI'S 'MANUAL OF STANDARD PRACTICE' FOR PLACING REINFORCEMENT. CLEAN REINFORCEMENT OF LOOSE RUST AND MILL SCALE. EARTH, ICE, AND OTHER FOREIGN MATERIALS ACCURATELY POSITION, SUPPORT, AND SECURE REINFORCEMENT AGAINST DISPLACEMENT. LOCATE AND SUPPORT REINFORCEMENT WITH BAR SUPPORTS TO MAINTAIN MINIMUM CONCRETE COVER. DO NOT TACK WELD CROSSING REINFORCING BARS. SHOP-OR FIELD-WELD REINFORCEMENT ACCORDING TO AWS D1.4 IF REQUIRED BY ENGINEER. SET WIRE TIES WITH ENDS DIRECTED INTO CONCRETE, NOT TOWARD EXPOSED CONCRETE SURFACES.
10. CONCRETE PLACEMENT. ENGINEER SHALL BE NOTIFIED A MINIMUM OF TWO (2) WORKING DAYS IN ADVANCE OF CONCRETE POURS. ENGINEER SHALL INSPECT AND APPROVE CONTRACTORS WORK PRIOR TO CONTRACTOR POURING OF CONCRETE. BEFORE PLACING CONCRETE, VERIFY THAT INSTALLATION OF FORMWORK, REINFORCEMENT, AND EMBEDDED ITEMS IS COMPLETE AND THAT REQUIRED INSPECTIONS HAVE BEEN PERFORMED. DO NOT ADD WATER TO CONCRETE DURING DELIVERY, AT PROJECT SITE, OR DURING PLACEMENT, UNLESS APPROVED BY ENGINEER. DO NOT ADD WATER TO CONCRETE AFTER ADDING HIGH-RANGE WATER-REDUCING ADMIXTURES TO MIX. DEPOSIT CONCRETE CONTINUOUSLY OR IN LAYERS OF SUCH THICKNESS THAT NO NEW CONCRETE WILL BE PLACED ON CONCRETE THAT HAS HARDENED ENOUGH TO CAUSE SEAMS OR PLANES OF WEAKNESS. IF A SECTION CANNOT BE PLACED CONTINUOUSLY, PROVIDE CONSTRUCTION JOINTS AS SPECIFIED. DEPOSIT CONCRETE TO AVOID SEGREGATION. DEPOSIT AND CONSOLIDATE CONCRETE FOR FOOTING SLABS IN A CONTINUOUS OPERATION, WITHIN LIMITS OF CONSTRUCTION FORMS, UNTIL PLACEMENT OF A PANEL OR SECTION IS COMPLETE. CONSOLIDATE CONCRETE DURING PLACEMENT OPERATIONS SO CONCRETE IS THOROUGHLY WORKED AROUND REINFORCEMENT AND OTHER EMBEDDED ITEMS AND INTO CORNERS. DO NOT WALK CONCRETE WITH VIBRATION. MAINTAIN REINFORCEMENT IN POSITION ON CHAIRS DURING CONCRETE PLACEMENT. SCORED SLAB SURFACES WITH A STRAIGHTEDGE AND STRIKE OFF TO CORRECT ELEVATIONS.
11. CURING. PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. COMPLY WITH ACI 306.1 FOR COLD-WEATHER PROTECTION AND WITH RECOMMENDATIONS IN ACI 305R FOR HOT-WEATHER PROTECTION DURING CURING. WET CURE ALL SLABS ON GRADE MINIMUM THREE (3) CALENDAR DAYS.
12. FIELD QUALITY CONTROL. COORDINATE WITH ENGINEER OF RECORD FOR INSPECTION OF WORK PRIOR TO POURS.
13. LAP SPLICES. PER ACI 318-14 MIN 40D.
14. DEFLECTION IN FORMS AND PANELS. CONTRACTOR SHALL ANTICIPATE DEFLECTION OF FORMS AND STEEL PANELS, AND PROVIDE ADDITIONAL CONCRETE AS REQUIRED FOR LEVEL FINISHES IN FLOORS.
18. PROVIDE CORROSION RESISTANT ACCESSORIES IN ALL AREAS EXPOSED TO EXTERIOR ENVIRONMENTAL CONDITIONS.
19. KEYS. MIN 1-1/2" X 3-1/2" UNLESS SPECIFIED OTHERWISE IN DETAILS.
20. LIFTS. POUR WALL IN (1) LIFT USING VIBRATION TO FILL FORMS. DO NOT OVER VIBRATE OR WALK CONCRETE WITH VIBRATION.
21. COVER. MAINTAIN BAR COVERAGE AS FOLLOWS: 21.1 BOTTOM, SIDE, TOP, STIRRUP, AND CONFINEMENT BARS TO EARTH: 3" 21.2 BOTTOM, SIDE, TOP, STIRRUP, AND CONFINEMENT BARS TO AIR: 1-1/2"

STRUCTURAL STEEL
1. SUBMIT SHOP DRAWINGS DETAILING FABRICATION OF STRUCTURAL STEEL COMPONENTS. INCLUDE DETAILS OF CUTS, CONNECTIONS, SPLICES, CAMBER, HOLES, AND OTHER PERTINENT DATA. INDICATE WELDS BY STANDARD AWS SYMBOLS, DISTINGUISHING BETWEEN SHOP AND FIELD WELDS, AND SHOW SIZE, LENGTH, AND TYPE OF EACH WELD. INDICATE TYPE, SIZE, AND LENGTH OF BOLTS, DISTINGUISHING BETWEEN SHOP AND FIELD BOLTS. IDENTIFY HIGH-STRENGTH BOLTED SLIP-CRITICAL, DIRECT-TENSION, OR TENSIONED SHEAR-BEARING CONNECTIONS. INCLUDE SHOP DRAWINGS SIGNED AND SEALED BY A QUALIFIED PROFESSIONAL ENGINEER RESPONSIBLE FOR THEIR PREPARATION.
2. INSTALLER QUALIFICATIONS. ENGAGE AN EXPERIENCED INSTALLER WHO HAS COMPLETED STRUCTURAL STEEL WORK SIMILAR IN MATERIAL, DESIGN, AND EXTENT TO THAT INDICATED FOR THIS PROJECT AND WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE.
3. FABRICATOR QUALIFICATIONS. ENGAGE A FIRM EXPERIENCED IN FABRICATING STRUCTURAL STEEL SIMILAR TO THAT INDICATED FOR THIS PROJECT AND WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE, AS WELL AS SUFFICIENT PRODUCTION CAPACITY TO FABRICATE STRUCTURAL STEEL WITHOUT DELAYING THE WORK.
4. COMPLY WITH APPLICABLE PROVISIONS OF THE FOLLOWING SPECIFICATIONS AND DOCUMENTS: 4.1 AISC'S "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS--ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN." 4.2 AISC'S "SPECIFICATION FOR ALLOWABLE STRESS DESIGN OF SINGLE-ANGLE MEMBERS." 4.3 AISC'S "SEISMIC PROVISIONS FOR STRUCTURAL STEEL BUILDINGS." ASTM A 6 "SPECIFICATION FOR GENERAL REQUIREMENTS FOR ROLLED STEEL PLATES, SHAPES, SHEET PILING, AND BARS FOR STRUCTURAL USE." 4.4 RESEARCH COUNCIL ON STRUCTURAL CONNECTIONS' (RCSC) "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A 325 OR A 490 BOLTS."
5. WELDING STANDARDS. COMPLY WITH APPLICABLE PROVISIONS OF AWS D1.1 "STRUCTURAL WELDING CODE--STEEL." PRESENT EVIDENCE THAT EACH WELDER HAS SATISFACTORILY PASSED AWS QUALIFICATION TESTS FOR WELDING PROCESSES INVOLVED AND, IF PERTINENT, HAS UNDERGONE RECERTIFICATION.
5.1 DELIVER STRUCTURAL STEEL TO PROJECT SITE IN SUCH QUANTITIES AND AT SUCH TIMES TO ENSURE CONTINUITY OF INSTALLATION. STORE MATERIALS TO PERMIT EASY ACCESS FOR INSPECTION AND IDENTIFICATION. KEEP STEEL MEMBERS OFF GROUND BY USING PALLETS, PLATFORMS, OR OTHER SUPPORTS. PROTECT STEEL MEMBERS AND PACKAGED MATERIALS FROM EROSION AND DETERIORATION. STORE FASTENERS IN A PROTECTED PLACE. CLEAN AND RE-LUBRICATE BOLTS AND NUTS THAT BECOME DRY OR RUSTY BEFORE USE. DO NOT STORE MATERIALS ON STRUCTURE IN A MANNER THAT MIGHT CAUSE DISTORTION OR DAMAGE TO MEMBERS OR SUPPORTING STRUCTURES. REPAIR OR REPLACE DAMAGED MATERIALS OR STRUCTURES AS DIRECTED.
6. SUPPLY ANCHORAGE ITEMS TO BE EMBEDDED IN OR ATTACHED TO OTHER CONSTRUCTION WITHOUT DELAYING THE WORK. PROVIDE SETTING DIAGRAMS, TEMPLATES, INSTRUCTIONS, AND DIRECTIONS, AS REQUIRED, FOR INSTALLATION.
7. MATERIALS: 7.1 STEEL PLATES MAY BE COLD GALVANIZED OR EPOXY COATED IN THE FIELD. (2) COATS. 7.2 HEADED BOLTS: ASTM A 325, TYPE 1, HEAVY HEX STEEL STRUCTURAL BOLTS AND HEAVY HEX CARBON-STEEL NUTS, HOT DOUBLE-DIPPED GALVANIZED. 7.4 WASHERS: ASTM A36, O.GEE, HOT-DOUBLE DIPPED GALVANIZED. 7.5 HIGH-STRENGTH BOLTS, NUTS, AND WASHERS: ASTM A325, TYPE 1, HEAVY HEX STEEL STRUCTURAL BOLTS, HEAVY HEX CARBON-STEEL NUTS, AND HARDENED CARBON-STEEL WASHERS.
8. WELDING ELECTRODES. COMPLY WITH AWS REQUIREMENTS. ALL FILLET WELDS SHALL BE A MINIMUM OF 1/4" E70XX UNLESS NOTED OTHERWISE. ALL WELDS SHALL BE VISUALLY INSPECTED BY TESTING AGENCY. THE ENGINEER OR A TESTING AGENCY SHALL PERFORM ALL INSPECTIONS AND TESTING. THE STRUCTURAL STEEL FABRICATOR AND ERECTOR SHALL SCHEDULE ALL WORK TO ALLOW THE ABOVE TESTING REQUIREMENTS TO BE COMPLETED.
9. PRIMER. NOT USED.
10. HOT-DIP GALVANIZED FINISH. APPLY ZINC COATING BY THE HOT-DIP PROCESS TO STRUCTURAL STEEL INDICATED FOR GALVANIZING ACCORDING TO ASTM A 123.
11. GALVANIZING REPAIR PAINT. HIGH-ZINC-DUST-CONTENT PAINT FOR RE-GALVANIZING WELDS AND REPAIR PAINTING GALVANIZED STEEL, WITH DRY FILM CONTAINING NOT LESS THAN 93 PERCENT ZINC DUST BY WEIGHT, AND COMPLYING WITH DOD-P-21035A OR SSPC-PAINT 20, BEFORE ERECTION PROCEEDS, AND WITH THE STEEL ERECTOR PRESENT, VERIFY ELEVATIONS OF CONCRETE AND MASONRY BEARING SURFACES AND LOCATIONS OF ANCHORAGES FOR COMPLIANCE WITH REQUIREMENTS. DO NOT PROCEED WITH ERECTION UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
12. FABRICATION AND ASSEMBLY. FABRICATE AND ASSEMBLE STRUCTURAL STEEL IN SHOP TO GREATEST EXTENT POSSIBLE. FABRICATE STRUCTURAL STEEL ACCORDING TO AISC SPECIFICATIONS REFERENCED IN THIS SECTION AND IN SHOP DRAWINGS. CAMBER STRUCTURAL STEEL MEMBERS WHERE INDICATED. MARK AND MATCH-MARK MATERIALS FOR FIELD ASSEMBLY. FABRICATE FOR DELIVERY A SEQUENCE THAT WILL EXPEDITE ERECTION AND MINIMIZE FIELD HANDLING OF STRUCTURAL STEEL. COMPLETE STRUCTURAL STEEL ASSEMBLIES, INCLUDING WELDING OF UNITS, BEFORE STARTING SHOP-PRIMING OPERATIONS. COMPLY WITH FABRICATION TOLERANCE LIMITS OF AISC'S "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES" FOR STRUCTURAL STEEL. SHOP INSTALL AND TIGHTEN NONHIGH-STRENGTH BOLTS, EXCEPT WHERE HIGH-STRENGTH BOLTS ARE INDICATED.
13. WELD CONNECTIONS: COMPLY WITH AWS D1.1 FOR PROCEDURES, APPEARANCE AND QUALITY OF WELDS, AND METHODS USED IN CORRECTING WELDING WORK.
14. PROVIDE TEMPORARY SHORES, GUYS, BRACES, AND OTHER SUPPORTS DURING ERECTION TO KEEP STRUCTURAL STEEL SECURE, PLUMB, AND IN ALIGNMENT AGAINST TEMPORARY CONSTRUCTION LOADS AND LOADS EQUAL IN INTENSITY TO DESIGN LOADS. REMOVE TEMPORARY SUPPORTS WHEN PERMANENT STRUCTURAL STEEL, CONNECTIONS, AND BRACING ARE IN PLACE, UNLESS OTHERWISE INDICATED.
15. CUTS, HOLES, OPENINGS, ETC., REQUIRED IN STRUCTURAL STEEL MEMBERS FOR THE WORK OF OTHER TRADES SHALL BE SHOWN ON SHOP DRAWINGS FOR STRUCTURAL STEEL AND SHALL BE MADE IN THE SHOP. BURNING OF HOLES OR CUTS IN STRUCTURAL STEEL MEMBERS IN THE FIELD WILL NOT BE PERMITTED EXCEPT BY WRITTEN PERMISSION FROM THE ARCHITECT. STRUCTURAL STEEL (CONT)
16. CORRECT DEFICIENCIES IN OR REMOVE AND REPLACE STRUCTURAL STEEL THAT INSPECTIONS AND TEST REPORTS INDICATE DO NOT COMPLY WITH SPECIFIED REQUIREMENTS. ADDITIONAL TESTING, AT CONTRACTOR'S EXPENSE, WILL BE PERFORMED TO DETERMINE COMPLIANCE OF CORRECTED WORK WITH SPECIFIED REQUIREMENTS.
TIMBER
1. SCOPE. THERE ARE (2) PERMISSIBLE SLURRY WALL CONSTRUCTION CONDITIONS. 1.1 CONDITION A. FOR ALL CONDITIONS WHERE WHERE TOW EXCEEDS 8'-0" MEASURED FROM MUDLINE AT BASE OF EXISTING BULKHEAD. USE EXISTING BULKHEAD LAGGING AS FORM BOARDS. REPLACE EXISTING LOWER WHALE CUT TO FIT AS SHOWN IN PLANS. FOR PRICING PURPOSES ASSUME REPLACE WITH 12 X 16 X 20'-0" SP PT TO FIT WITH SLURRY WALL. CONTRACTOR MAY SUBMIT ALTERNATE ASSEMBLIES AS REQUIRED TO FIT. 1.2 CONDITION B. FOR ALL CONDITIONS WHERE WHERE TOW DOES NOT EXCEED 8'-0" MEASURED FROM MUDLINE AT BASE OF EXISTING BULKHEAD. USE EXISTING BULKHEAD LAGGING AS FORM BOARDS. REPLACEMENT OF EXISTING LOWER WHALE IS NOT REQUIRED. 2. USE OF EXISTING BULKHEAD LAGGING AS FORM BOARDS. PLACE MIRAFI 140N FILTER FABRIC ON EXISTING LAGGING AND USE AS FORM BOARDS WHERE THE CONDITION OF TIMBER LAGGING PERMITS ITS USE. WHERE TIMBER CONDITIONS ARE SEVERELY DETERIORATED, PLACE MIRAFI 140N FILTER FABRIC ON EXISTING LAGGING AND USE SACRIFICIAL TIMBER FORM BOARDS ABUTTING THE EXISTING BULKHEAD LAGGING.
3. PRESSURE TREATMENT. ALL TIMBER SHALL BE CLASS UCSB, TREATMENT 2.5 CCA OR EQUIVALENT.
SPECIAL INSPECTIONS
1. SPECIAL INSPECTIONS ARE REQUIRED. CONTRACTOR SHALL COORDINATE, COOPERATE, AND PROVIDE FULL ACCESS TO ENGINEER FOR THE PERFORMANCE OF SPECIAL INSPECTIONS AS SPECIFIED IN THESE PLANS AND IN ACCORDANCE WITH CT-OAS AND CT-OEDM PROTOCOLS, FORMS AND PROCEDURES. THIS INCLUDES, BUT IS NOT LIMITED TO, FACILITATING SCHEDULED INSPECTIONS, COOPERATING WITH UNSCHEDULED INSPECTIONS, SUPPLYING ALL REQUESTED RECORDS, COORDINATION OF INSPECTIONS WITH WORK, RESPONDING TO INSPECTOR INQUIRIES, AND RESPONSIBLY IMPLEMENTING CORRECTIVE ACTIONS AS IDENTIFIED BY SPECIAL INSPECTOR. CONTRACTOR SHALL ENSURE THAT INSPECTIONS ARE SCHEDULED WITHOUT DELAY TO PROJECT PROGRESS, MAINTAIN THROUGH COMMUNICATION WITH SPECIAL INSPECTOR, AND DOCUMENT COMPLIANCE FOR ALL INSPECTION-RELATED DIRECTIVES THROUGHOUT THE DURATION OF THE PROJECT.
2. SUBSTANTIAL COMPLETION. ENGINEER SHALL DETERMINE WHEN WORK SUBSTANTIALLY CONFORMS TO CONSTRUCTION DOCUMENTS AND THESE PLANS. WORK MAY BE PERFORMED AND ACCEPTED IN PHASES OR SEQUENCES WEATHER CONDITIONS PERMITTING. THE PROJECT IN ITS ENTIRETY IS SUBSTANTIALLY COMPLETE WHEN THE ENGINEER HAS ACCEPTED ALL WORK FOR THE PROJECT. ENGINEER SHALL ISSUE A FINAL SPECIAL INSPECTIONS REPORT ACCEPTING THE WORK AS SUBSTANTIALLY COMPLETE AND CONFORMING TO CONTRACT DOCUMENTS AND PERMITS. THE REPORT SHALL STATE THE DATE OF SUBSTANTIAL COMPLETION. ACCEPTANCE OF PHASES OR PORTIONS OF THE PROJECT DOES NOT CONSTITUTE SUBSTANTIAL COMPLETION OF THE PROJECT AND DOES NOT RELEASE THE CONTRACTOR FROM ITS DUTIES AND RESPONSIBILITIES TO COMPLETE THE ENTIRE PROJECT.



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DATE: OCTOBER 2, 2025

REVISIONS

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REPAIR 491' TIMBER BULKHEADS EAST SIDE OF TIDAL INLET

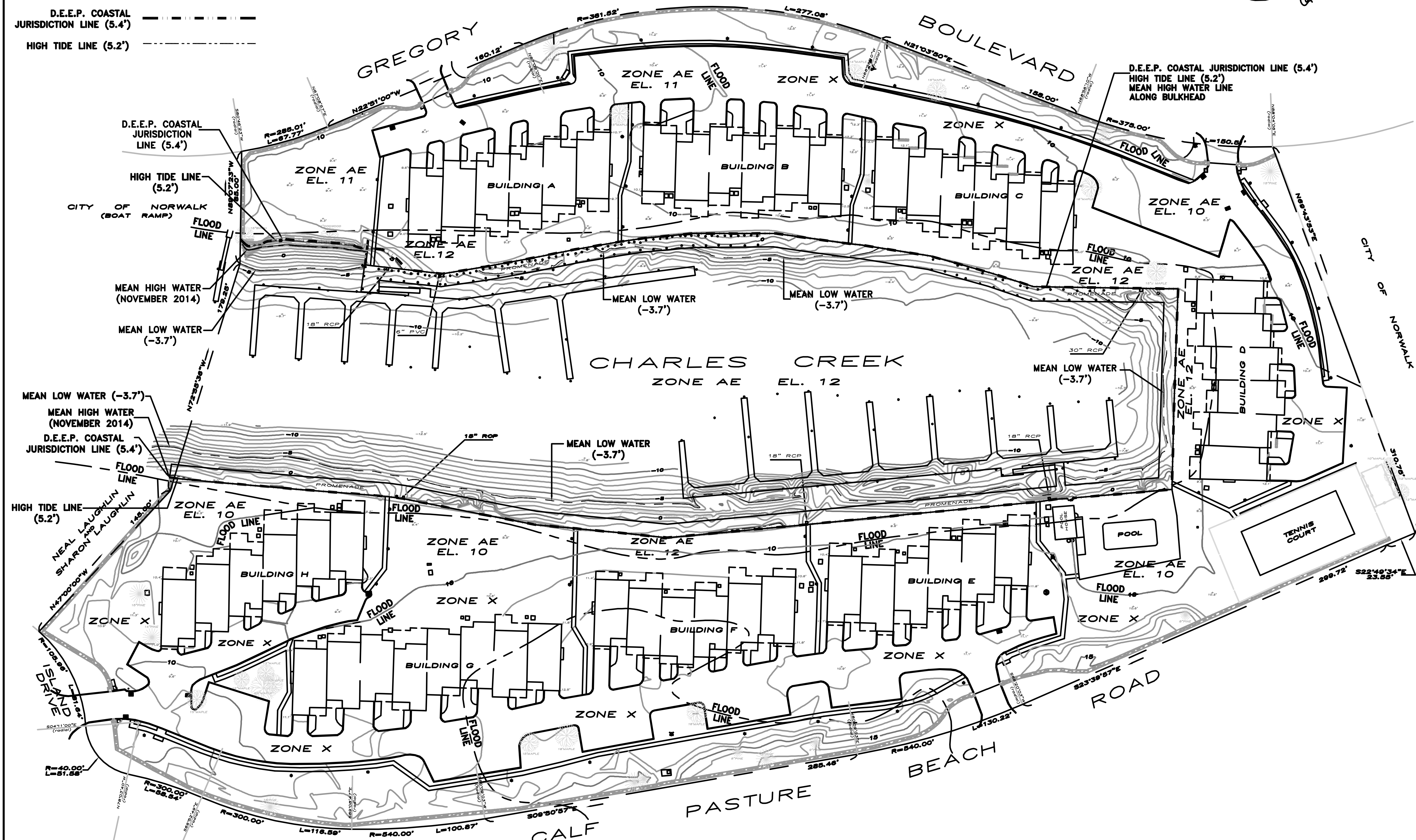
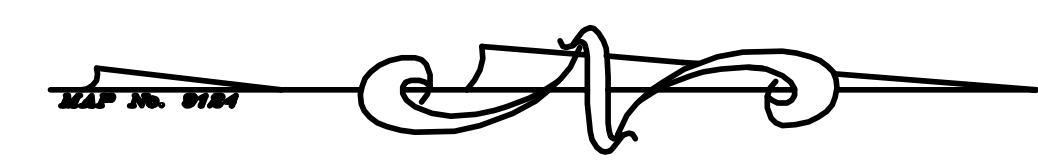
GENERAL NOTES

SHEET

GN1

**LEGEND**

- MEAN LOW WATER (-3.7')
- MEAN HIGH WATER (NOVEMBER 2014)
- D.E.E.P. COASTAL JURISDICTION LINE (5.4')
- HIGH TIDE LINE (5.2')



**NOT FOR CONSTRUCTION**  
 FOR REVIEW AND APPROVAL  
 BY PUBLIC AGENCIES ONLY

SCALE IN FEET



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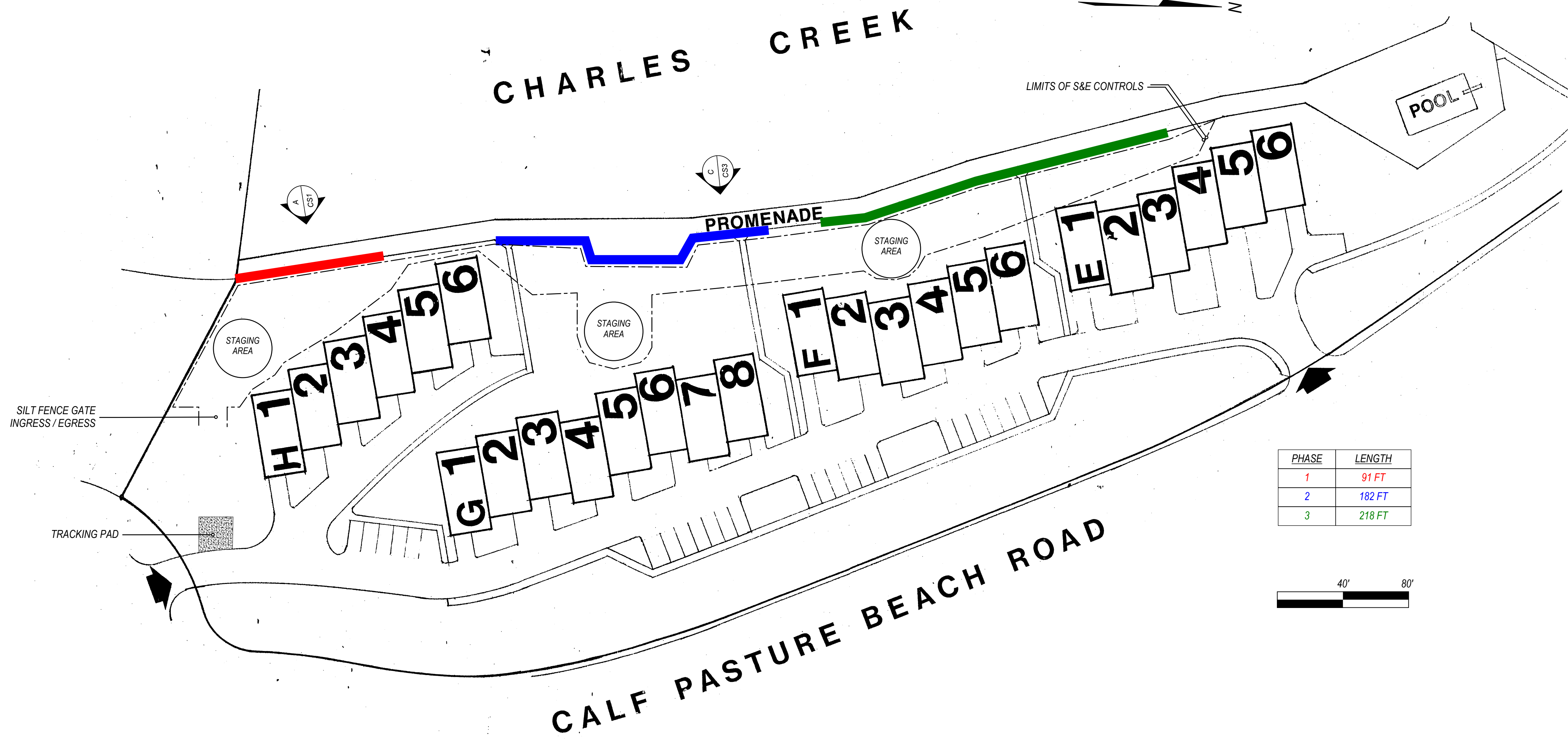


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REPAIR 49" TIMBER BULKHEADS EAST SIDE OF TIDAL INLET	

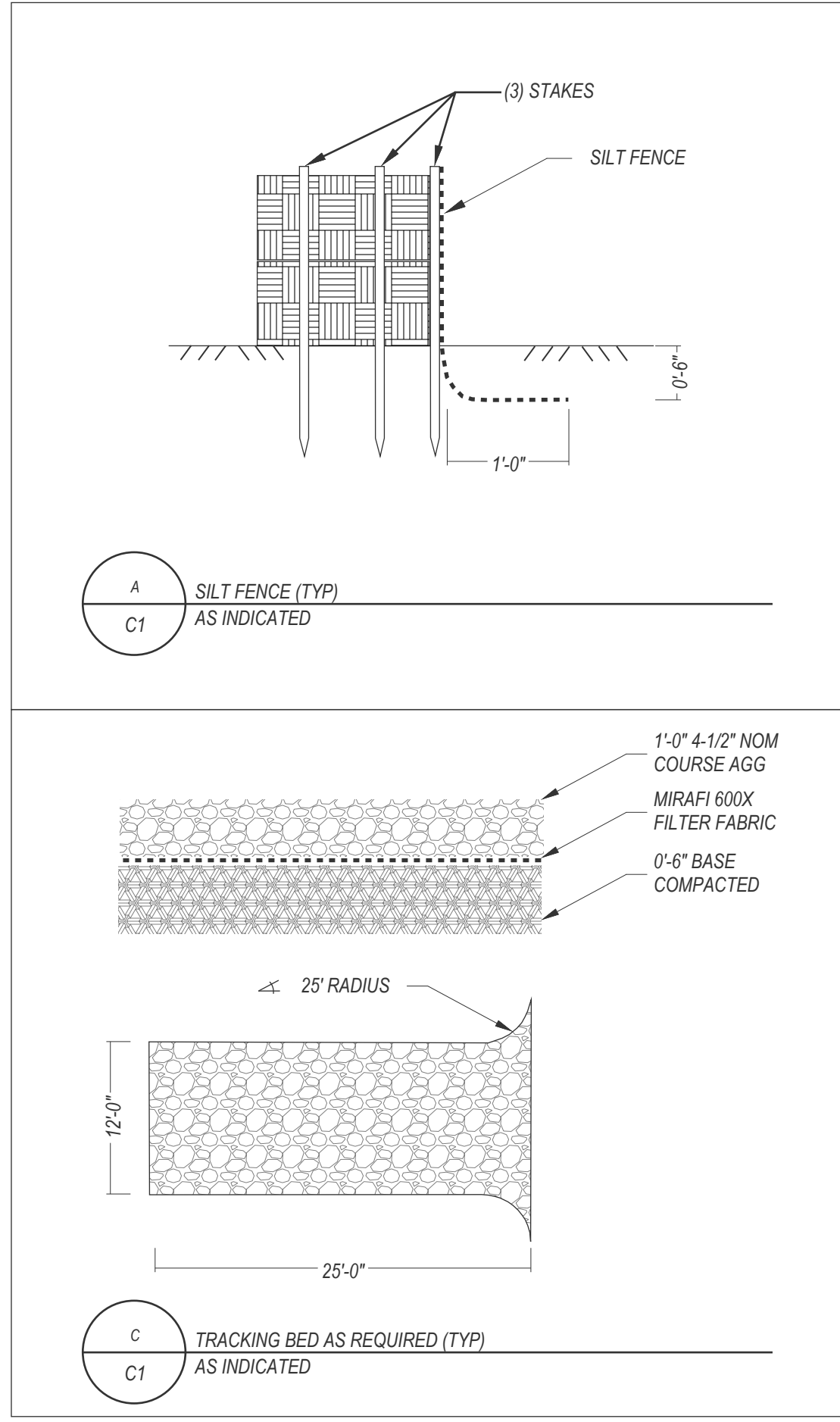
EXISTING CONDITIONS  
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**SURVEY**



**SEDIMENTATION AND EROSION CONTROLS (S&E) NOTES**

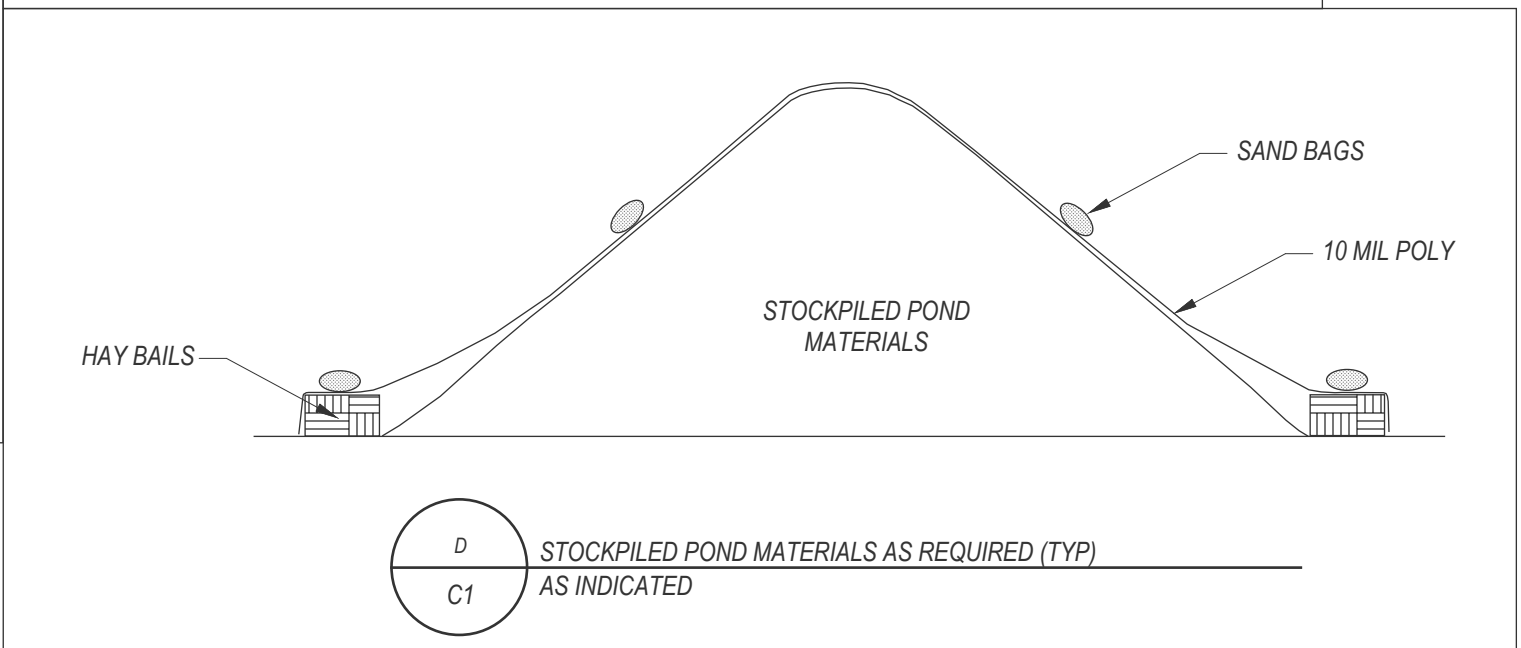
- CONTRACTOR SHALL INSTALL S&E IN ACCORDANCE WITH CT-DEEP BEST MANAGEMENT PRACTICES. S&E MAY BE INSTALLED IN PHASES AS WORK PROGRESSES AND SHALL REMAIN IN-PLACE IN ACCORDANCE WITH NORWALK REGULATIONS. MIRAFI 140N FILTER FABRIC SHALL BE PLACED ON THE EXISTING BULKHEAD IMMEDIATELY FOLLOWING EXCAVATION.
- ALL EARTHWORK SHALL BE PERFORMED UNDER THE SUPERVISION OF A COMPETENT PERSON IN CHARGE AND WHO IS A FULL TIME EMPLOYEE OF THE CONTRACTOR.
- DISTURBED AREAS SHALL BE TOP SOILED, SEEDED WITH GRASS AND MULCH IN A MANNER CONFORMING TO THE RECOMMENDATIONS OF THE GUIDELINES FOR SOIL AND EROSION AND SEDIMENT CONTROL PUBLISHED BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION DATED MAY 2, 2002.
- CRUSHED STONE, CONTROLLED FILL AND PROCTOR.
  - SUBSOILS SHALL BE LOOSED BY SCARIFYING TO A DEPTH OF MIN 2" TO ENSURE BONDING OF TOPSOIL AND SUBSOIL.
  - TOPSOIL SHALL BE FRIABLE AND LOAMY WITH HIGH ORGANIC CONTENT, FREE OF DEBRIS, ROCKS, AND ROOTS.
  - MIN 1.5% AND MAX 6% BY WEIGHT OF FINE TEXTURED STABLE ORGANIC MATERIALS.
  - MIN 20% FINE TEXTURED MATERIALS PASSING NO. 200 SIEVE.
  - MAX 15% CLAY.
  - RANGE OF 6.0 TO 7.5 PH.
  - MAX 500 PPM SOLUBLE SALTS.
  - TOP SHALL BE PLACED FOLLOWING WINTER CONDITIONS. SUBSOILS MAY NOT BE FROZEN.
- MAX 2H:1V SLOPES.
- CONSTRUCTION AND MAINTAIN SEDIMENTATION AND EROSION CONTROLS IN ACCORDANCE WITH THESE PLANS AND CT-DEEP BEST MANAGEMENT PRACTICES.
- ENGINEER SHALL ROUTINELY MONITOR AND DOCUMENT COMPLIANCE WITH PLANS AND PERMITS. ENGINEER SHALL INSPECT S&E CONTROLS FOLLOWING RAIN EVENTS OR EVERY (2) WEEKS, WHICHEVER IS MORE FREQUENT. CONTRACTOR SHALL COMPLY WITH ENGINEER DIRECTIVES TO CORRECT DEFICIENT CONDITIONS.
- S&E CONTROLS SHALL CONFORM TO 200 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL PREPARED BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.
- STAGING, MAINTENANCE AND SERVICING OF EQUIPMENT SHALL BE LOCATED IN A CONTAINMENT AREA IN ACCORDANCE WITH CT-DEEP REQUIREMENTS.
- TRACKING BED SHALL BE INSTALLED IF REQUIRED FOR LOGISTICS. INSTALL TRACKING BED PRIOR TO START OF CONSTRUCTION. PAD SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH OWNER APPROVAL. PAD SHALL BE CONSTRUCTED WITH MIN 6" DEEP X NOMINAL 4" DIA CRUSHED, WASHED STONE. LOCATION AND DIMENSIONS OF THE PAD SHALL SUBSTANTIALLY CONFORM TO PLANS.
- BROOM CLEAN ALL PAVED ASPHALT AND CONCRETE SURFACES IMPACTED BY CONSTRUCTION ON A DAILY BASIS.
- STAGING AND STOCK PILE LOCATIONS PER PLANS OR AS OTHERWISE APPROVED BY OWNER AND ENGINEERS. COORDINATE WITH ENGINEER ON DIFFERING SITE CONDITIONS AND DEVIATIONS.
- SILT FENCE. MIRAFI 100X ENVIROFENCE, AMOCO SILTSTOP OR EQUIVALENT. SUBMIT CUT SHEET TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. INSTALLATION PER PLANS.
- EROSION CONTROL BLANKETS. INSTALL JUT NETTING WHERE REQUIRED. FOR PRICING PURPOSES ALLOW 5% FOR WASTE AND ENGINEER DIRECTED IMPROVEMENTS.
- DEWATER INTO SILT SACKS IN LOCATIONS INDICATED IN PLANS. DO NOT STAGE FILLED SILT SACKS ON-SITE FOR MORE THAN (30) CALENDAR DAYS. REMOVE FILLED SILT-SACKS ON A MONTHLY BASIS.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SERVICEABLE CONDITION OF ALL S&E CONTROLS THROUGHOUT THE PERFORMANCE PERIOD OF THE CONSTRUCTION CONTRACT.
- CONTRACTOR SHALL MAINTAIN S&E CONTROLS IN FULLY FUNCTION CONDITIONS FOR A MIN PERIOD REQUIRED BY THE CITY NORWALK FROM THE DATE OF SUBSTANTIAL COMPLETION AND ACCEPTANCE OF THE WORK BY ENGINEER OR UNTIL PLANTINGS AND SEEDING ARE ESTABLISHED, WHICHEVER IS LATER.



**REGULAR FLOW SILTSACK SPECIFICATIONS**  
(FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUNOFF)

PROPERTIES	TEST METHOD	MIN. REQUIREMENTS
GRAB TENSILE STRENGTH	ASTM D4632	300 LBS
GRAN TENSILE ELONGATION	ASTM D4632	20%
PUNCTURE	ASTM D4833	120 LBS
MULLEN BURST	ASTM D3786	800 PSI
TRAPEZOID TEAR	ASTM D4533	120 LBS
UV RESISTANCE	ASTM D4355	80%
APPARENT OPENING SIZE	ASTM D4751	40 US SIEVE
FLOW RATE	ASTM D4491	40 GPM/SF

**B CATCH BASIN FILTER (TYP) AS INDICATED**



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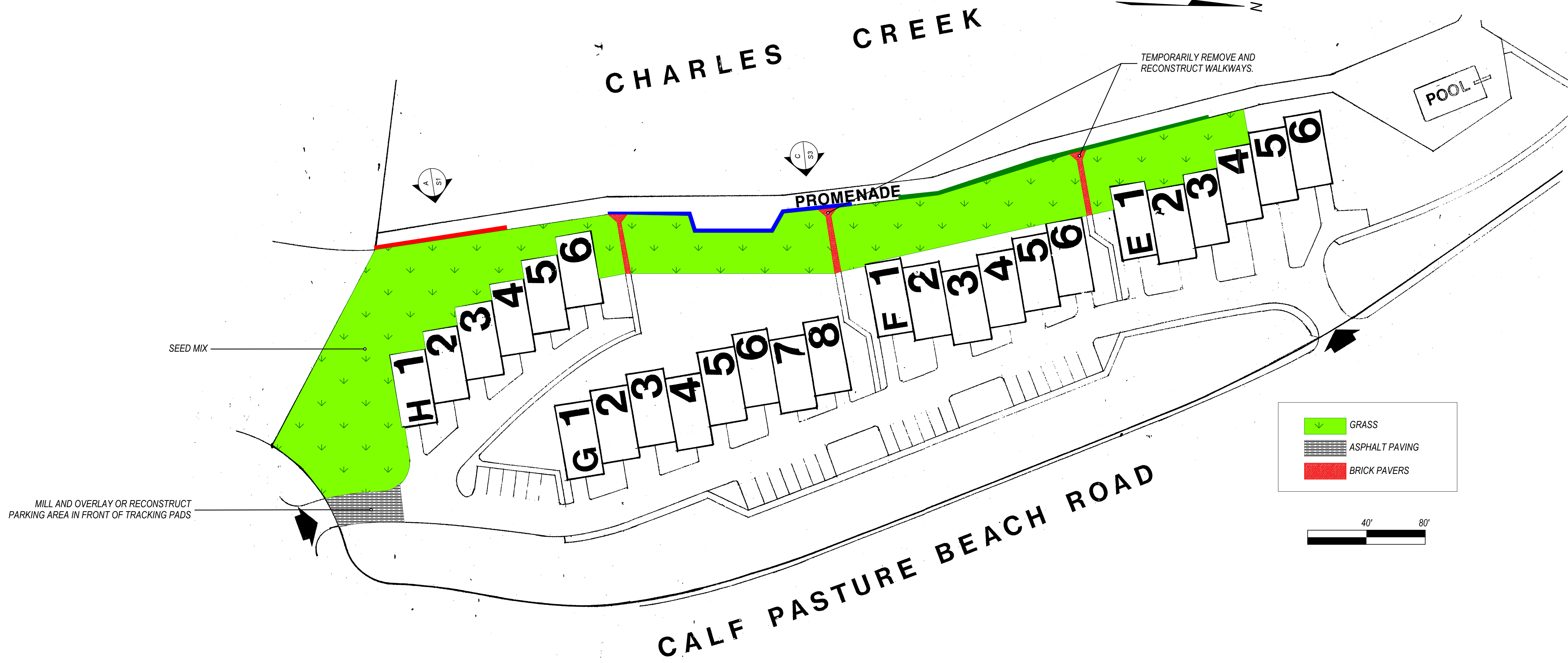
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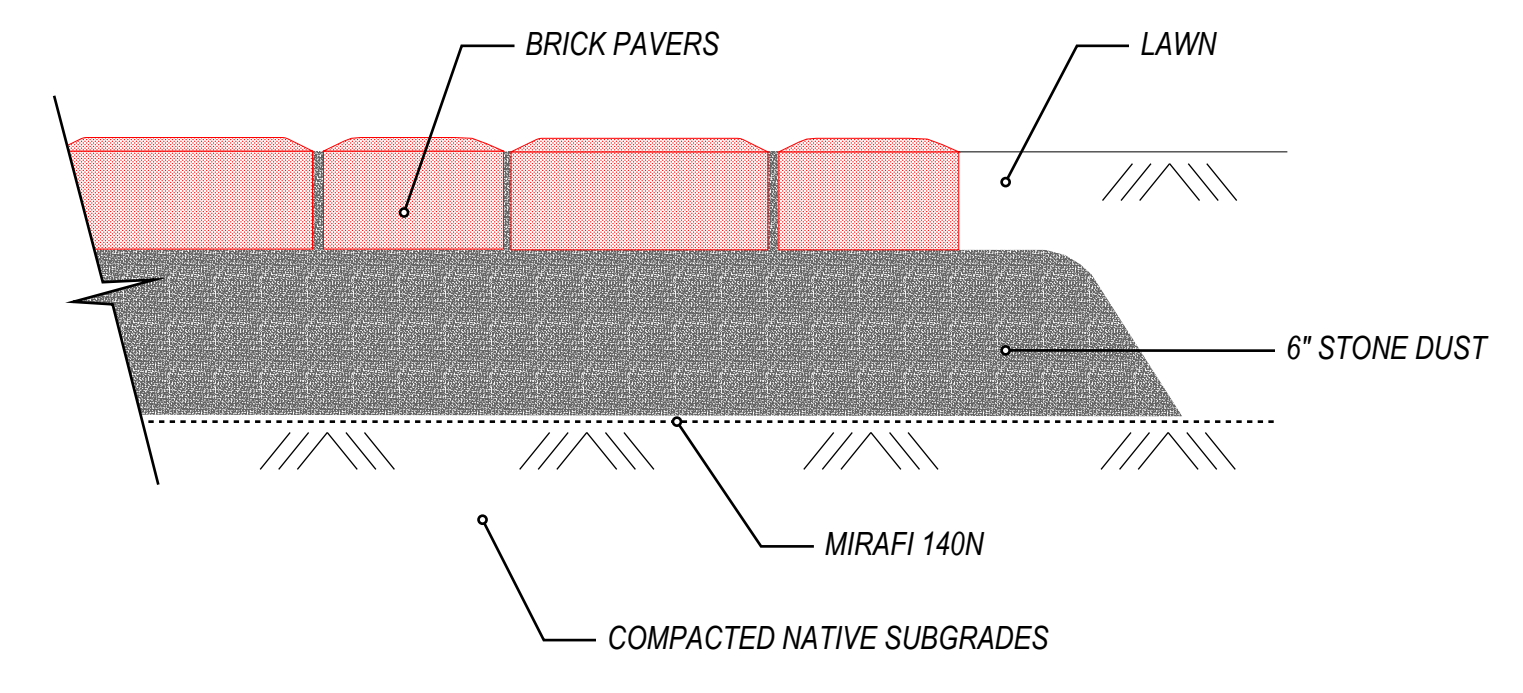
REPAIR 491' TIMBER BULKHEADS EAST SIDE OF TIDAL INLET

SEDIMENTATION & EROSION CONTROLS, PHASING PLAN SHEET

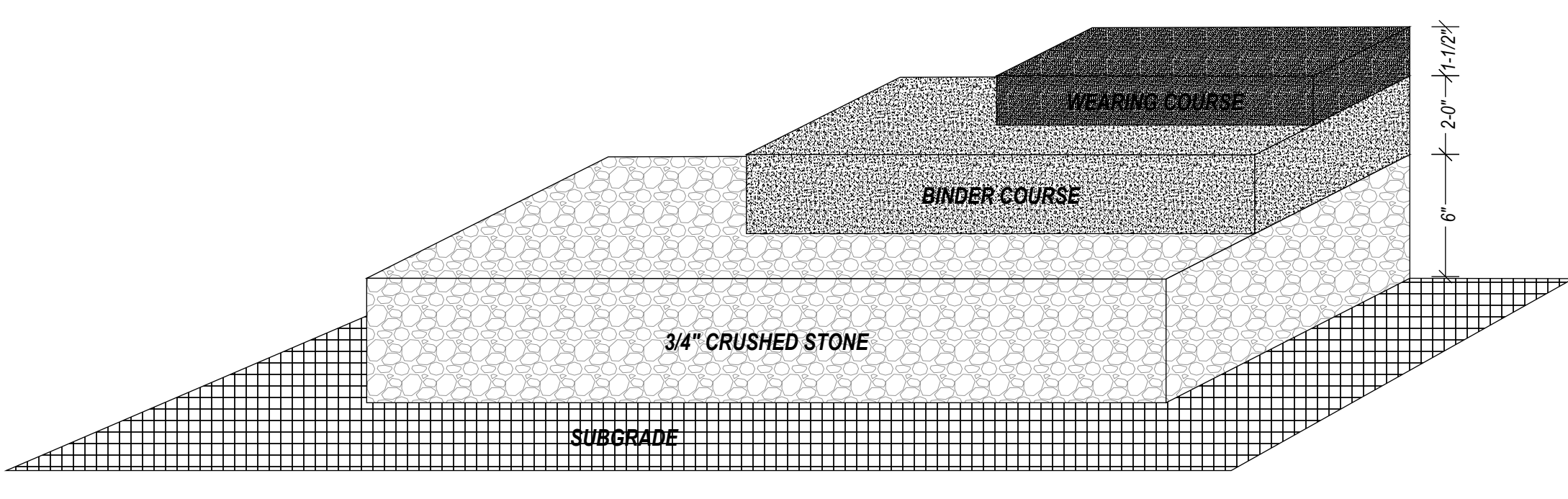
C1



- RESTORATION & PLANTING NOTES**
- RESTORE ALL GROUNDS AND BUILT FACILITIES IMPACTED BY WORK.
  - BACKFILL SLURRY WALLS MIN 28-DAY CURING PERIOD FOR STRENGTH DEVELOPMENT OR AS OTHERWISE APPROVED BY ENGINEER BASED ON INDEPENDENT LAB TESTING OF TEST CYLINDERS. COMPACT IN ACCORDANCE WITH THESE PLANS.
  - RE-GRADE STRIPPED TOP SOIL OVER COMPACTED SUBGRADES.
    - ROCK RAKE TOP SOILS FOLLOWING FINISH GRADING.
    - SUPPLEMENT TOP SOIL AS REQUIRED FOR FINISH GRADES TO MATCH EXISTING.
  - SEED MIX. RESTORE DISTURBED LAWNS AND LANDSCAPED AREAS WITH SEED WITH THE FOLLOWING GRASS SEED MIX, MIN 4" THICK SEEDBEDS.
    - TEMP SEED MIX. APPLY 40 LBS / ACRE PERENNIAL RYEGRASS.
    - PERM SEED MIX. COVER NEWLY SEEDED LAWN AREAS WITH HAY. APPLY 20 LBS / ACRE KENTUCKY BLUEGRASS, 20 LBS PER ACRE CREEPING RED FESCUE, AND 5 LBS / ACRE PERENNIAL RYEGRASS.
    - SCHEDULE. SEED FROM APRIL 15 TO JUNE 15 OR AUGUST 15 TO OCTOBER 15.
    - DO NOT USE FERTILIZERS, HERBICIDES, OR OTHER NITROGEN BASED NUTRIENTS TO ENCOURAGE GROWTH.
  - REPAIR AND RECONSTRUCT IRRIGATION SYSTEM IN COORDINATION WITH RESTORATION OF TOP SOIL. WATER NEWLY PLANTED LAWN AREAS MIN TWICE DAILY FOR 30-DAYS FOLLOWING SEEDING IF DRY CONDITIONS.
  - BRICK PAVER WALKWAYS. TEMPORARILY REMOVE, CATALOG PAVERS, AND RECONSTRUCT BRICK PAVER WALKWAYS IMPACTED BY WORK. DRY SET BRICK PAVERS TO ABUT AND MATCH EXISTING LAYOUTS AND PATTERNS. BED PAVERS IN MIN 6" STONE DUST OVER MIRAFI 140N FILTER FABRIC. COORDINATE WITH OWNER IF EXISTING SUBGRADE MATERIALS ARE NOT SUITABLE FOR COMPACTION.
  - ASPHALT. MILL AND OVERLAY OR RECONSTRUCT PARKING AREA IN FRONT OF TRACKING PADS.
    - MILL AND OVERLAY. EXISTING SUBGRADE AND BASE COURSE TO REMAIN IN-PLACE. MILL 1.5"-2" WEARING SURFACE. INSTALL 1.5"-2" HOT MIX WEARING-COURSE ASPHALT APPLIED OVER THE MILLED SURFACE.
    - RECONSTRUCT. EXCAVATE AND REMOVE MIN 6" EXISTING SUBGRADE. IMPORT, PLACE, AND COMPACT IMPORT STRUCTURAL FILL APPROVED BY ENGINEER. PLACE 6"-8" 3/4" CRUSHED STONE. PLACE AND ROLL ASPHALT BINDER COURSE NOM 2" INTERMEDIATE BINDER COURSE. PLACE AND ROLL ASPHALT WEARING COURSE: 1-1/2" HOT MIX ASPHALT.
    - MIX DESIGN. NOM 1/2" TYPE HMA S0.5 GRADE PG 64S-22 BINDER COURSE. NOM 3/8" TYPE HMA 20.375 GRADE PG 64S-22 WEARING COURSE.
    - STRIPE PARKING SPACES WHERE ASPHALT WORK PERFORMED.
  - TOP SOIL AND PREPARATION. RE-USE EXISTING TOP SOIL AS MUCH AS POSSIBLE. SUPPLEMENT WITH TOP SOIL THAT CONFORMS TO THE FOLLOWING.
    - SUBSOILS SHALL BE LOOSED BY SCARIFYING TO A DEPTH OF MIN 2" TO ENSURE BONDING OF TOPSOIL AND SUBSOIL.
    - TOPSOIL SHALL BE FRIABLE AND LOAMY WITH HIGH ORGANIC CONTENT, FREE OF DEBRIS, ROCKS, AND ROOTS.
    - MIN 1.5% AND MAX 6% BY WEIGHT OF FINE TEXTURED STABLE ORGANIC MATERIALS.
    - MIN 20% FINE TEXTURED MATERIALS PASSING NO. 200 SIEVE.
    - MAX 15% CLAY.
    - RANGE OF 6.0 TO 7.5 PH.
    - MAX 500 PPM SOLUBLE SALTS.
    - TOP SHALL BE PLACED FOLLOWING WINTER CONDITIONS. SUBSOILS MAY NOT BE FROZEN.



A EAST ELEVATION, 30'-0" SLURRY WALL SEGMENT, CONDITION A  
C2 NTS



B ASPHALT PAVING SYSTEM (TYP)  
C2 NTS

**NOTE**

- COORDINATE WITH ENGINEER FOR INSPECTION OF SUBGRADES PRIOR TO PLACEMENT OF 3/4" CRUSHED STONE.
- UNSUITABLE BEARING CONDITIONS BENEATH PARKING OR WALKWAYS IS A CHANGE ORDER TO THE CONSTRUCTION AGREEMENT.
- UNSUITABLE CONDITIONS MAY BE BRIDGED USING GEOTEXTILE FABRIC EQUIVALENT TO TENSAR TRIAX SYSTEM.

**Product Specification - TriAx® TX160 Geogrid**

Tensar International Corporation reserves the right to change its product specifications at any time. It is the responsibility of the person specifying the use of this product and of the purchaser to ensure that product specifications relied upon for design or procurement purposes are current and that the product is suitable for its intended use in each instance.

**General**

- The geogrid is manufactured from a punched polypropylene sheet, which is then oriented in three substantially equilateral directions so that the resulting ribs shall have a high degree of molecular orientation, which continues at least in part through the mass of the integral node.
- The properties contributing to the performance of a mechanically stabilized layer include the following:

Index Properties	Longitudinal	Diagonal	Transverse	General
• Rib pitch <sup>(1)</sup> , mm (in)	40 (1.60)	40 (1.60)	-	
• Mid-rib depth <sup>(2)</sup> , mm (in)	-	1.6 (0.06)	1.4 (0.06)	
• Mid-rib width <sup>(2)</sup> , mm (in)	-	1.0 (0.04)	1.2 (0.05)	
• Rib shape				Rectangular
• Aperture shape				Triangular

**Structural Integrity**

- Junction efficiency<sup>(3)</sup>, %
- Radial stiffness at low strain<sup>(4)</sup>, kN/m @ 0.5% strain (lb/ft @ 0.5% strain)

	93
	300 (20,580)

**Durability**

- Resistance to chemical degradation<sup>(5)</sup>
- Resistance to ultra-violet light and weathering<sup>(6)</sup>

	100%
	70%

**Dimensions and Delivery**

The TX geogrid shall be delivered to the jobsite in roll form with each roll individually identified and nominally measuring 3.0 meters (9.8 feet) and/or 4.0 meters (13.1feet) in width and 75 meters (246 feet) in length.

**Notes**

- Unless indicated otherwise, values shown are minimum average roll values determined in accordance with ASTM D4759-02. Brief descriptions of test procedures are given in the following notes.
- Nominal dimensions.
- Load transfer capability determined in accordance with ASTM D6637-10 and ASTM D7737-11 and expressed as a percentage of ultimate tensile strength.
- Radial stiffness is determined from tensile stiffness measured in any in-plane axis from testing in accordance with ASTM D6637-10.
- Resistance to loss of load capacity or structural integrity when subjected to chemically aggressive environments in accordance with EPA 9090 Immersion testing.
- Resistance to loss of load capacity or structural integrity when subjected to 500 hours of ultraviolet light and aggressive weathering in accordance with ASTM D4355-05.



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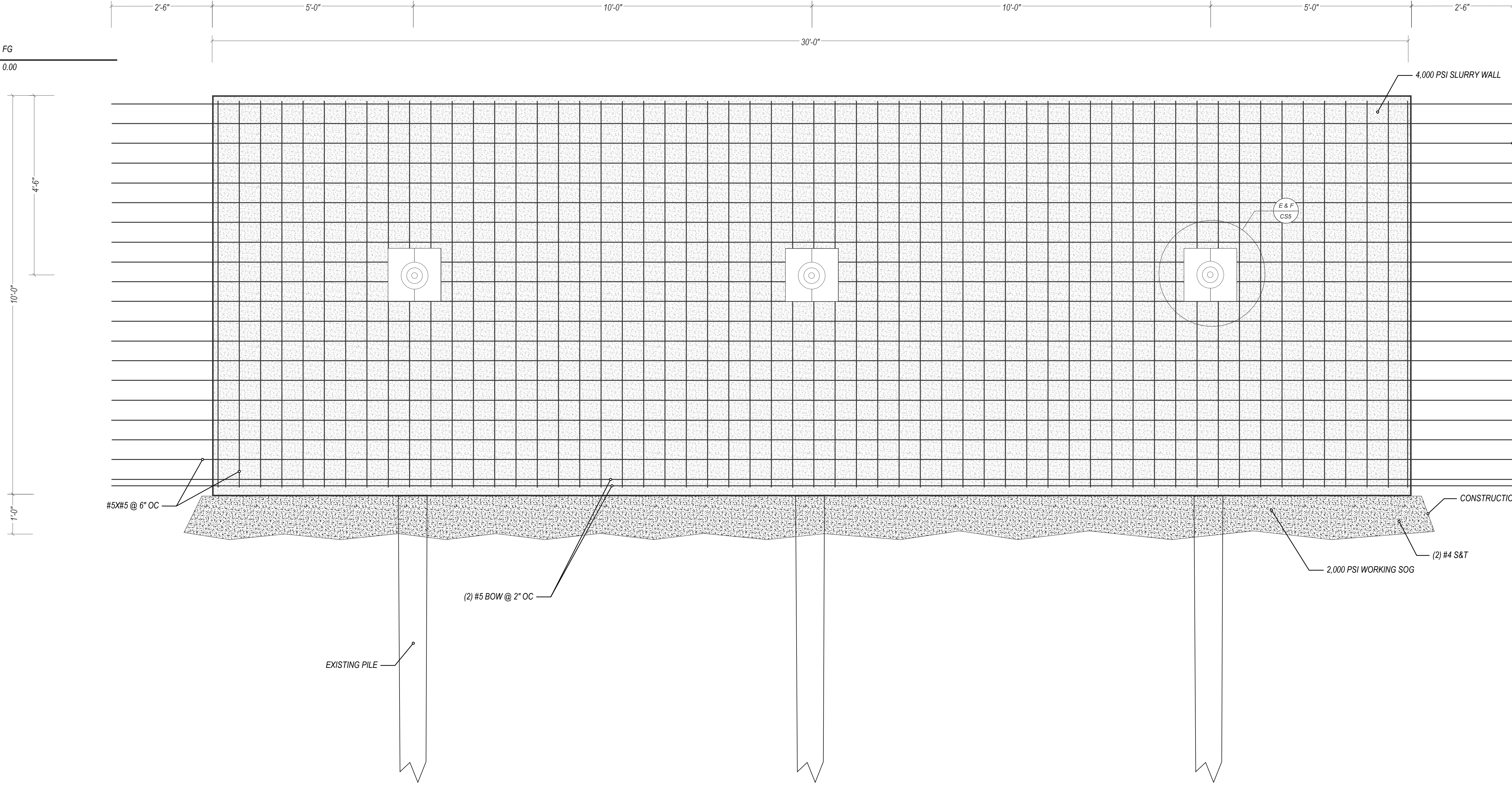
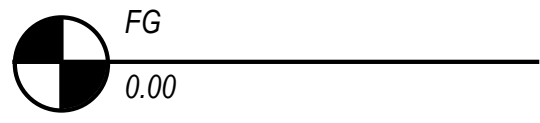
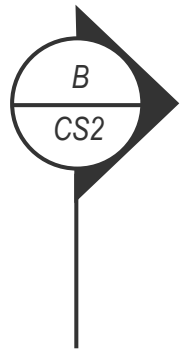
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REPAIR 491' TIMBER BULKHEADS EAST SIDE OF TIDAL INLET

PLANTING PLAN, ASPHALT, & PAVERS  
SHEET



EXTEND #5 HORIZONTAL 2'-6" BEYOND FORMS FOR FUTURE PHASES. DRILL AND FASTEN 4X4 SP PT POST TO END OF ROD BEFORE BACKFILLING.



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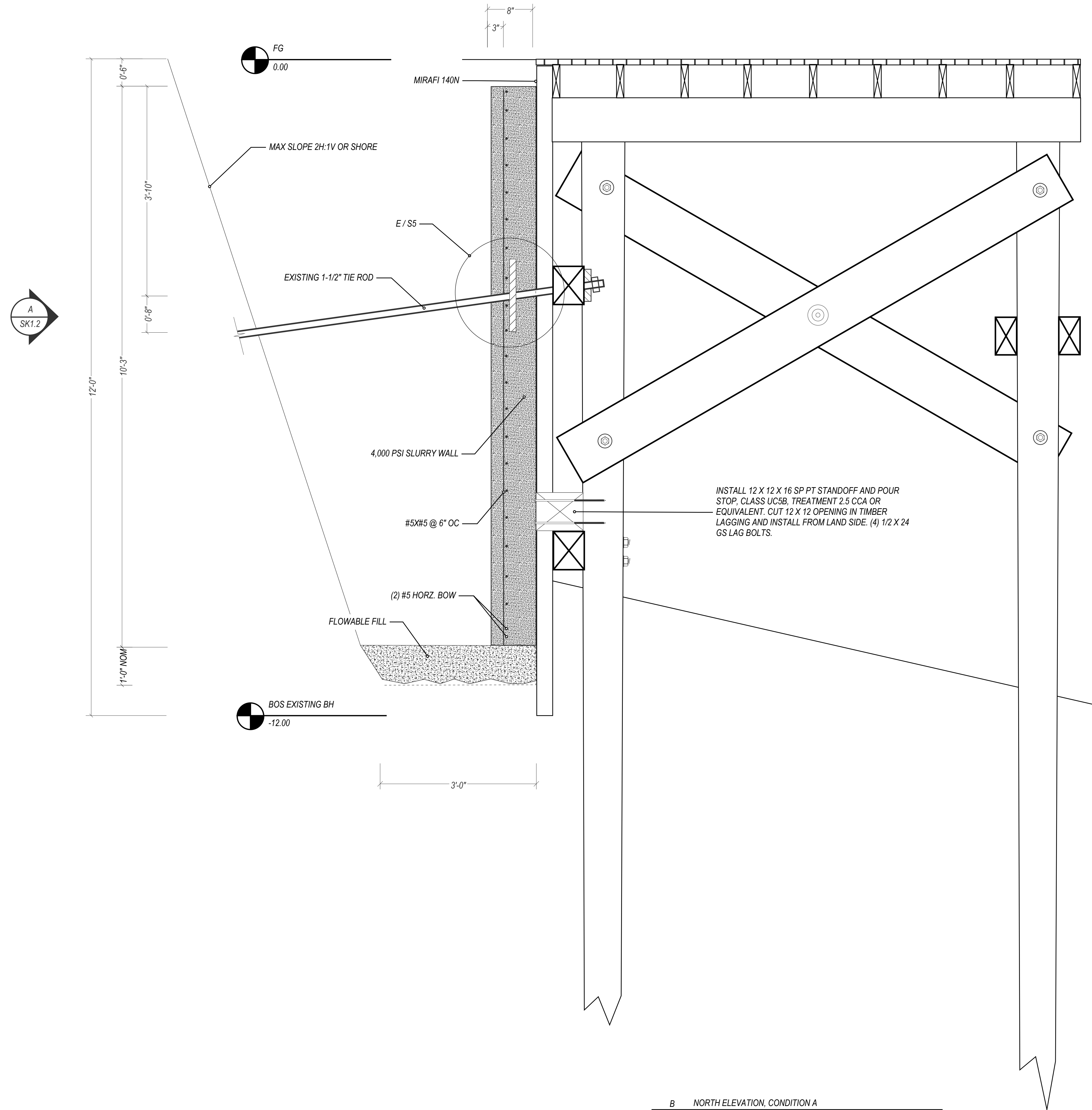
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CONDITION A EAST ELEVATION FACING LAND SLURRY WALL 30'-0" SEGMENT (TYP)	

A EAST ELEVATION, 30'-0" SLURRY WALL SEGMENT, CONDITION A  
 C1 3/4" = 1'

EAST ELEVATION  
 SHEET

CS1



- NOTES**
- DO NOT TRIM TIE ROD. USE SPLIT TENSION PLATE REF C / S5 AND D / S5.
  - OGEE WASHER NOT USED.
  - CONCRETE. CONSTRUCT CONCRETE SLURRY WALL IN (1) STAGE. BLIND SIDE FORM USING EXISTING BULKHEAD AS POUR STOP.
  - SUBMITTALS. PREPARE DESIGN MIXES FOR EACH TYPE AND STRENGTH OF CONCRETE DETERMINED BY EITHER LABORATORY TRIAL MIX OR FIELD TEST DATA BASES IN ACCORDANCE WITH PROPORTION NORMAL-WEIGHT CONCRETE ACCORDING TO ACI 211.1 AND ACI 301.
  - SUBMIT MIX DESIGN TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO START OF CONCRETE WORK.
  - STRENGTH. UNLESS OTHERWISE SPECIFIED IN DRAWINGS, MINIMUM 28-DAY STRENGTH OF CONCRETE SHALL CONFORM TO THE FOLLOWING:
    - SLURRY WALL: 4,000 PSI
    - LEVELING BED: 900 PSI
  - MIN CLEARANCES OF WORK FROM EXISTING BUILDINGS AND STRUCTURES. MAINTAIN MIN 20'-0" CLEARANCE FROM EXCAVATION TO EXISTING FOUNDATIONS AND BUILDING STRUCTURES AND 90'-0" OF POOL.
  - SPECIAL INSPECTIONS. COORDINATE WITH ENGINEER OF RECORD FOR SPECIAL INSPECTIONS PRIOR TO POURING ANY STAGE OF CONCRETE. ALLOW MIN (48) HOURS NOTICE PRIOR TO POURING CONCRETE. ALLOW TIME IN BUDGET FOR PUNCHLIST CORRECTIONS PRIOR TO POURING.
  - RETAIN DELIVERY TICKETS FROM CONCRETE SUPPLIER FOR REVIEW BY ENGINEER.
  - SUBMIT CONCRETE SUPPLIER IN-PLANT TEST RESULTS PRIOR TO ACCEPTANCE OF WORK BY ENGINEER.
  - CURING. FORM CURE MIN (24) HOURS PRIOR TO REMOVAL. REPAIR HONEY COMBS PRIOR TO BACKFILL.
  - MIRAFI 140N FILTER FABRIC SHALL BE PLACED ON THE EXISTING BULKHEAD IMMEDIATELY FOLLOWING EXCAVATION. FOR CONDITION A ONLY, SEQUENCE INSTALLATION OF 12 X 12 X 16 SP PT STANDOFF AND POUR STOP IN COORDINATION WITH INSTALLATION OF FILTER FABRIC.



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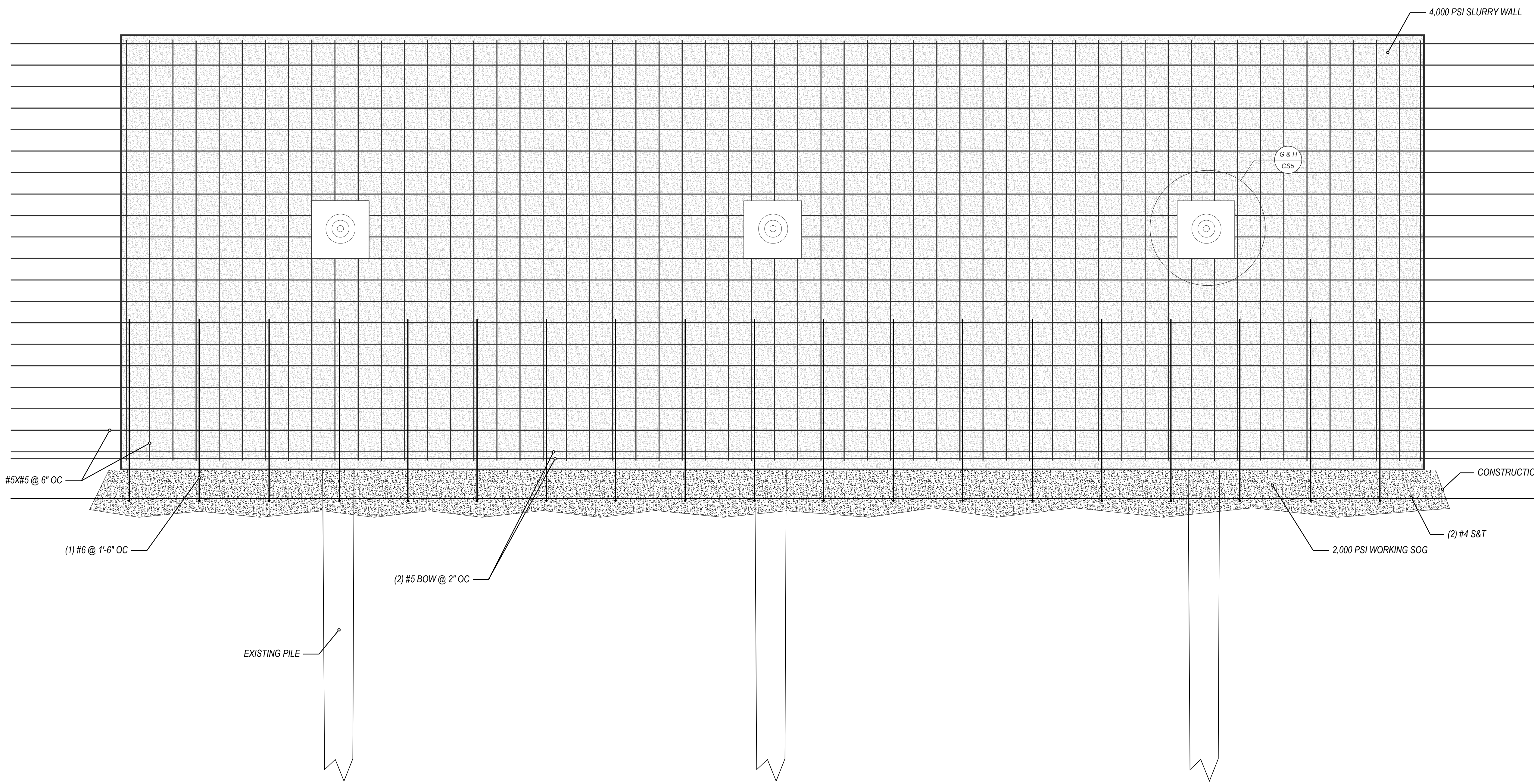
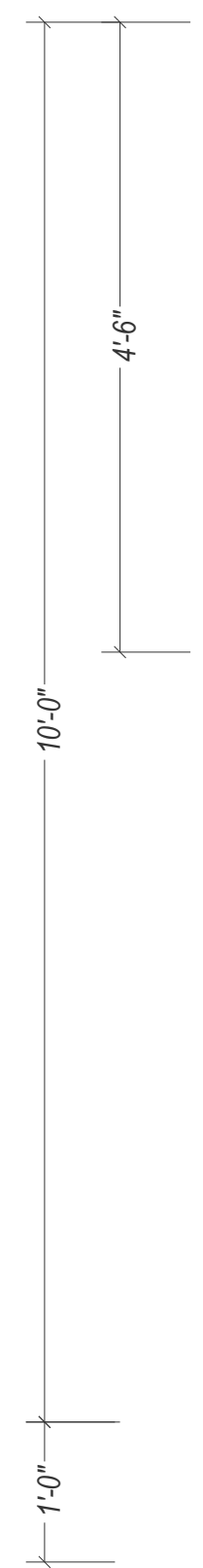
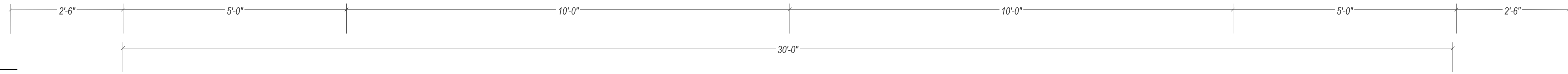
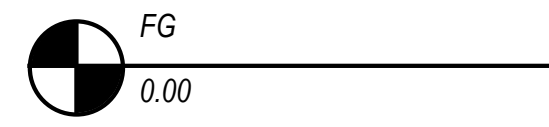
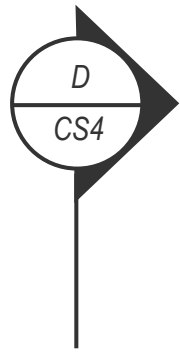
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CONDITION A  
 REPLACE LOWER WALE  
 SLURRY WALL  
 30'-0" SEGMENT (TYPE)  
 LANDSIDE OF BULKHEADS

**B** NORTH ELEVATION, CONDITION A  
 CS1 AS INDICATED

SECTION  
 SHEET



EXTEND #5 HORIZONTAL 2'-6" BEYOND FORMS FOR FUTURE PHASES. DRILL AND FASTEN 4X4 SP PT POST TO END OF ROD BEFORE BACKFILLING.



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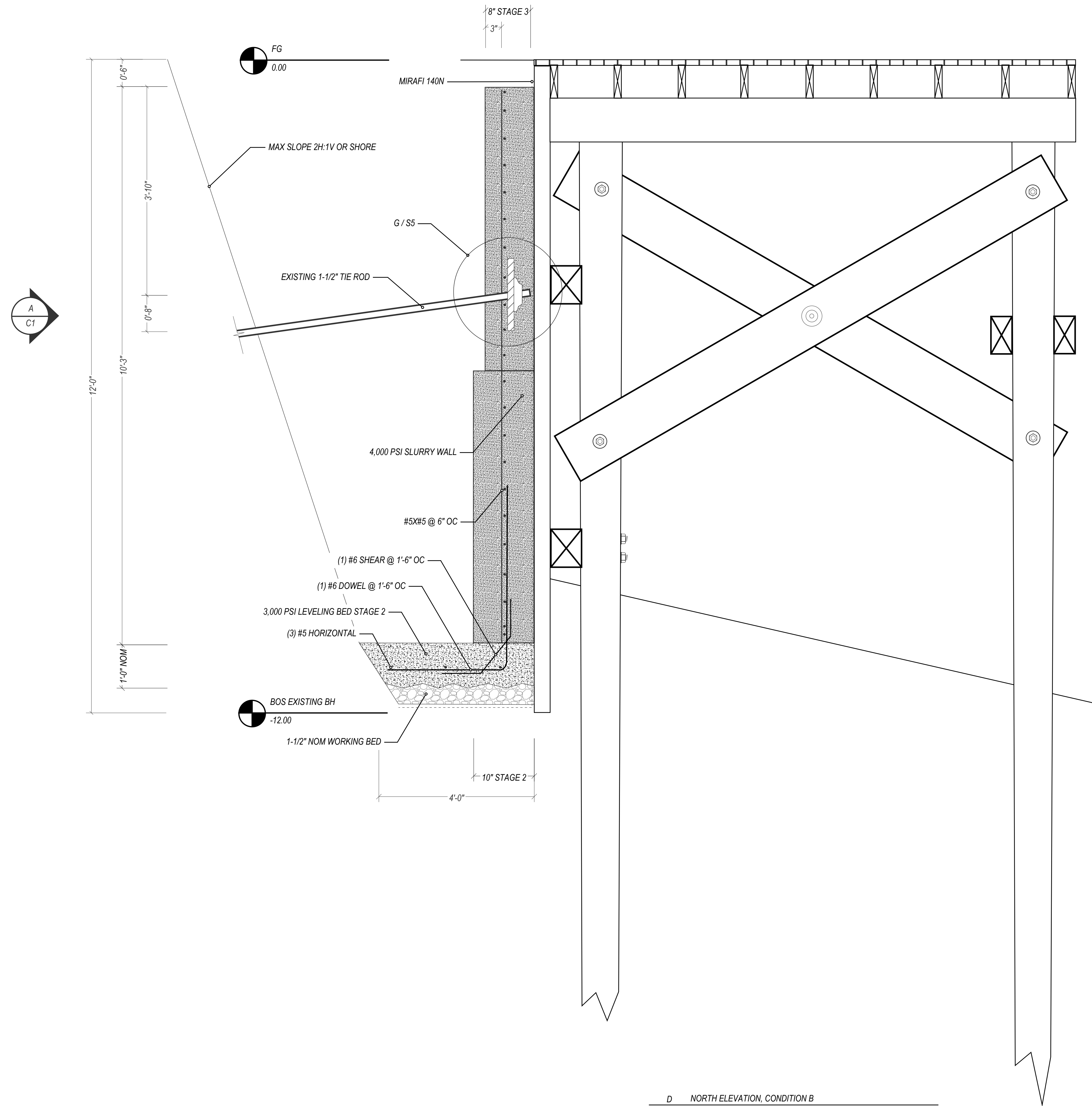
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CONDITION B  
EAST ELEVATION FACING LAND  
SLURRY WALL  
30'-0" SEGMENT (TYP)

C EAST ELEVATION, 30'-0" SLURRY WALL SEGMENT, CONDITION B  
C1 3/4" = 1'

EAST ELEVATION  
SHEET

CS3



D NORTH ELEVATION, CONDITION B  
CS3 AS INDICATED

**NOTES**

1. TRIM TIE ROD FOR MIN 1-1/2" COVER. PAINT CUT END WITH RUST-OLEUM COLD GALVANIZATION.
2. INSTALL SOLID TENSION PLATE WITH OGEE WASHER, REF E, F AND G SHEET S4.
3. CONCRETE. CONSTRUCT CONCRETE SLURRY WALL IN (3) STAGES. DO NOT BLIND SIDE FORM USING EXISTING BULKHEAD LAGGING. CONDITION B ASSUMES THAT THE LOWER TIMBER WALE AND LAGGING ARE SEVERELY DETERIORATED AND CANNOT BE REPAIRED OR USED FOR BLIND SIDE FORMING.
- 3.1 STAGE 1: 3,000 PSI FOOTING WITH DOWELS.
- 3.2 STAGE 2: 10" X 5'-0" X 4,000 PSI STEM WALL.
- 3.3 STAGE 3: 8" X 5'-0" X 4,000 PSI STEM WALL WITH SIKA CALCIUM NITRATE ADMIXTURE OF EQUIVALENT CORROSION INHIBITOR. SUBMIT ALTERNATE TO ENGINEER FOR APPROVAL.
- 3.4 SUBMITTALS. PREPARE DESIGN MIXES FOR EACH TYPE AND STRENGTH OF CONCRETE DETERMINED BY EITHER LABORATORY TRIAL MIX OR FIELD TEST DATA BASES IN ACCORDANCE WITH PROPORTION NORMAL-WEIGHT CONCRETE ACCORDING TO ACI 211.1 AND ACI 301.
- 3.4.1 SUBMIT MIX DESIGN TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO START OF CONCRETE WORK.
- 3.4.2 STRENGTH. UNLESS OTHERWISE SPECIFIED IN DRAWINGS, MINIMUM 28-DAY STRENGTH OF CONCRETE SHALL CONFORM TO THE FOLLOWING:
  - 3.4.2.1 SLURRY WALL: 4,000 PSI
  - 3.4.2.2 SLURRY WALL, OPTION B, STAGE 3: 4,000 PSI WITH CORROSION INHIBITOR
  - 3.4.2.2 LEVELING BED: 3,000 PSI
4. MIN CLEARANCES OF WORK FROM EXISTING BUILDINGS AND STRUCTURES. MAINTAIN MIN 20'-0" CLEARANCE FROM EXCAVATION TO EXISTING FOUNDATIONS AND BUILDING STRUCTURES AND 90'-0" OF POOL.
5. SPECIAL INSPECTIONS. COORDINATE WITH ENGINEER OF RECORD FOR SPECIAL INSPECTIONS PRIOR TO POURING ANY STAGE OF CONCRETE. ALLOW MIN (48) HOURS NOTICE PRIOR TO POURING CONCRETE. ALLOW TIME IN BUDGET FOR PUNCHLIST CORRECTIONS PRIOR TO POURING.
- 5.1 RETAIN DELIVERY TICKETS FROM CONCRETE SUPPLIER FOR REVIEW BY ENGINEER.
- 5.2 SUBMIT CONCRETE SUPPLIER IN-PLANT TEST RESULTS PRIOR TO ACCEPTANCE OF WORK BY ENGINEER.
6. CURING . FORM CURE MIN (24) HOURS PRIOR TO REMOVAL. REPAIR HONEY COMBS PRIOR TO BACKFILL.
7. MIRAFI 140N FILTER FABRIC SHALL BE PLACED ON THE EXISTING BULKHEAD IMMEDIATELY FOLLOWING EXCAVATION.



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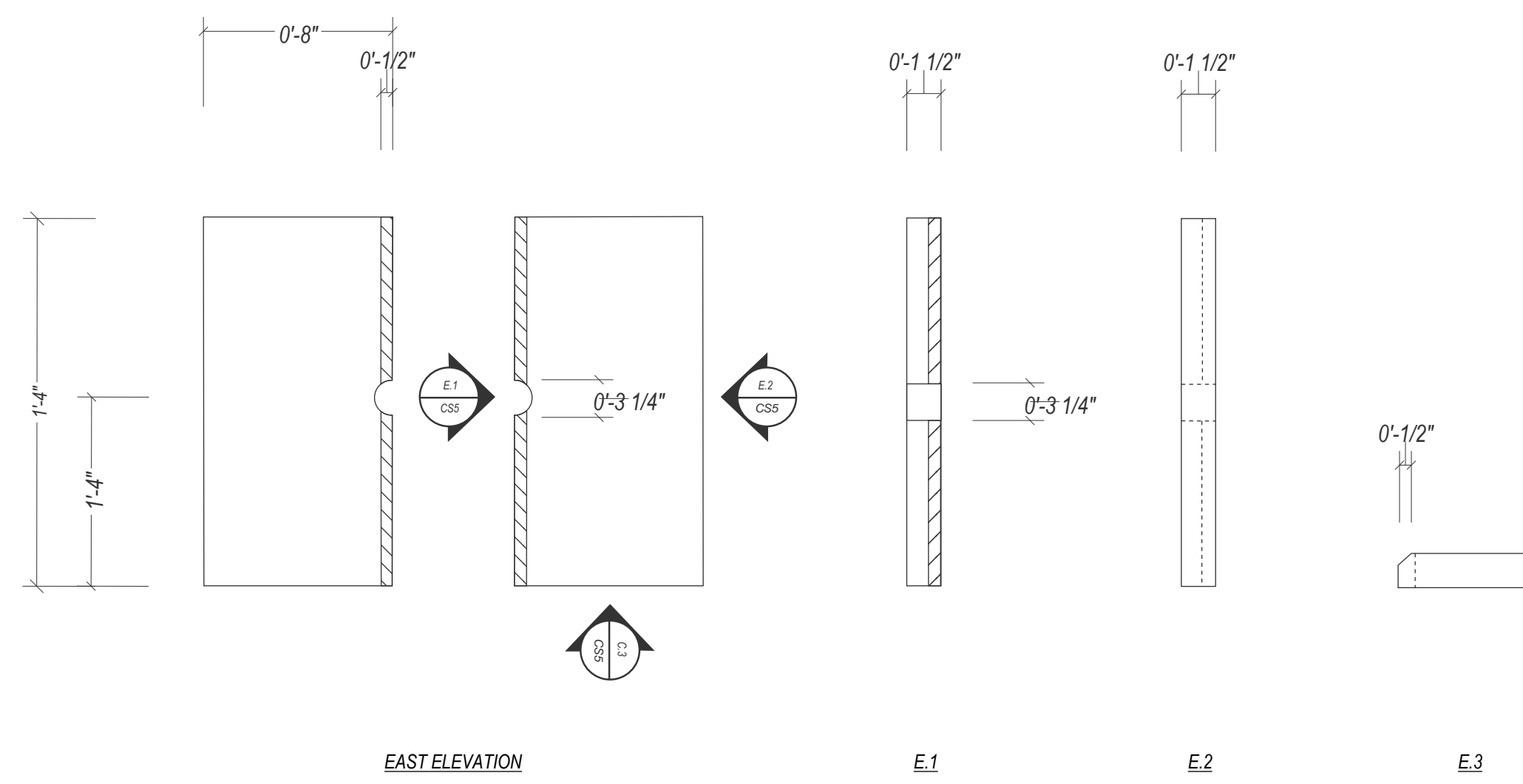
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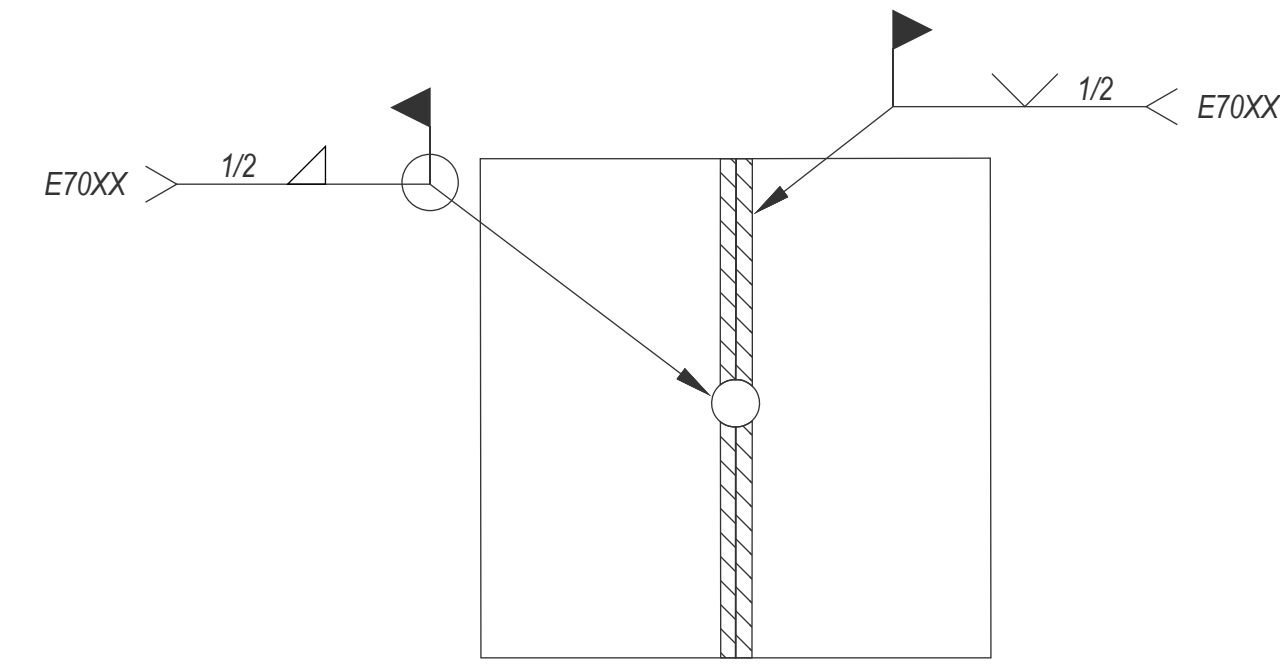
CONDITION B  
ABANDON LOWER WALE  
SLURRY WALL  
30'-0" SLURRY WALL SEGMENT  
LANDSIDE OF BULKHEADS

SECTION  
SHEET

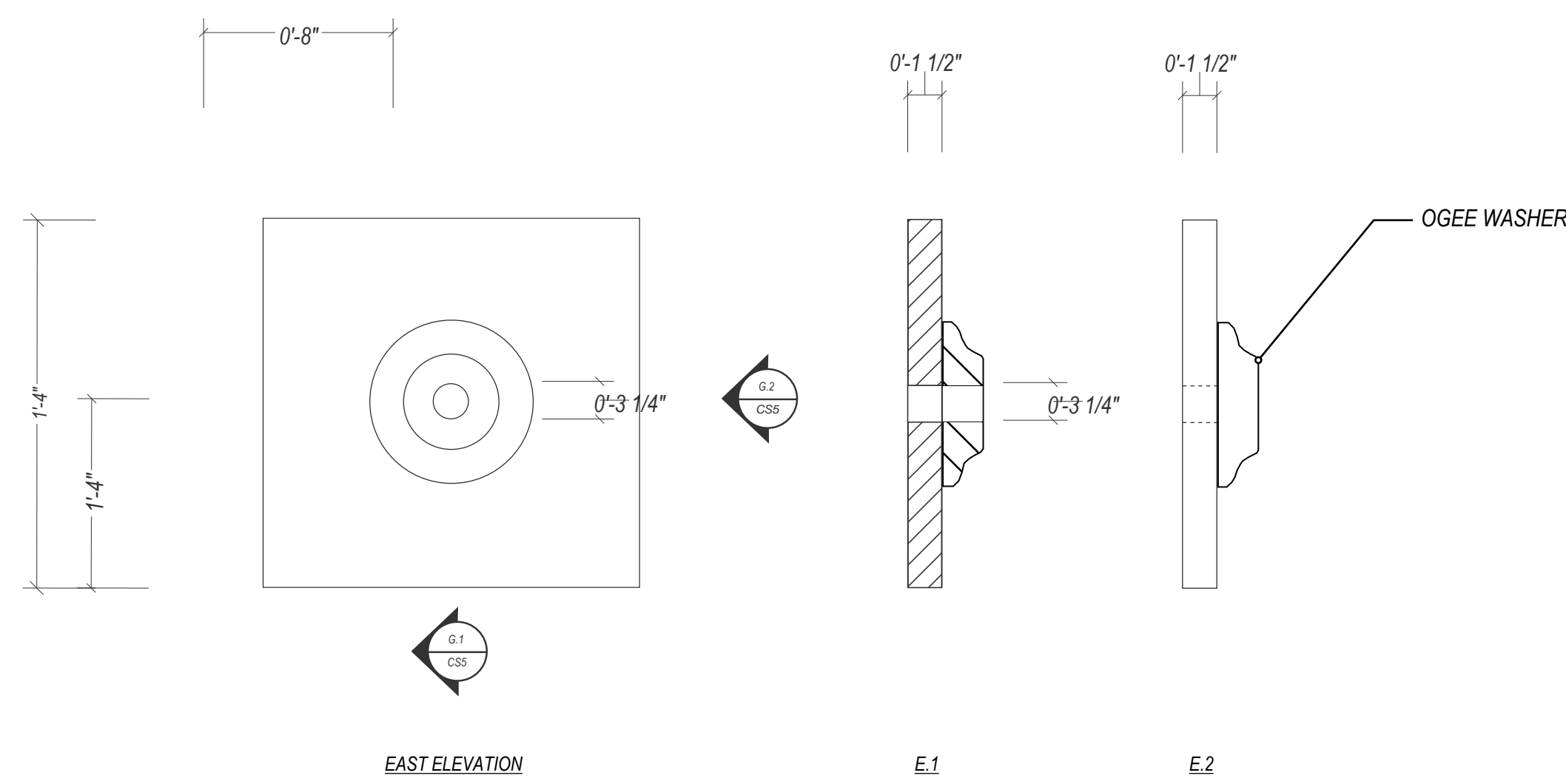
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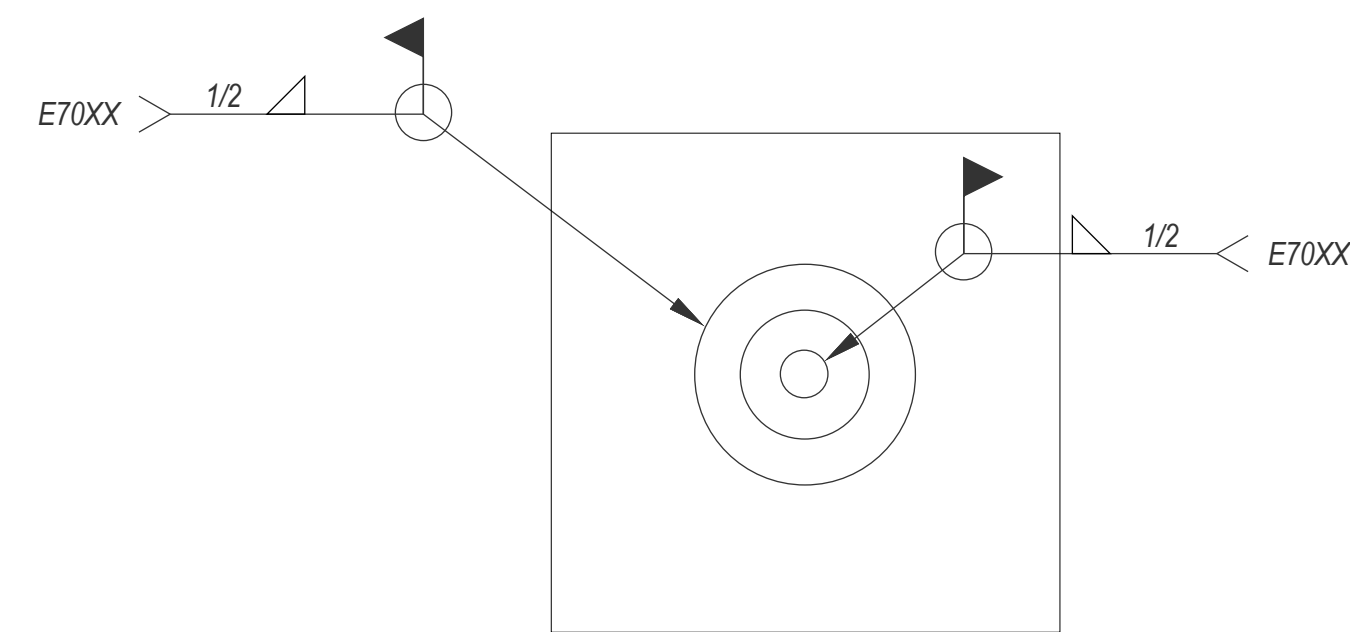
E 1-1/2" SPLIT PLATE WASHER, CONDITION A  
CS2 2" = 1'



F 1-1/2" SPLIT PLATE WASHER ASSEMBLY W/TIE-ROD, CONDITION A  
CS5 2" = 1'



G 1-1/2" SPLIT PLATE WASHER, CONDITION B  
CS4 2" = 1'



H 1-1/2" SPLIT PLATE WASHER ASSEMBLY W/TIE-ROD, CONDITION B  
CS5 2" = 1'

Bolt Size	A	B	T	Weight In Pounds Per 100 Pieces
	Top Outside Diameter	Bottom Outside Diameter	Thickness	
1/2	1-3/8	2-3/8	1/2	48
5/8	1-5/8	2-3/4	5/8	62
3/4	1-7/8	3	3/4	71
7/8	2	3-1/2	7/8	115
1	2-1/2	4	1	150
1-1/8	2-1/2	4-1/4	1-1/8	249
1-1/4	2-1/2	4-1/2	1-1/4	286
1-1/2	3	5-1/2	1-1/2	412

Reference ASTM A48 - Standard Specification for Gray Iron Castings

I OGEE WASHER SCHEDULE  
CS5 NTS

- NOTES**
- CALL OUTS ON CS1 AND CS3 ARE SHOWN TYP. PLATES EF AND GH ARE INTERCHANGEABLE WITH EACH CONDITION.
  - 1.1 SET PLATES, WASHERS, AND WELDS PRIOR TO POURING ON BLIND-SIDE FORM ABUTTING MATT REINFORCING STEEL.
  2. ALL STEEL IS DOUBLE HOT DIPPED GALVANIZED.
  3. OGEE WASHERS MAY NOT BE SUBSTITUTED.
  4. ALL WELDS SHALL BE PERFORMED BY CERTIFIED WELDERS.
  5. FIELD SPLICING OF EXISTING TIE-BACK ROCKS TO THREADED ADAPTERS FOR BOLTING OF PLATES IS PERMITTED. WELDS SHALL BE FULL-PEN E70XX.
  - 5.1 SUBMIT WELDING PLAN FOR REVIEW AND APPROVAL BY ENGINEER PRIOR TO FIELD WELDING.
  - 5.2 SPECIAL INSPECTION OF THE WELDS IS REQUIRED PRIOR TO BACKFILL.



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CHARLES COVE CONDO.  
119 GREGORY BLVD.  
NORWALK, CT 06855

DATE: OCTOBER 2, 2025  
REVISIONS

REV	DESCRIPTION

REPAIR 491' TIMBER BULKHEADS  
EAST SIDE OF TIDAL INLET

STEEL DETAILS & ASSEMBLIES  
SHEET

*Draft 10/10/25*

# **Norwalk Harbor Management Commissioner Onboarding Packet**

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- 1. Introduction to the Norwalk Harbor Management Commission (HMC)**
  - Mission
  - Structure
  - Coordination with Agencies and other Commissions
  - Harbor Management Commission Webpage
  
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  - Effective Management
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# 1. Introduction to the Norwalk Harbor Management Commission

- **Mission**
  - The mission of the Norwalk Harbor Management Commission (HMC) is to evaluate issues, make recommendations, and provide support to the City of Norwalk in preserving and enhancing the use, vitality, and quality of life associated with the Norwalk Harbor and Long Island Sound.
  
- **Structure**
  - The HMC is a City Commission made up of nine members appointed by the Mayor and approved by the Common Council.
  - Elected officer roles are Chair, Co-Chair, and Secretary.
  - Standing committees include:
    - Finance
    - Application Review
    - Plans and Recommendations
    - Mooring and Harbor Safety
    - Nominating
  - Other committees may include:
    - Newsletter/Website
    - Dredging
  - The HMC provides a leadership role and may provide financial support for the Mayor's Water Quality Committee.
  - The Director of Planning and Zoning, the Norwalk Harbormaster, and the Director of Recreation and Parks serve as ex officio (non-voting) members as specified in Section 69-20 of the Norwalk Code.
  - The HMC meets on the fourth Wednesday of every month at 6:00pm, currently via Zoom.
  
- **Coordination with Agencies and other Commissions**
  - The HMC coordinates with City of Norwalk agencies as well as the Connecticut Department of Energy and Environmental Protection (DEEP) and the U.S. Army Corps of Engineers (ACOE) in implementing the policies set forth in the Norwalk Harbor Management Plan (HMP).
  - The Norwalk Shellfish Commission, the Norwalk Mayor's Water Quality Committee, the Norwalk River Watershed Committee and the HMC are all integrally involved in the health of Norwalk Harbor.
  
- **Webpage**
  - The HMC has its own webpage on the City website <https://apps.norwalkct.org/meetingboard/committee/16> where the Bylaws, Harbor Management Plan, Newsletter, Harbor

Commissioners' information and other helpful resources can be found.

## 2. Legal & Regulatory Framework

The following legal and regulatory framework support the creation and authority of the Harbor Management Commission:

- **Connecticut Harbor Management Act** (CGS §22a-113k-113t)
  - The **Connecticut Harbor Management Act (HMA)** is a state law enacted in 1984 that enables towns to form Harbor Management Commissions and adopt Harbor Management Plans so they can directly manage the use and protection of their harbors in coordination with state and federal authorities.
  - [https://www.cga.ct.gov/CURRENT/PUB/chap\\_444a.htm](https://www.cga.ct.gov/CURRENT/PUB/chap_444a.htm)
  
- **Connecticut Coastal Management Act** (Connecticut General Statutes §§ 22a-90 through 22a-112)
  - The **Connecticut Coastal Management Act (CCMA)** is a state law enacted in 1980 that establishes policies, standards and processes for managing, protecting and developing Connecticut's coastal resources.
  - The Connecticut Department of Energy and Environmental Protection (DEEP), Office of Long Island Sound Programs (OLISP) administers the Act at the state level. Coastal municipalities implement it locally through zoning, planning, and harbor management commissions, subject to DEEP review.
  - [https://www.cga.ct.gov/2021/pub/chap\\_444.htm#sec\\_22a-90](https://www.cga.ct.gov/2021/pub/chap_444.htm#sec_22a-90)
  
- **CT General Statutes – Chapter 69**
  - CT General Statutes Chapter 69 contains the legal framework for harbor oversight in Connecticut, including both state-appointed harbormasters and local harbor management commissions.
  - <https://ecode360.com/27051189>
  
- **Public Trust Doctrine**
  - The **Public Trust Doctrine (PTD)** is a legal principle stating that certain natural resources are preserved for public use, and that the government is obligated to manage and protect these resources in trust for the benefit of the public.
  - Tidal waters and the land seaward of the Coastal Jurisdiction Line (CJL), including tidal wetlands, intertidal flats and beaches below the mean high tide line, are held in trust by the State of CT for the benefit and use of all its citizens.
  - Public rights under the Public Trust Doctrine include navigation, fishing, shellfishing, commerce, and recreation such as walking, boating and swimming.
  - The State of Connecticut, through DEEP's Office of Long Island Sound Programs, regulates structures such as docks, seawalls, and

piers to ensure they do not unreasonably interfere with public trust rights.

- <https://portal.ct.gov/deep/coastal-resources/living-on-the-shore-brochure/who-owns-the-shorethe-public-trust>

### 3. The Norwalk Harbor Management Plan (HMP)

- **Purpose of the HMP**
  - The Norwalk Harbor Management Plan (NHMP) establishes the official policy framework for guiding the use, development, and conservation of Norwalk Harbor. It provides the basis for evaluating proposed activities and structures to ensure consistency with municipal, state, and federal coastal management objectives.
  - The policies set forth in the NHMP are applied as key criteria in regulatory decision-making concerning the harbor and its adjacent shoreline.
  
- **Harbor Management Goals**
  - The thirteen goals of harbor management as defined in the HMP reflect the breadth of important factors in the healthy stewardship of Norwalk Harbor.

**Figure 2-1:  
HARBOR MANAGEMENT GOALS**

GOAL 1: PUBLIC RECOGNITION OF NORWALK HARBOR RESOURCES  
AND VALUES

GOAL 2: ACTIVE AND COORDINATED MANAGEMENT OF NORWALK HARBOR BY  
THE CITY OF NORWALK

GOAL 3: RECREATIONAL USES

GOAL 4: WATER-DEPENDENT USES AND FACILITIES

GOAL 5: NATURAL RESOURCE CONSERVATION AND ENHANCEMENT

GOAL 6: PUBLIC HEALTH, SAFETY, AND WELFARE

GOAL 7: ECONOMIC BENEFITS

GOAL 8: PLANNING AND REGULATION OF WATERFRONT LAND USE

GOAL 9: PRESERVATION OF MARITIME HERITAGE AND CITY CHARACTER

GOAL 10: PUBLIC ACCESS TO NORWALK HARBOR

GOAL 11: PRESERVATION OF QUALITY OF LIFE IN SHOREFRONT  
NEIGHBORHOODS

GOAL 12: PUBLIC SUPPORT, EDUCATION, AND PARTICIPATION

GOAL 13: RESPOND TO CHANGING CONDITIONS

- **Annual Review and Approvals**
  - The Plan was approved by the State (DEEP) in 1989 and adopted by the Norwalk Common Council in 1990. The latest amendments to the Plan were approved and adopted in 2009.
  - The update and implementation of the plan in coordination with City, State and Federal agencies are the responsibility of the Harbor Management Commission.
  
- The **full Harbor Management Plan** can be found on the HMC webpage on the City website:  
<https://apps.norwalkct.org/meetingboard/committee/16>

## 4. Primary Tasks of the Harbor Management Commission

- **Harbor Management Consistency Review (“Application Review”)**
  - The HMC reviews applications for “specific development proposals affecting real property on, in, or contiguous to Norwalk Harbor” that are referred to the HMC by federal, state or local permitting authorities.
  - This review process, commonly known as “Application Review,” determines by majority vote of the HMC whether the proposal is consistent with the policies set forth in the Harbor Management Plan.
  - While the Harbor Management Commission does not issue permits, the result of the Application Review process is a formal recommendation to DEEP and/or local land use agencies that ensures that proposed activities:
    - Align with the Harbor Management Plan
    - Protect public trust resources
    - Avoid conflicts with navigation and public access
  - Types of applications include:
    - Coastal Area Management (CAM) applications to a state agency which are for new or significant projects in the coastal boundary area (tidal waters, beaches, dunes, wetlands, harbor-front property, etc.) and require demonstrating compliance with state coastal management policies.
    - Certificates of Permission (COP) which are authorizations issued by a state agency that allow certain minor or previously authorized work in tidal, coastal, or navigable waters and adjacent wetlands without going through the longer, more complex permit process which can be lengthy, costly, and involve public hearings.
    - Pre-Application Reviews which are an early, informal review step that happens before a formal COP or CAM application is filed with the state.
  - A majority vote of the HMC determines whether the application is:
    - “Consistent with the HMP” if the proposed work improves current harbor conditions, or
    - “Inconsistent with the HMP” if the proposed work is detrimental to current harbor conditions, or
    - “No Objection” if the proposed work has no impact on current harbor conditions.
    - In the case of Pre-Applications, the vote determines whether “the proposed project can move forward.”
- **Mooring and Harbor Safety**

- The HMC has a designated Mooring and Harbor Safety Chair who works with the Norwalk Harbormaster in the management of all moorings in Norwalk Harbor, including the transient mooring program.
- The Chair and Harbormaster also manage harbor navigation safety.
- **Harbor Management Goals**
  - The HMP strives to address the thirteen goals as defined in the HMP and noted in Figure 2-1 of this document. Goals include the conservation of vital natural resources, encouragement of water-dependent uses of the Harbor and the waterfront, safety and welfare on the water, public access, and preservation of quality of life in shorefront neighborhoods.

## 5. Governance and Administration

- **HMC Bylaws**
  - The HMC is governed by its Bylaws which can be found on the HMC webpage of the City website:  
<https://www.norwalkct.gov/DocumentCenter/View/28849/NHMC-Bylaws-Rev-2-23-2016>
  
- **Effective Management**
  - Meetings are governed by Roberts Rules of Order unless specified otherwise in the HMC Bylaws and/or City or State statutes.
  - All meetings of the HMC are subject to the rules of the Freedom of Information Act (FOIA).
  - Legal training on the proper conduct of municipal business is made available through the City of Norwalk.
  
- **Budget and Funding**
  - The HMC manages its own budget in coordination with the City. Income is derived primarily from mooring fees and grants. The Norwalk Harbormaster salary is paid from the HMC annual budget.
  
- **Staffing**
  - The Norwalk Planning and Zoning Department provides staff support to the HMC.

## 6. Glossary of Acronyms and Terms

- **ACOE** – The United States Army Corps of Engineers is a federal agency that regulates activities in US waters.
- **CAM Application** – Coastal Area Management Applications to a state agency are for new or significant projects in the coastal boundary area (tidal waters, beaches, dunes, wetlands, harbor-front property, etc.) and require demonstrating compliance with state coastal management policies.
- **CCMA**– The Connecticut Coastal Management Act is a state law enacted in 1980 that establishes policies, standards and processes for managing, protecting and developing Connecticut’s coastal resources.
- **CGS** – The Connecticut General Statutes is the collection of all the permanent laws passed by the CT General Assembly.
- **CJL** – The Coastal Jurisdiction Line is a fixed elevation line that generally corresponds to the highest reach of the tide under normal conditions. It replaces the older term "high tide line" as the boundary for the state’s coastal regulatory jurisdiction.
- **COP** – A Certificate of Permission is an authorization issued by a state agency that allow certain minor or previously authorized work in tidal, coastal, or navigable waters and adjacent wetlands without going through the longer, more complex permit process which can be lengthy, costly, and involve public hearings.
- **DEEP** – The Connecticut Department of Energy and Environmental Protection is the state agency responsible for conserving, improving, and regulating the state’s natural resources and energy systems.
- **FOIA** – The Freedom of Information Act is a state law that gives the public the right to access records and meetings of most state and local government bodies.
- **Harbormaster** – The Norwalk Harbormaster is a state-appointed official whose responsibility is to manage harbor safety, navigation, and mooring activities. The position is appointed by the Governor of Connecticut and operates under the authority of the Connecticut Department of Energy and Environmental Protection (DEEP). The Harbormaster works in coordination with the Norwalk Harbor Management Commission, but their authority is derived from state law.

- **HMP** – The Harbor Management Plan provides the guiding framework for the most desirable use and stewardship of Norwalk Harbor.
- **LWRD** – The Land & Water Resources Division is the branch of DEEP that manages activities affecting the state’s coastal waters, tidal wetlands, rivers, and floodplains.
- **Mooring Permit** – A mooring permit is the authorization to place/use a mooring in Norwalk harbor and is issued by the Harbormaster. Under Connecticut General Statutes §15-1 and §15-8, the Harbormaster has the statutory authority to assign mooring locations, issue mooring permits and ensure safe and orderly use of anchorage and mooring areas
- **NHMC** – The Norwalk Harbor Management Commission.
- **OLISP** – The Office of Long Island Sound Programs is the branch of DEEP that focuses specifically on managing and protecting Long Island Sound and its tidal/coastal resources.
- **Public Trust Doctrine** – The Public Trust Doctrine is a legal principle stating that certain natural resources are preserved for public use, and that the government is obligated to manage and protect these resources in trust for the benefit of the public.

August 18<sup>th</sup> , 2025  
Dear Mr. Stowers:

The Norwalk Harbor Management Commission formally proposes naming the East Basin Marina in honor of Tony Mobilia. Appointed to the Commission in 1989, just two years after its inception, Tony went on to serve with distinction for more than 37 years. He held multiple leadership roles, including two non-consecutive terms as Chair, as well as Secretary and Treasurer shortly before his passing. Tony's steadfast commitment to the Norwalk Harbor Management Commission and to the Harbor itself left a lasting legacy, reflected in numerous accomplishments that demonstrated his vision, leadership, and tireless dedication to Norwalk's waterfront. Some of his most notable achievements include:

1. **Revitalization of Harbor Infrastructure:** As Chair, Tony played a pivotal role in leading major improvements to Norwalk's East Basin Marina and the David S. Dunavan Boating Center. Under his leadership, the Commission secured essential funding to upgrade the Norwalk Visitor's Docks and implement key safety enhancements, allowing the marina to accommodate more vessels and improving overall user safety. He was also instrumental in obtaining DEEP grants to install pump-out amenities, significantly enhancing the boating experience for both recreational and commercial users.
2. **Environmental Stewardship:** Tony's leadership was instrumental in guiding the NHMC to adopt policies focused on protecting the marine environment. He spearheaded efforts to reduce harbor pollution through the Mayor's Water Quality Committee, promoted the establishment of no-discharge zones in Norwalk Harbor, and actively supported clean water initiatives. As Chair of the Walk Bridge Project Committee, Tony played a key role in shaping water quality issues, managing construction barge mooring and staging, and considering boater safety policies with Norwalk Harbor Master and Marine Police. He greatly assisted with shaping the Commission's recommendations during its comprehensive review of the Walk Bridge Project, the most complex construction initiative in the area since the development of I-95.
3. **Collaboration and Consensus Building:** Tony's ability to unite diverse stakeholders, including local government, environmental organizations, and the boating community, was one of his greatest strengths. His collaborative approach was key to the adoption of Norwalk's first Harbor Management Plan in 1990 and again during its update in 2010. Throughout both efforts, he consistently advocated for a balanced approach that supported the needs of all harbor users while safeguarding environmental integrity. Thanks to his leadership and vision, the Norwalk Harbor Management Plan is recognized by both local and state agencies as a model for effective harbor management.
4. **Expansion of Boating Access:** One of Tony's signature achievements was his advocacy for expanding access to recreational boating. His efforts to improve public access points along street ends to the water and increase boat slip availability particularly in East Basin made boating more accessible to residents and tourists, thus boosting the local economy and enhancing the region's appeal as a maritime destination.
5. **Commitment to Education and Public Outreach:** Throughout his tenure on the Commission, Tony was a dedicated advocate for public education on environmental issues and harbor management. His talent for photography became a key asset in outreach efforts, including the creation of visual displays of Norwalk Harbor for the Commission's annual meetings and public events. He also provided photographs to local news outlets during Norwalk's 15-year dredging project, helping to keep the public informed. As an accomplished artist and member of the St.

Philip Artists Guild, Tony contributed to the Traffic Graphic Program, a public art initiative that celebrated Norwalk's landscape and heritage. Through his artwork, he engaged directly with the boating community, using his creative skills to raise awareness about the importance of preserving Norwalk's maritime legacy.

6. **Longstanding Commitment to the Harbor:** Tony's commitment to Norwalk Harbor extended well beyond his 37 years on the Harbor Management Commission. He also served as commander of the Norwalk Sail and Power Squadron, further demonstrating his deep involvement in the maritime community. Whether through his work with the Commission or the Power Squadron, Tony remained a steadfast advocate for the harbor's preservation and sustainable growth, consistently representing the interests of the local community and marine industry at the state level. His legacy lives on through the ongoing improvements and management strategies that continue to benefit the harbor today.

As the new East Basin Marina emerges as a centerpiece of Norwalk's waterfront, it is only fitting to honor Tony Mobilia's enduring contributions by naming the marina in his memory. Through his leadership, dedication, and vision, Tony helped shape the harbor into a thriving, accessible, and environmentally responsible space, one that will serve the community for generations to come. Naming the marina after him would be a meaningful tribute to a man whose impact on the harbor and the city is truly immeasurable. Mayor Harry Rilling described Tony as a "Norwalk man of true service," praising him as a kind and gracious gentleman whose deep passion for boating and the waterfront was equaled only by his love of art.

Thank you for considering this nomination. The Commission members would be happy to provide further information or support as needed.

Sincerely,

## The Norwalk Hour

October 16, 2020

# City's 'go-to guy' on all things harbor-related dies at 81

By Erin Kayata

NORWALK — Noted Norwalk artist and long-time Harbor Management Commission member Anthony "Tony" Mobilia died last week.

According to his obituary, Mobilia, a Norwalk resident since 1971, died of heart failure on Oct. 9 at the age of 81. Harbor Management Commission Chairman John Romano

See Mobilia on A7



Hearst Connecticut Media file photo

**Tony Mobilia, former Harbor Commission chairman, died on Oct. 9.**

## MOBILIA

From Page A1

said Mobilia died while getting his dinghy to move his boat onto the harbor after spending the morning with his wife of 55 years, Dorothy.

"Tony overall was the consummate water conservator, always interested in the harbor and keeping it alive," Romano said. "Tony ... had been a shipyard and had done everything to do with the harbor in the city of Norwalk."

At the time of his death, Mobilia was serving as the treasurer for the Harbor Management Commission and as chair of its Walk Bridge Committee, giving feedback on the project to the commission.

Romano described as a mentor and the "go-to guy on all things related to the harbor."

"Besides being a personal loss, it's a professional loss too because he was there whenever you needed him," Romano said. "He was really a great guy. I don't think you'll ever find anyone who had anything bad to say about Tony."

Mobilia had been involved with the Harbor Management Commission since two years after its inception in 1992, according to the commission's planning consultant Geoff Steadman. Steadman met Mobilia when the latter joined the Harbor Management Commission. The two became fast friends.

Steadman said Mobilia was involved in nearly all of the commission's major initiatives as a long-time member and former chairman. Mobilia worked on the first harbor management plan for the city, which was adopted by the Common Council in 1990. He also took the lead on the Walk Bridge project as chairman of its committee.

"The history of what Tony was involved with is really the history of the Harbor Management Commission," Steadman said. "He was involved in all these projects, but he never sought any attention or praise for himself. He looked at his role as steward of harbor-protecting public interest and protecting and preserving the harbor for future generations."



Tony Mobilia, chairman of the Norwalk Harbor Management Commission, narrates a presentation about the Norwalk harbor in 2016. Hearst Connecticut Media file photo

John Pinto, one of Mobilia's fellow Harbor Commission members, said his colleague's goal was always to balance the harbor's commercial and recreational uses.

"Using his creative and artistic spirit, he was committed to influencing the quality of life around Norwalk Harbor and strove to improve its maritime vistas," Pinto said. "Tony's mantra regarding Norwalk Harbor and its accompanying islands was to help preserve and maintain its recognition as one of Long Island Sound's finest recreational and commercial harbors ... Tony understood that it takes the cooperation of the harbor's many users and stakeholders which included rowers, recreational and commercial fishermen and boaters as well as barge operators, under the management of the

Norwalk Harbor Management Commission and its Harbormaster to keep our harbor safe and viable for the benefit of all."

More than a dedicated civil servant, Mobilia is remembered as a gentleman. Steadman said he has received emails from colleagues, including those at DEEP, expressing their condolences and remembering Mobilia as someone more concerned with public interest than politics.

"He never had an unkind word to say about anybody and I can't imagine anyone had an unkind thought about him," Steadman said. "He did everything and was so grateful for the opportunity to be on the Harbor Commission and contribute to all these projects."

In addition to serving on the Harbor Commission and its Harbormaster, Mobilia was an artist whose work was featured prominently around Norwalk. Mobilia worked on the Traffic Graphic public arts project, painting city utility boxes along with fellow members of the St. Philip Artists Guild. His work is also featured on the canvases covering the barriers to allow for more outdoor dining space on Washington Street.

According to his obituary, Mobilia, a Vietnam War veteran, spent his career as an art director, working at New York City advertising firms throughout his career until 2008 when he retired from Grey Advertising as vice president, creative supervisor.

He was a member of the Norwalk Sail and Power Squadron and served as a commander. He was also involved in the St. Philip's Midnight Run, in which pa-

rticipants collect food, clothing and other supplies for distribution to homeless men and women in New York City.

In addition to his wife, Mobilia is survived by his two sons, Anthony III of San Jose, Calif., and Philip of Miramar, Fla.

Mayor Harry Rilling called Mobilia a "Norwalk man of true service" before asking for a moment of silence in his honor at Tuesday's Common Council meeting.

It was my pleasure to know Tony and appoint him and respect him to the Harbor Management Commission," Rilling said. "His passion for water and boating was only matched by his love of art. He was a kind and gentleman and he will be missed."